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124 2ND STREET RESIDENCE
124 2ND STREET
MANHATTAN BEACH CA 90266

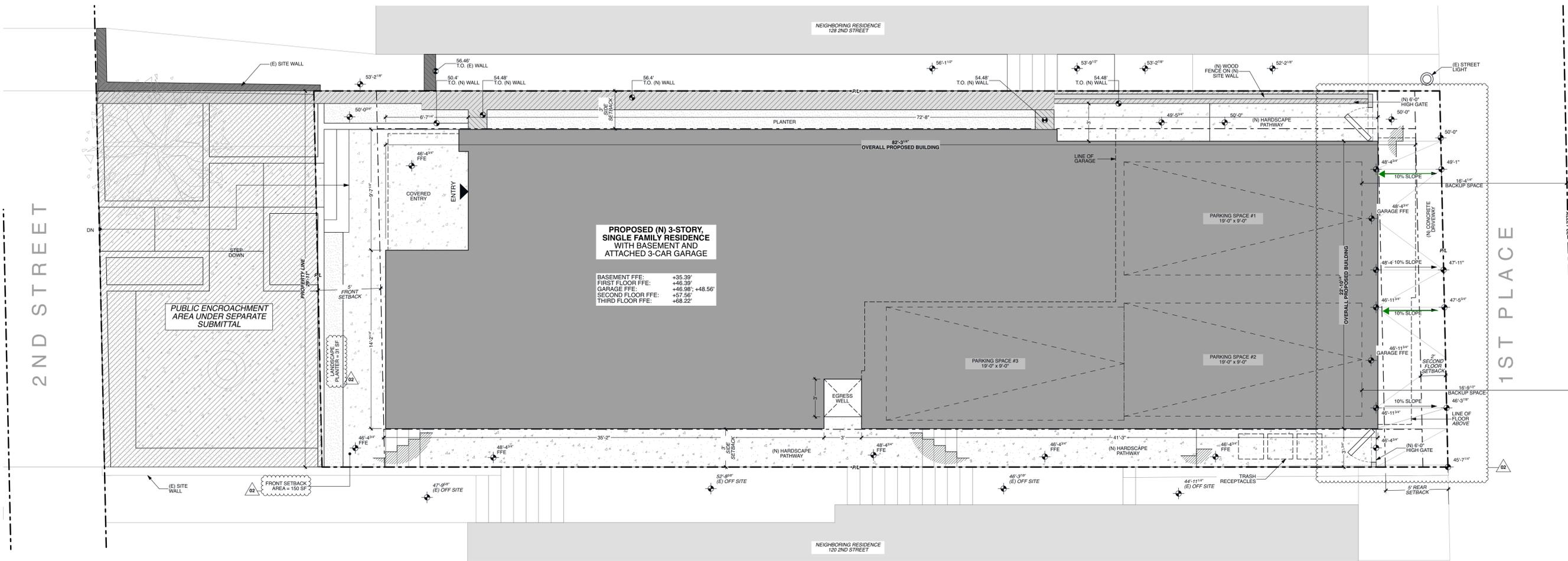
PROJECT NO. 2317

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CONTRACTOR
-



PROPOSED (N) 3-STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND ATTACHED 3-CAR GARAGE

BASEMENT FFE: +35.39'
FIRST FLOOR FFE: +46.39'
GARAGE FFE: +46.98' +48.56'
SECOND FLOOR FFE: +57.56'
THIRD FLOOR FFE: +68.22'

SITE PLAN
1
1/4" = 1'-0"

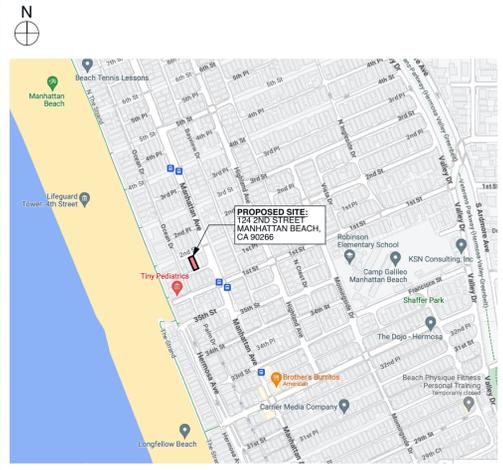
PROJECT DATA: NEW SINGLE FAMILY RESIDENCE BUILDING INFORMATION		
DESCRIPTION	EXISTING	PROPOSED
PARCEL NUMBER(S):	4180-018-015	4180-018-015
PROJECT ADDRESS(S):	124 2ND STREET	124 2ND STREET
NO. OF STORIES:	2	3
TYPE OF CONSTRUCTION:	TYPE V	TYPE V-A
CODE CYCLE:	-	2022 California Code of Regulations Title 24
OCCUPANT USE:	RESIDENTIAL	R-3/U
AUTOMATIC FIRE SPRINKLER SYSTEM TYPE:	N/A	NFPA-13D
SPECIAL CONDITIONS:		

MAIN RESIDENCE (gross floor area)			
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	GRADING DATA
INSIDE FOOTPRINT:	+/- 1,750 SF	+/- 1,750 SF	GRADING/ SITE WORK (CUBIC YARDS)
BASEMENT 2:	N/A	N/A	CUT: TBD
BASEMENT 1:	N/A	1,854	FILL: TBD
1 ST FLOOR:	UNKNOWN	1,052	NET EXPORT: TBD
2 ND FLOOR:	UNKNOWN	1,442	
3 RD FLOOR:	N/A	1,342	
GARAGE:	+/- 450 SF	613	
DECKS OVER 30"	N/A		

ACCESSORY STRUCTURE (gross floor area)			ADU (gross floor area)		
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	DESCRIPTION	EXISTING (SF)	PROPOSED (SF)
INSIDE FOOTPRINT:			INSIDE FOOTPRINT:		
BASEMENT 2:			BASEMENT 2:		
BASEMENT 1:			BASEMENT 1:		
1 ST FLOOR:			1 ST FLOOR:		
2 ND FLOOR:			2 ND FLOOR:		
3 RD FLOOR:			3 RD FLOOR:		
GARAGE:			GARAGE:		
DECKS OVER 30"			DECKS OVER 30"		

JADU (gross floor area)			EXTERIOR DECK, PORCH, PATIO STRUCTURE (gross floor area)		
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	DESCRIPTION	EXISTING (SF)	PROPOSED (SF)
INSIDE FOOTPRINT:			EXTERIOR FOOTPRINT:		
BASEMENT 2:					
BASEMENT 1:					
1 ST FLOOR:					
2 ND FLOOR:					
3 RD FLOOR:					
DECKS OVER 30"					

VICINITY MAP



APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ENERGY CODE (CENC)
- 2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
- 2022 CALIFORNIA FIRE CODE (FC)
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- MANHATTAN BEACH MUNICIPAL CODE
- INCL. ALL AMENDMENTS

PROJECT DESCRIPTION AND SCOPE OF WORK

PROPOSED (N) 3-STORY SINGLE FAMILY RESIDENCE OF TYPE V CONSTRUCTION W/ BASEMENT LEVEL AND ATTACHED 3-CAR GARAGE

- 5 BED / 7 BATH
- BASEMENT LEVEL: BEDROOM, BATH, GYM, AND SCREENING RM.

DEFERRED SUBMITTALS:

- SOLAR PANEL
- PUBLIC ENCROACHMENT AREA

BUILDING HEIGHT CALCULATION

PROPERTY CORNERS PER SURVEY:

- 53.15'; 50.30'; 45.64'; 49.45'
- AVG. ELEVATION = 49.635'
- MAX HEIGHT = 49.635' + 30' = 79.635'

CITY NOTES

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).

PROPERTY INFORMATION

PROJECT ADDRESS
124 2ND STREET MANHATTAN BEACH CA 90266

LEGAL DESCRIPTION
LOT AREA: 2,707 SF
APN: 4180-018-015
TRACT: MANHATTAN BEACH TRACT
MAP REFERENCE: BOOK 1, PAGES 49-50
BLOCK: 2
LOT: 14

PLANNING AND ZONING INFORMATION

ZONE: RM
AREA DISTRICT: III
LAND USE: RESIDENTIAL MEDIUM DENSITY
COASTAL ZONE STATUS: APPEALABLE

FRONT SETBACK: 5'-0"
SIDE SETBACK: 3'-0"
REAR SETBACK: 5'-0"

EXISTING BUILDING INFORMATION

BUILDING TYPE: SINGLE FAMILY RESIDENCE
YEAR BUILT: 1956
BLDG. SQUARE FOOTAGE: 1,750 SQ FT
NO. OF STORIES: 3
NO. OF BEDROOMS: 3
NO. OF BATHROOMS: 2
SPRINKLERED: NO

PROPOSED BUILDING INFORMATION

BUILDING TYPE: SINGLE FAMILY RESIDENCE
MAX. BLDG. FL. AREA: 4,331 SF
PROPOSED BLDG. FL. AREA: SEE SHEET A001
MAX. BLDG. HEIGHT: 30'-0"
PROPOSED BLDG. HEIGHT: 29'-7 1/4"
MAX. NO. OF STORIES: 3
NO. OF STORIES: 3
NO. OF BEDROOMS: 5
NO. OF BATHROOMS: 7

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ISSUE HISTORY

ID	ISSUE	DATE
01	PLANNING SUBMITTAL	6 OCT 2023
02	PLANNING RESUBMITTAL	8 JAN 2024

CURRENT ISSUE:
02
PLANNING RESUBMITTAL

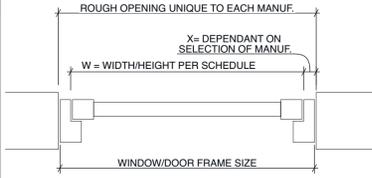
TITLE SHEET

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GENERAL DOOR AND WINDOW NOTES

- VERIFY ALL EXISTING DOOR AND WINDOW DIMENSIONS IN FIELD IF APPLICABLE.
- IN THE EVENT AN EXISTING DOOR OR WINDOW IS TO BE REPLACED OR REPAIRED, IT MUST MATCH THE ORIGINAL DESIGN, COLOR, AND MATERIALS. VERIFY IF DOOR OR WINDOW NEEDS TO BE CODE COMPLIANT.
- ALL GLAZING SHALL BE SPECIFIED PER TITLE 24 UNLESS OTHERWISE NOTED. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER.
- WHERE REQUIRED BY CODE, ALL GLAZING SHALL BE TEMPERED UNLESS OTHERWISE NOTED.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. (LARC R308, LABC SECTION 2406.4) FIXED OR OPERABLE PANELS IN SWINGING, SLIDING AND BIFOLD DOORS AND FIXED OR OPERABLE PANELS ADJACENT TO DOORS, FIXED OR OPERABLE WINDOW PANELS WITH PAGES LARGER THAN 9 SQUARE FEET AND ARE LESS THAN 18 INCHES ABOVE THE FLOOR, HAVE A TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND HAVE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING. GLAZING IN GUARDS AND RAILINGS, ADJACENT TO WET SURFACES, ADJACENT TO STAIRS AND RAMPS, AND ADJACENT TO BOTTOM STAIR LANDINGS.
- ALIGN TOPS OF WINDOWS WITH TOPS OF DOORS IN A LEVEL PLANE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING.
- CONTRACTOR SHALL REVIEW AND APPROVE SHOP DRAWINGS OF ALL DOOR AND WINDOW UNITS, SYSTEMS AND ASSEMBLIES WITH FIELD VERIFIED DIMENSIONS PRIOR TO SUBMITTAL TO ARCHITECT FOR ARCHITECTS REVIEW AND APPROVAL.
- ALL FRAMES TO MATCH CORRESPONDING WINDOW AND DOOR FINISH UNLESS OTHERWISE NOTED.
- SEE FLOOR PLANS AND ELEVATIONS FOR WINDOW AND DOOR SWING DIRECTION.
- PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT. (LARC SECTION R311.2, LABC SECTION 6304.1)
- ALL REQUIRED EMERGENCY EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPEN AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPEN HEIGHT DIMENSION SHALL BE 20". THE MINIMUM NET CLEAR OPEN WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. (LARC SECTION R310, LABC SECTION 1029)
- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE, THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR.
- INTERIOR DOOR SHALL HAVE A CLEARANCE NOT MORE THAN 3/8" ABOVE FINISH.
- ALL EXTERIOR METAL THRESHOLD FINISHES SHALL MATCH HARDWARE UNLESS OTHERWISE NOTED.
- ALL WOOD DOORS SHALL BE SOLID WOOD UNLESS OTHERWISE NOTED.
- ALL DOORS SHALL HAVE A MINIMUM OF 3 HINGES PER LEAF UNLESS OTHERWISE NOTED. VERIFY FINISH AND HARDWARE SPECIFICATIONS WITH ARCHITECT.
- ALL DOOR AND WINDOW FINISHES SHALL BE REVIEWED BY ARCHITECT AND APPROVED BY OWNER PRIOR TO FABRICATION, IF REQUIRED.
- AGGREGATE GLAZING AREA OF HABITABLE ROOMS MUST BE MINIMUM 8% OF THE ROOM FLOOR AREA.
- MINIMUM OPENABLE AREA OF HABITABLE ROOMS MUST BE 4% OF THE FLOOR AREA.

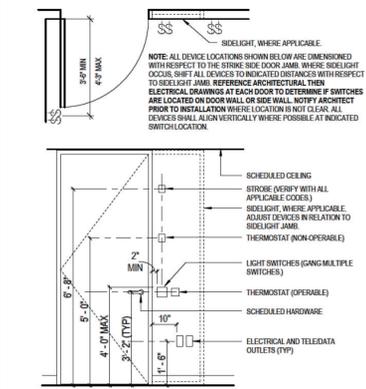


DIMENSION ARE SASH SIZES NOT FRAME SIZES. A 4" 6" X 3" 6" WINDOW IS THE SIZE OF THE SASH. THE ROUGH OPENING NEEDS TO BE COORDINATED WITH THE SPECIFIC MANUFACTURER'S FRAME SIZE. ROUGH OPENINGS SHOULD NOT BE BASED ON THE SASH SIZE. ROUGH OPENINGS CAN ONLY BE DETERMINED AFTER THE FRAME SIZE OF THE SELECTED MANUFACTURER IS DETERMINED.

GENERAL SITE PLAN NOTES

- CONTRACTOR TO PROVIDE SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION AS REQUIRED.
- CONTRACTOR TO PROVIDE WEATHER PROTECTION DURING DEMOLITION AND CONSTRUCTION OF ADJOINING SURFACES AND SPACES. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- CONTRACTOR TO PROVIDE DUST CONTROL DURING DEMOLITION AND CONSTRUCTION.
- SITE TO BE KEPT CLEAN AND IN ACCORDANCE WITH A SITE MAINTENANCE PLAN.
- STREET, CURB, AND GUTTER AND SIDEWALK ARE TO BE PROTECTED FROM DAMAGE SUCH AS INDENTATIONS FROM TRASH CONTAINER OR OTHER HEAVY OBJECTS PLACED ON PAVEMENT DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE SECURITY CHAIN-LINK FENCE AROUND UNSECURED SITE AREAS.
- VERIFY EXISTING HARDSCAPE AND LANDSCAPE TO BE REMOVED WITH LANDSCAPE DESIGNER, ARCHITECT, AND OWNER. ALL LANDSCAPING TO REMAIN SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED FOR OFF SITE IMPROVEMENTS.
- ALL OFFSITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH ALL PUBLIC WORKS STANDARD CONSTRUCTION SPECIFICATIONS AND LOCAL REQUIREMENTS.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE (SEPARATE PERMIT REQUIRED).
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITIVE AND VISIBLE LOCATION FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- RESIDENTIAL SWIMMING POOLS SHALL HAVE A POOL ENCLOSURE AS REQUIRED BY SECTION AG105 OF THE 2013 CRC.
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS PER R401.3.
- ALL HARDSCAPE ADJACENT TO THE STRUCTURE SHALL DRAIN SURFACE WATER AWAY FROM THE FOUNDATION A MINIMUM OF 1/4 INCH PER FOOT (2%).
- NOTIFY THE GRADING INSPECTOR PRIOR TO THE START OF GRADING.
- THESE PLANS ARE FOR BUILDING PERMIT ONLY.
- A SEPARATE PERMIT SHALL BE REQUIRED FOR LANDSCAPE ELEMENTS, HARDSCAPE, SWIMMING POOL, SPA, WATER FEATURES, AND FOUNTAINS.
- A SEPARATE PERMIT SHALL BE REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING. ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK AND DRAWINGS APPROVAL ONLY. THE CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN THE BID.
- FENCE/WALL/HANDRAIL AND HEDGE HEIGHT AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC) OR THE LOCATION OF THE HOOR-UP. CONSTRUCTION SHALL NOT BE WITHIN 10 FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. CONTRACTOR TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
- PROVIDE A 42 INCH GUARDRAIL ON TOP OF THE WALL FOR YARD AREAS WHICH DROP VERTICAL MORE THAN 30 INCHES.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

TYP. MOUNTING HEIGHTS



GENERAL ROOF PLAN NOTES

- ROOFING MATERIAL**
FLAT ROOFS:
 SHALL BE CERTAINTED CLASS "A" 4-PLY TORCH DOWN MODIFIED BITUMEN ROOFING SYSTEM OR APPROVED EQUAL.
 (CC EVALUATION REPORT #ESR-1388)
 2-LAYER FLEXGLASS BASESHEET
 1-LAYER FLINTASTIC GTA MIDPLY SHEET
 1-LAYER FLINTASTIC GTA MIDPLY SHEET
 (CONTRACTOR SHALL VERIFY CLASS "A" ASSEMBLY WITH MANUFACTURER). SEE SPECS. ON SHEET XXX. PROVIDE WALK PADS FROM ROOF ACCESS HATCH TO ALL MECHANICAL EQUIPMENT.
- SLOPED ROOF:**
 CLASS "A" STANDING SEAM METAL ROOF:
 SHALL BE 14 GAUGE METALLIC COATED STEEL METAL, NOT TO EXCEED 15' PANEL WIDTH.
 (CCES ESSL-1082)
 ASH GRAY
 SOLAR REFLECTANCE (EMISSIVITY) - 0.84
 SRI VALUE - 41

- ROOF SLOPES ARE SHOW DIRECTLY ON ROOF PLAN
- ALL FLAT ROOF AND BALCONIES SHALL SLOPE A MINIMUM OF 2% TOWARD DRAINAGE
- PROVIDE 5/8" PLYWOOD SHEATHING OVER 2X STRIPPS @ 16" O.C. OVER ROOF DIAPHRAGM TO PROVIDE SLOPE TO RAINS
- WATER SHALL NOT BE ALLOWED TO PUDDLE ON ANY PART OF THE ROOF AND NO OBSTACLE SHALL PREVENT WATER TO FLOW TO DRAINS
- CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE
- MECHANICAL EQUIPMENT SHALL BE MOUNTED ON MASON SPRING ISOLATORS #SLRA-125 OR APPROVED EQUAL. PROVIDE 1 1/2" LIGHTWEIGHT CONC. OVER EQUIP. PLATFORM
- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS
- PROVIDE WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS AT SHEET METAL SHALL BE CAULKED
- COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT. PROVIDE PAINT SAMPLES FOR ARCHITECT'S APPROVAL
- ATTIC VENTILATION SHALL BE A MIN. OF 1/300 OF THE AREA TO BE VENTILATED AND SHALL HAVE A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM, INSTALLED ON THE WARM SIDE OF THE INSULATION
- VENTILATION IS NOT REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACE BETWEEN INSULATION AND EXTERIOR SHEATHING
- VENTS SHALL BE CONSTRUCTED WITH 16 OZ COPPER LOUVERS AND MAX. 1/4"x1/4" COPPER WIRE CLOTH PER S.M.A.C.N.A. GUIDELINES. LOUVERS SHALL BE DESIGNED SO THAT WATER IS DEFLECTED IN A DRAINING RAIN
- VERIFY/OCDRAINAGE LOCATION OF OVERFLOW WITH ARCHITECT

GENERAL SECTION NOTES

- CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. PERMANENTLY MARKED LOCATIONS TO BE REVIEWED ON-SITE WITH ARCHITECT AND CLIENT PRIOR TO INSTALLATIONS.
- PROVIDE A CONTINUOUS METAL WEEP SCREEN AS REQUIRED BY CODE SECTION R703.6.2.1. SEE DETAILS
- STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR OWNERS AND ARCHITECT'S REVIEW AND APPROVAL.
- ALL EXTERIOR STUD WALLS TO BE FRAMED WITH 2X4 STUDS. THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2X4 STUDS. ALL INTERIOR SINGLE STUD WALLS TO BE 2X4 STUDS UNLESS NOTED OTHERWISE.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE WALLS, CEILING, POSTS, AND SUPPORTING BEAMS AND SHALL EXTEND FROM TOP OF CONCRETE TO AND INCLUDING THE CEILING
- STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING IN ENCLOSED USEABLE SPACE UNDER STAIRS
- FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 a) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL STUDS
 b) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT JOINTS, DROP CEILINGS, AND COVERED STAIRS
 c) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
 d) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL
- PROVIDE INSULATION AT ALL EXTERIOR WALLS, INCLUDING GARAGE. RESISTIVE SPACES, VAULTED CEILINGS PER CURRENT CBC OR CITY CODE REQUIREMENTS AND/OR T-24 REPORT, WHICH EVER IS MORE RESTRICTIVE. PROVIDE R-19 MINIMUM INSULATION AT ALL INTERIOR WALLS AND R-6 MINIMUM INSULATION BETWEEN FLOORS AND AROUND PLUMBING PIPES FOR SOUND CONTROL. ALL INTERIOR INSULATION TO BE DISCUSSED WITH ARCHITECT AND CLIENT PRIOR TO BIDDING.
- ATTIC INSULATION SHALL HAVE A VAPOR BARRIER WITH A TRANSMISSION RATE NOT EXCEEDING 1 PERM IN ACCORDANCE WITH ASTM E96 INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION
- AN APPROVED WEATHERPROOFING CONSULTANT MUST CERTIFY THE WEATHERPROOFING ELEMENTS OF THE BUILDING HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AS REQUIRED BY ALL LOCAL CODES AND PER MANUFACTURER'S RECOMMENDATIONS
- CONTRACTOR SHALL VERIFY WITH MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ALL LOCATIONS OF MECHANICAL UNITS, DUCTS, REGISTERS, ELECTRICAL PANELS, ACCESS TO PLUMBING FIXTURES, ETC
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT

REFLECTED CEILING PLAN NOTES

- ALL CEILINGS SHALL BE 5/8" TYPE "X" GYPSUM BOARD WITH SKIMCOAT, SEE SPECIFICATIONS.
- VERIFY ALL CEILING HEIGHTS, CEILING DESIGNS, AND ALIGNMENTS WITH INTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- REFER TO ELECTRICAL PLANS FOR FIXTURE SCHEDULES, SPECIFICATIONS, SWITCHING, OUTLETS, HEATER, ETC.
- PROVIDE MOCK-UP SAMPLES OF ALL CEILING TREATMENTS AND DESIGN ELEMENTS FOR APPROVAL BY INTERIOR DESIGNER, ARCHITECT, AND OWNER PRIOR TO FABRICATION AND INSTALLATION.
- COORDINATE LIGHTING FIXTURE LAYOUTS WITH STRUCTURAL PLANS. PROVIDE HEAD OUTS AS REQUIRED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- COORDINATE CURTAIN POCKETS WITH STRUCTURAL PLANS. PROVIDE HEAD OUTS AS REQUIRED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ROUGH CARPENTER SHALL COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING, AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS, AND CEILING JOISTS FOR VOLUME CEILINGS SHALL BE INCLUDED IN BID.
- FOR ALL VENT REGISTERS SEE SPECS. VERIFY FINISHES WITH INTERIOR DESIGNER AND ARCHITECT. COORDINATE SIZE AND LOCATIONS WITH MECHANICAL PLANS.

GENERAL MECHANICAL NOTES

- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MINIMUM GLAZING AREA OF 3-SF. ONE-HALF OF WHICH IS OPERABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION OF 50-CFM INTERMITTENT OR 20-CFM CONTINUOUS VENTILATION AREA IS PROVIDED. (R303.3 EX)
- IN BATHROOMS CONTAINING A BATH/TUB, SHOWER, OR TUB/SHOWER SHALL BE MECHANICALLY VENTED FOR HUMIDITY CONTROL. (R303.3.1)
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF $\leq 50\%$ TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. (4.506.1)
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- SEE T24 REPORT FOR ALL ENERGY CODE COMPLIANCE REGULATIONS. VERIFY INSULATION AT ALL ROOF AND ATTIC SPACES AS WELL AS ALL FIXTURES AND MECHANICAL REQUIREMENTS WITH REPORT.
- ALL MECHANICAL HEATERS, ELECTRICAL AND PLUMBING, UNDER SEPARATE PERMIT.

GENERAL ELECTRICAL NOTES

- SEE ELECTRICAL PLAN/RCP FOR ALL DECORATIVE LIGHTING LOCATIONS.
- COORDINATE POWER WITH ALL APPLIANCE AND EQUIPMENT SPECS AS REQUIRED.
- CONTRACTOR TO REVIEW ALL SWITCHES, POWER, DATA, THERMOSTAT, LIGHTING, CONTROL, SPEAKERS ETC., FOR COMPLIANCE WITH CALIFORNIA ELECTRICAL CODE. ALL LOCATIONS TO BE REVIEWED ON-SITE WITH ARCHITECT AND CLIENT PRIOR TO INSTALLATIONS.
- ALL LIGHTING TO BE HIGH EFFICACY PER CODE REQUIREMENTS. NO PENETRATION ON FIRE RATED WALLS, IN GARAGE OR ELEVATOR SHAFT.
- REFER TO A001.002 FOR GENERAL NOTES.
- REFER TO DETAIL ON SAME SHEET FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT. VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS.
- FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT WHIPS TO FURNITURE POWER IN FEEDS.
- COVER PLATES, SWITCHES, AND OUTLETS TO MATCH ASSOCIATED WALL COLOR, TYP.
- GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
- MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
- ALL EXTERIOR OUTLETS AND OUTLETS AT WET AREAS TO BE GFCI.
- ALL EXTERIOR LIGHT FIXTURES AND JBOXES TO BE WET OR DAMP LISTED DEPENDING ON LOCATION.
- PROVIDE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO PLENUM 6" ABOVE CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL HEIGHT OR ACUSTICAL PARTITIONS
- PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
- WHERE THE ELECTRICAL SERVICE IS LOCATED ON THE ATTACHED GARAGE AND A FURRED GARAGE ALL IS THE METHOD USED TO RUN THE NON-METALLIC-SHEATHED CABLES TO THE RESIDENCE THRU THE FIRE ALL SEE DETAIL SHOWING HOW PENETRATION WILL BE FIRE STOPPED ON 2/AB01. (EC 300.21)
- GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC 210.8(A))
- ARC-FULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT (EC 210.12)
- TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52. ALL NONLOCKING-TYPE 12-VOLT 15- AND 20-AMPERE RECEPTALS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (EC406.12)
- OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACUSTICALLY SEALED.
- LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
- HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI - GANG DEVICES.
- MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL TYP.
- WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE THEM AS CLOSE TOGETHER AS PRACTICAL.
- ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR THE LOCATIONS OF OUTLETS.

GENERAL DEMOLITION NOTES

- REMOVAL OF THE EXISTING IMPROVEMENTS SHALL BE AS REQUIRED FOR THE PROPOSED MATERIALS AND FINISHES. DIMENSIONS ON THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE AND / OR LOCAL LAWS AND ORDINANCES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL APPLICABLE AGENCIES AND IN A MANNER AS APPROVED BY A DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
- PRE-DEMOLITION PHOTOGRAPHS SHALL BE TAKEN THAT SHOW EXISTING CONDITIONS OF THE SITE AND ADJOINING BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING BUILDINGS, PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, ELECTRICAL TRANSFORMERS, DITCHES, DRAINAGE PIPES, FENCES, LAWNS, TREES, BUSHES, POWER POLES, ETC. TO REMAIN. ANY DAMAGE DURING DEMOLITION AND / OR CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. ALL DAMAGES SHALL BE RESTORED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES. UTILITIES REQUIRED TO REMAIN IN SERVICE FOR EXISTING BUILDINGS TO REMAIN SHALL BE PROTECTED
- SAW CUT THE EDGES OF PAVED AREAS CLEAN, NEAT, AND TRUE TO LINE SO NO UNWANTED CHIPPING OR BREAKING OF EXISTING PAVEMENT WILL OCCUR
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL MUD, DIRT, GRAVEL, AND LOOSE MATERIAL TRACKED, DUMPED, SPILLED, OR WIND BLOWN FROM THE SITE ON TO OTHER STREETS OR PUBLIC OR PRIVATE STREETS OR ROADS, DRIVEWAYS, YARDS, OR DRIVEWAYS. THE CONTRACTOR MUST CLEAN AND PICK UP DAILY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE AIRBORNE DUST DURING THE ENTIRE DEMOLITION SCHEDULE. WATER MAY BE USED AS A REDUCER.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES AS REQUIRED DURING DEMOLITION AND CONSTRUCTION
- IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER AND ALL THE UTILITY COMPANIES 72 HOURS OR AS EARLY AS BEFORE DEMOLITION IS TO START TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZES AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANY. ALL UTILITIES TO BE EXCAVATING AROUND OR OVER EXISTING UTILITIES. THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY COMPANY MAY BE PRESENT TO INSTRUCT AND OBSERVE DURING THE EXCAVATION. VERIFY WHAT UTILITIES HAVE BEEN LOCATED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, COUNTY CITY AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL SUBMITTALS AS REQUIRED INCLUDING STORMWATER RUNOFF CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR ANY LOCAL PERMITTED PERMITS BY ANY OR ALL AGENCIES MENTIONED ABOVE UNLESS OTHERWISE NOTED BY THE CONTRACT OR SPECIFICATIONS
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH EACH UTILITY COMPANY OR AGENT WHO IS RESPONSIBLE TO REMOVE OR RELOCATE EACH EXISTING UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE CONTRACTOR TO BEAR THE COST FOR THE REMOVAL, TERMINATION OR RELOCATION OF UTILITIES IF THE RESPONSIBILITY IS NOT COVERED BY THE UTILITY COMPANY.
- ALL CONTRACTORS MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AREAS WHERE EXISTING UTILITIES ARE AND EQUIPMENT ACTUAL FIELD LOCATIONS OF ALL THE EXISTING UTILITIES ARE THE CONTRACTOR'S RESPONSIBILITY. UTILITIES MUST BE LOCATED EITHER BY THE REPRESENTATIVE OF THE UTILITY COMPANY OR BY A PRIVATE UNDERGROUND UTILITY LOCATING COMPANY PRIOR TO THE START OF DEMOLITION ACTIVITIES
- REMOVAL OF EXISTING CONCRETE OR OTHER PAVED AREAS SHALL BE AS REQUIRED BY THE CONTRACT. MATERIALS ARE TO BE REMOVED SHALL BE SAW CUT CLEAN, NEAT AND TRUE TO LINE. REMOVAL OF EXISTING CONCRETE SHALL NOT INTERFERE WITH THE GROWTH OF TURF OR PLANT MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN EXPENSE FOR ALL AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY FEDERAL, STATE, CITY OR LOCAL AGENCIES
- EXISTING BUILDINGS TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING BASEMENT WALLS, SLABS AND FOUNDATIONS
- RECYCLED CRUSHED OR PULVERIZED CONCRETE OR MASONRY MAY BE USED AS BACKFILL OR IN NEW CONSTRUCTION ONLY IF APPROVED BY THE STRUCTURAL AND GEOTECHNICAL ENGINEER
- PERFORM CLEARING, GRUBBING, STUMP REMOVAL AND / OR TOP SOIL STOCKPILE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, INCLUDING REMOVAL OF ROOTS, STUMPS, AND ROOT SYSTEMS TO A MINIMUM DEPTH TO ERADICATE FROM SUB-GRADE, A MINIMUM OF 42"
- THE CONTRACTOR MUST VISIT THE SITE AND STUDY EXISTING PHYSICAL CONDITIONS, REVIEW DRAWINGS, AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DOCUMENTS
- CONTRACTOR SHALL PROVIDE SHORING AND BRACING AS REQUIRED PRIOR TO AND DURING DEMOLITION
- THE CONTRACTOR SHALL PROVIDE SECURITY CHAIN LINK FENCE AROUND UNSECURED SITE AREAS
- ADJACENT STREET, CURB AND GUTTER, ALLEY AND SIDEWALK SHALL BE PROTECTED FROM DAMAGE SUCH AS INDENTATION FROM TRASH CONTAINER OR OTHER HEAVY OBJECTS PLACED ON PAVEMENT
- CONTRACTOR SHALL PROVIDE ALL LABOR EQUIPMENT, AND MATERIALS REQUIRED FOR OFFSITE IMPROVEMENTS, ALL OFFSITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PUBLIC WORKS SPECIFICATIONS
- THE CONTRACTOR SHALL PROVIDE ASBESTOS INSPECTION AND ABATEMENT AS REQUIRED
- THE CONTRACTOR SHALL PROVIDE RODENT ABATEMENT REPORTS AS REQUIRED
- ALL ARCHITECTURAL DRAWINGS HAVE BEEN DEVELOPED FROM A COMBINATION OF EXISTING PLANS AND FIELD MEASUREMENTS. AAHA STUDIO ACCEPTS NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE AS-BUILT CONDITIONS.

GENERAL EXTERIOR ELEVATION NOTES

- CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREEN AS REQUIRED BY CODE. SEC R703.6.2.1. SEE DETAILS
- AT MECHANICALLY ATTACHED STONE, BRICK AND RAIN SCREEN, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR OWNERS AND ARCHITECT'S REVIEW AND APPROVAL
- STRUCTURE SHALL COMPLY TO LOCAL GOVERNING CODES
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT

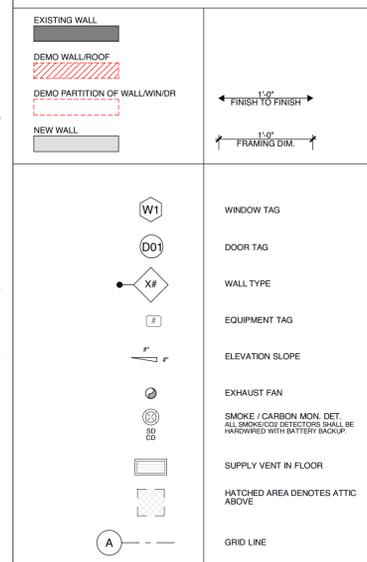
GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS AS SHOWN. CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF STUD
- VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES
- AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM SHALL BE PROVIDED IN THE NEW DWELLING UNIT(S) PER R313.2. A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN NEW ATTACHED GARAGE PER R309.6
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- SEE TITLE 24 FOR INSULATION
- ROUGH CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING, AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS, VOLUME CEILINGS AND NON-STRUCTURAL FRAMING SHALL BE INCLUDED IN BID.
- REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS, AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS
- ALL EXTERIOR STUDS SHALL BE 2X6 FRAMING OR MULTIPLE ROWS OF 2X6 FRAMING UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE 2X6 FRAMING UNLESS OTHERWISE NOTED. SPACING AND SPECIFICATION ARE PER STRUCTURAL
- PROVIDE DRAFT STOPS AS REQUIRED IN SECTION R302.11 OF THE 2019 CRC OR CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALLS, PARTITIONS, AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID POINT IN WALLS MORE THAN 10 FEET HIGH
- CONTRACTOR SHALL PROVIDE ALL REQUIRED SHIMMING SO THAT FINISH FLOOR MATERIALS ALIGN AT THE SAME ELEVATION, UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL COORDINATE ALL WINDOW AND DOOR ROUGH OPENING WITH MANUFACTURER
- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS ACCORDING TO SECTION R310 OF THE 2013 CRC. MINIMUM 24 INCHES CLEAR HEIGHT, 20 INCHES CLEAR WIDTH, 5' 30. FT. MINIMUM AREA (60 SQ. FT. AT GRADE), AND 44 INCHES MAXIMUM TO WINDOW SILL
- FOR ALL PLUMBING FIXTURES AND APPLIANCES VERIFY WITH INTERIOR DESIGNER
- REQUIRED PARKING AREA IS TO BE 18' X 19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN SEVEN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 & R303.8)
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

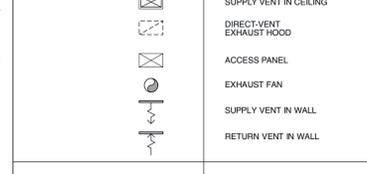
ABBREVIATIONS

O	ROUND, OR DIAMETER
ADJ	ADJUSTABLE
A.F.F.	ADJUST FINISHED FLOOR
BLDG	BUILDING
COL	COLUMN
BOT	BOTTOM
C.L.	CENTER-LINE
CLG	CEILING
TL	CEILING
C	CONCRETE
CMU	CONCRETE MASONRY UNITS
COLUM	COLUMN
CONC	CONCRETE
DEMO	DEMOLISHED/DEMOLITION
DET	DETAIL
DM	DOWN DIMENSION
DS	DOWN SPOUT
DR	DOOR
DWG	DRAWING
EV	ELEVATION
EA	EACH
ELEV	ELEVATOR, ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
F.F.	FINISH FLOOR
FL	FLOOR
FL	FLOOR LINE
FLR	FLOOR
GL	GLAZING
H	HARDWARE
HOR	HORIZONTAL
MECH	MECHANICAL
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
(N)	NEW
N.A.	NOT APPLICABLE
NOT TO SCALE	NOT TO SCALE
O/C	ON CENTER
PT	PAINT
PART	PARTITION
PL	PROPERTY LINE
PLYWD	PLYWOOD
RD	RADIUS
REQ	REQUIRED
REV	REVISION
RM	ROOM
SCHED	SCHEDULE
SECT	SECTION
SHEET	SHEET
SIM	SIMILAR
SPECS	SPECIFICATIONS
STD	STANDARD
STRUC	STRUCTURE
ST	STUCCO
STRUCT	STRUCTURAL
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
THK	THICK
VERT	VERTICAL
W	WIDTH
WIN	WINDOW
WD	WOOD

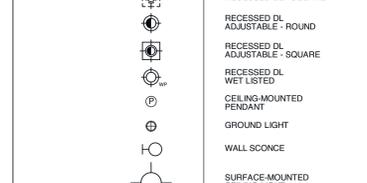
DRAWING SYMBOL LEGEND



HVAC



LIGHTING



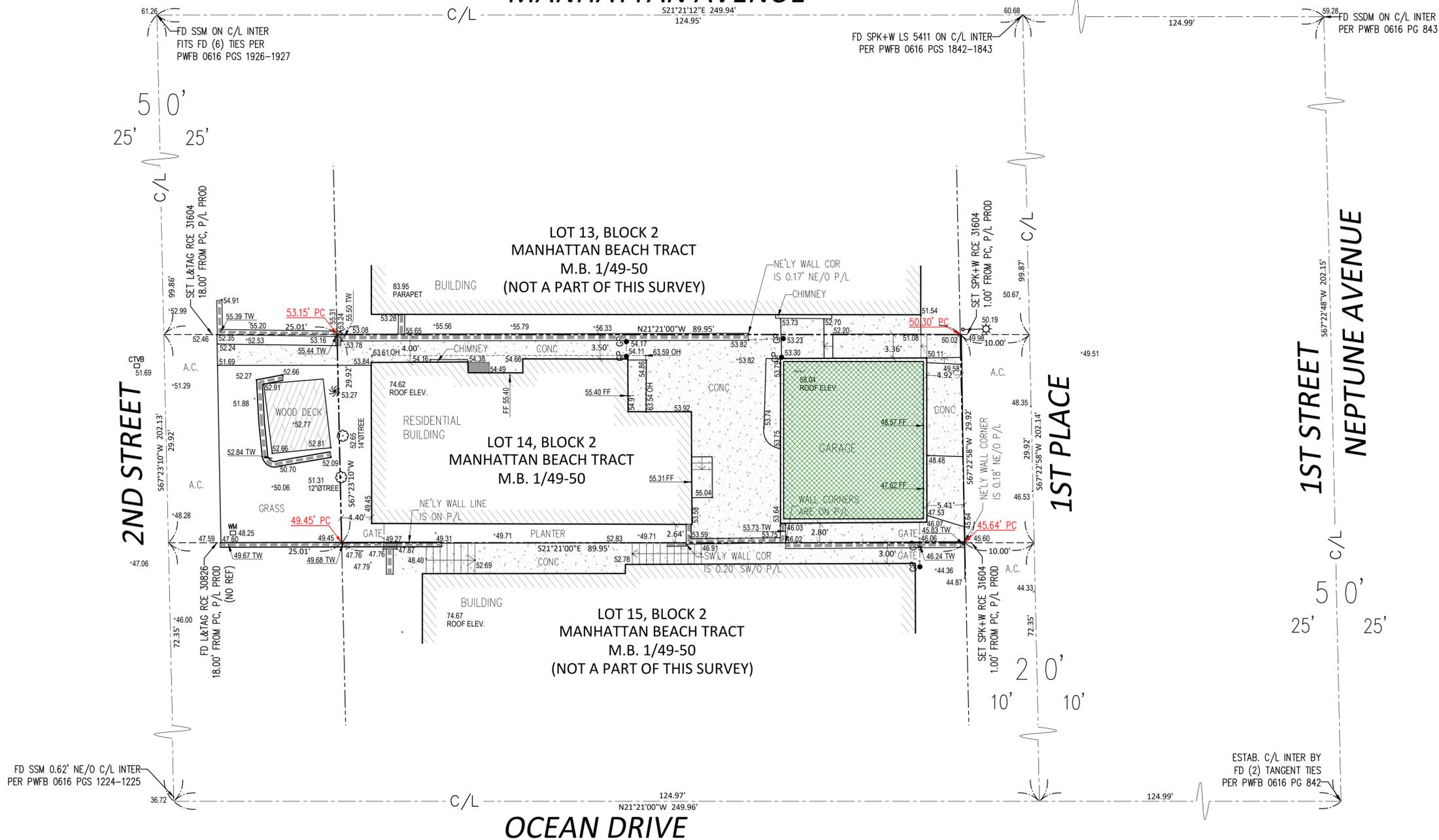
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124 2ND STREET RESIDENCE
 124 2ND STREET
 MANHATTAN BEACH CA 90266

PROJECT NO. 2317

OWNER'S CONSULTANTS
 PROPERTY OWNER

MANHATTAN AVENUE



LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 14, BLOCK 2 OF MANHATTAN BEACH TRACT AS PER MAP RECORDED IN BOOK 1, PAGES 49-50 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4180-018-015

BASIS OF BEARINGS:

THE BEARING SOUTH 21°21'12" EAST, ON THE CENTERLINE OF MANHATTAN AVENUE AS SHOWN ON PARCEL MAP NO. 60063, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN P.M.B. 340, PAGES 13-14, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 2,691.06 SQ. FT., OR 0.0616 ACRES, MORE OR LESS.

BENCHMARK:

BM ID: QY12106
DESCRIPTION/LOCATION: BRASS DISK IN S CB @ W END C.B. 15FT S/O CL 1ST ST & 20FT E/O THE STRAND
ELEVATION = 28.124 FT.

SURVEYOR'S NOTE:

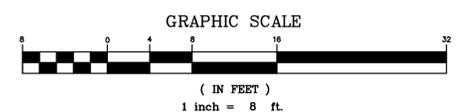
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, IF ANY, ARE NOT SHOWN.

LEGEND:

APN - ASSESSOR'S PARCEL NUMBER	OH - OVERHANG
A.C. - ASPHALT CONCRETE	P.C. - PROPERTY CORNER
BM - BENCHMARK	PG - PAGE
C/L/CL - CENTERLINE	P/L/PL - PROPERTY LINE
CONC. - CONCRETE	PROD - PRODUCED (PROLONGED)
COR. - CORNER	PWFB - PUBLIC WORKS FIELD BOOK
ESTAB. - ESTABLISH	REF - REFERENCE
FB - FIELD BOOK	RCE - REGISTERED CIVIL ENGINEER
FD - FOUND	SSM - STANDARD SURVEY MONUMENT
FF - FINISH FLOOR ELEV.	SSDM - STANDARD SURVEY DISC MONUMENT
FL - FLOWLINE ELEV.	SPK+W - SPIKE & WASHER
INTER - INTERSECTION	TC - TOP OF CURB ELEV.
LS - LAND SURVEYOR	TR - TRACT MAP
L&T - LEAD & TACK	TW - TOP OF WALL ELEV.
M.B. - MAP BOOK	

SYMBOLS:

Cable TV Box	Street Light
Gate Post	Tree
Palm Tree	Water Meter



VICINITY MAP
NOT TO SCALE

M&G CIVIL ENGINEERING AND
LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY 124 2ND STREET, MANHATTAN BEACH, CA 90266		
CLIENT: Mr. Michael Shore	JOB NO.: 23-20346	DATE: 06/01/2023
SCALE: 1" = 8'	DESIGNED BY: F.G. / PD	REVISION (S):
DRAWN BY: MK	CHECKED BY: C.D.L.	SHEET 1 OF 1 SHEET

AREA CALCULATIONS

OPEN SPACE CALCULATION

BASEMENT	1,893
GARAGE	0
FIRST FLOOR	1,055
SECOND FLOOR	1,466
THIRD FLOOR	1,369
SUBTOTAL	5,783 SF

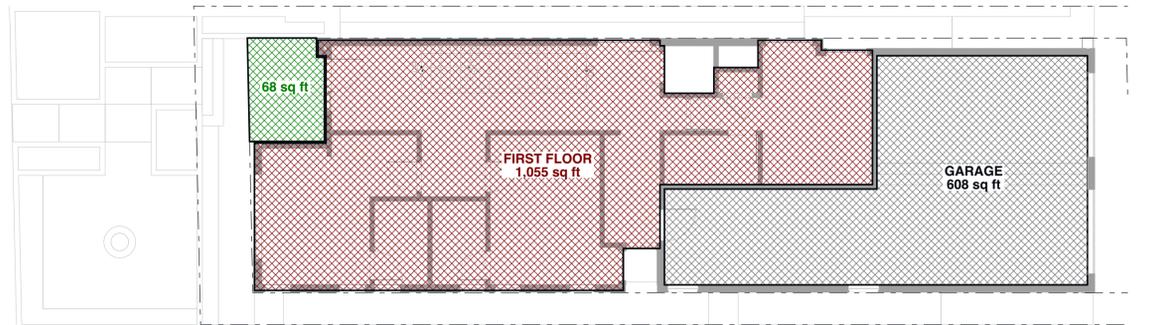
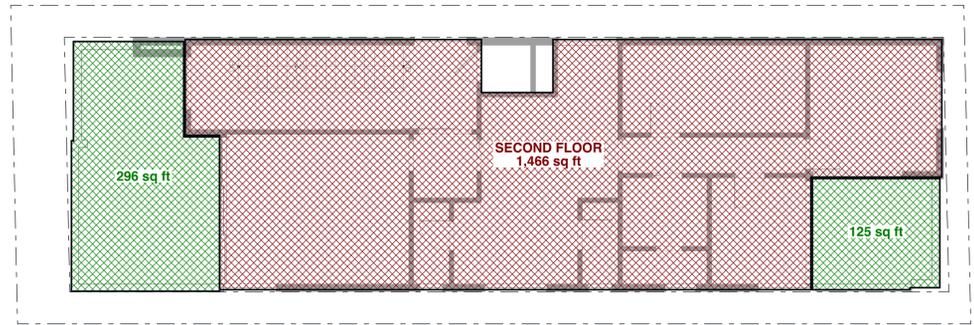
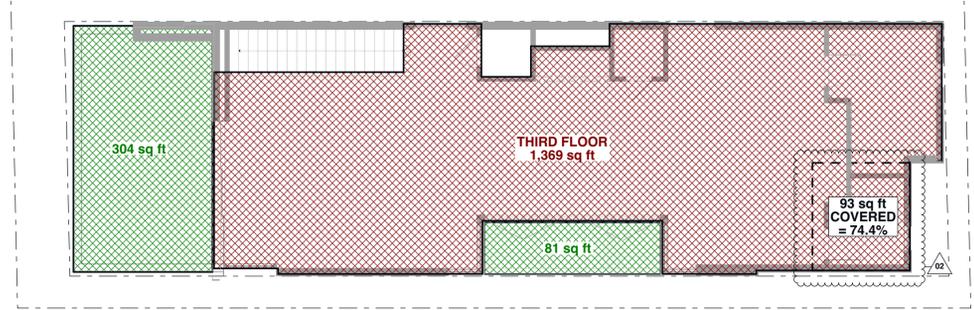
15% REQ'D OPEN SPACE	867.5 SF
OPEN SPACE PROVIDED	874 SF > 867.5 SF ✓

50% OPEN SPACE = 433.75 SF MAX ON 3RD FL
385 SF < 433.75 SF ✓

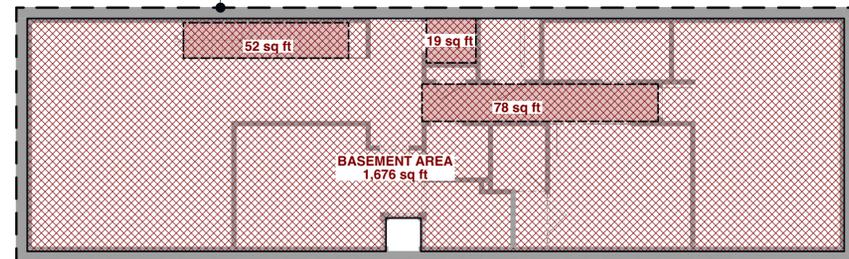
BFA CALCULATION

BASEMENT	1,676
BASEMENT CREDIT	(1,676)
BASEMENT CIRCULATION AREAS	149
GARAGE	608
GARAGE CREDIT	(608)
FIRST FLOOR	1,055
SECOND FLOOR	1,466
THIRD FLOOR	1,369
TOTAL	4,039 SF

ALLOWABLE AREA 4,039 SF < 4,331 SF



GROSS BASEMENT AREA
1,893 sq ft



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124 2ND STREET RESIDENCE
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PROJECT NO. 2317

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STRUCTURAL ENGINEER:
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CONTRACTOR:
-
-
-

ISSUE HISTORY

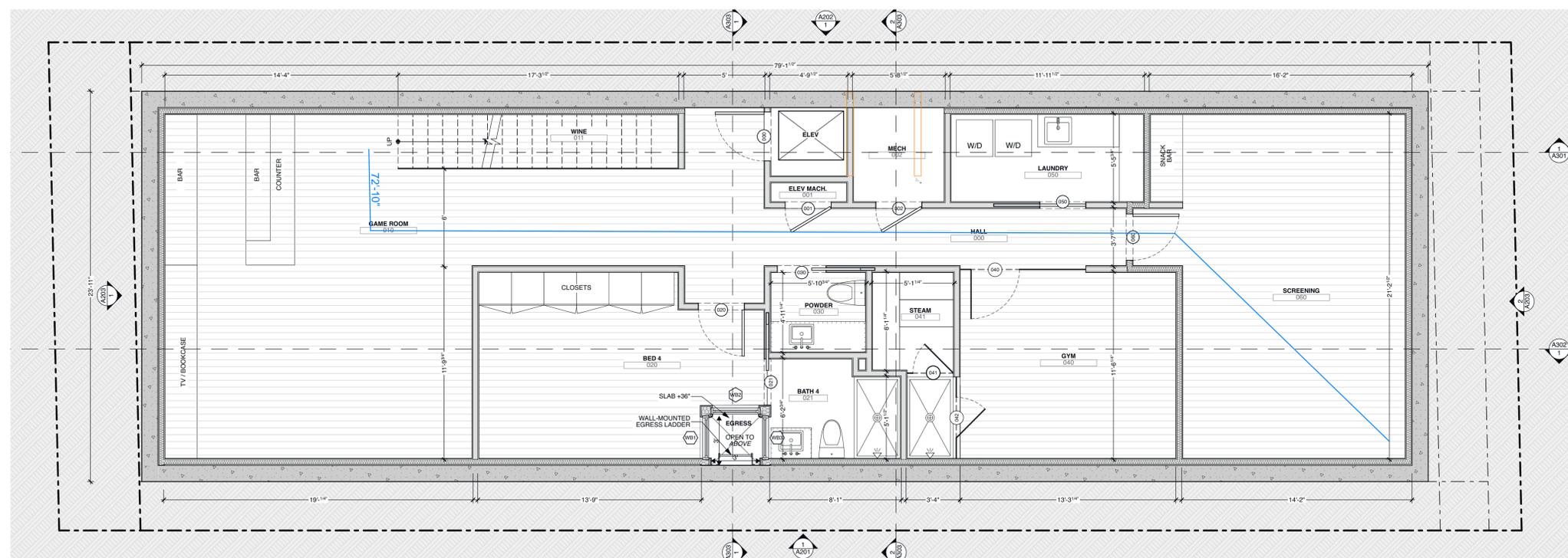
ID	ISSUE	DATE
01	PLANNING SUBMITTAL	6 OCT 2023
02	PLANNING RESUBMITTAL	8 JAN 2024

CURRENT ISSUE:

02 PLANNING RESUBMITTAL

FLOOR AREA PLANS

A010



B BASEMENT
1/4" = 1'-0"

1

ISSUE HISTORY

ID	ISSUE	DATE
01	PLANNING SUBMITTAL	6 OCT 2023
02	PLANNING RESUBMITTAL	8 JAN 2024

CURRENT ISSUE:

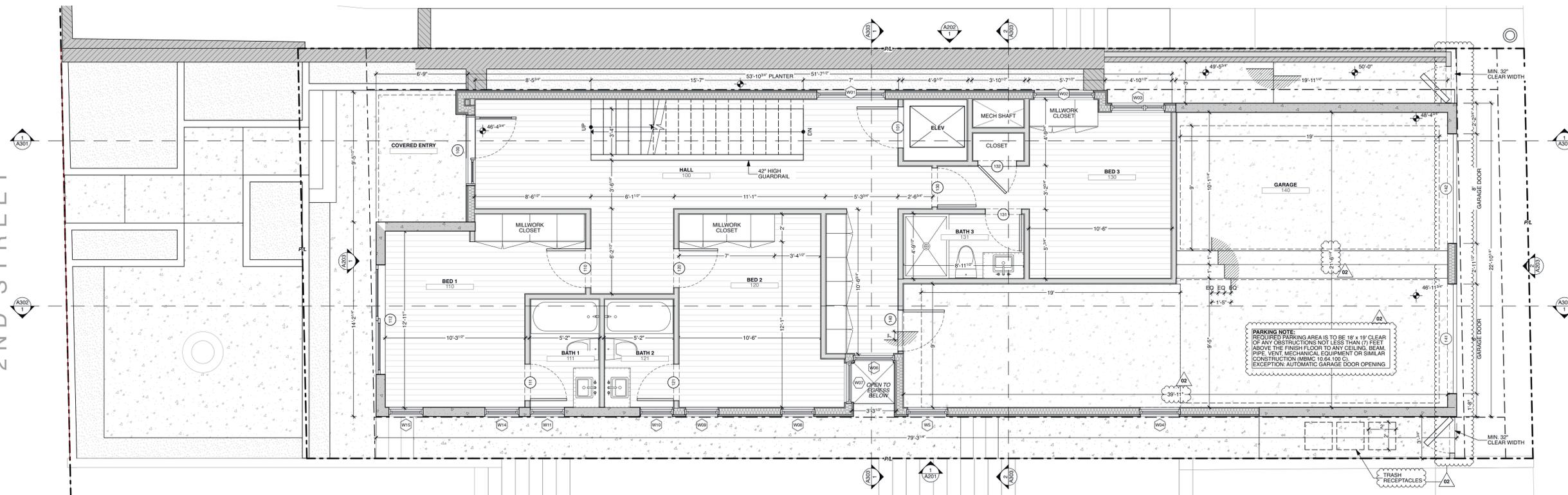
02
PLANNING RESUBMITTAL

BASEMENT PLAN

A100

2ND STREET

1ST PLACE



FIRST FLOOR PLAN

1

1/4" = 1'-0"



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ISSUE HISTORY

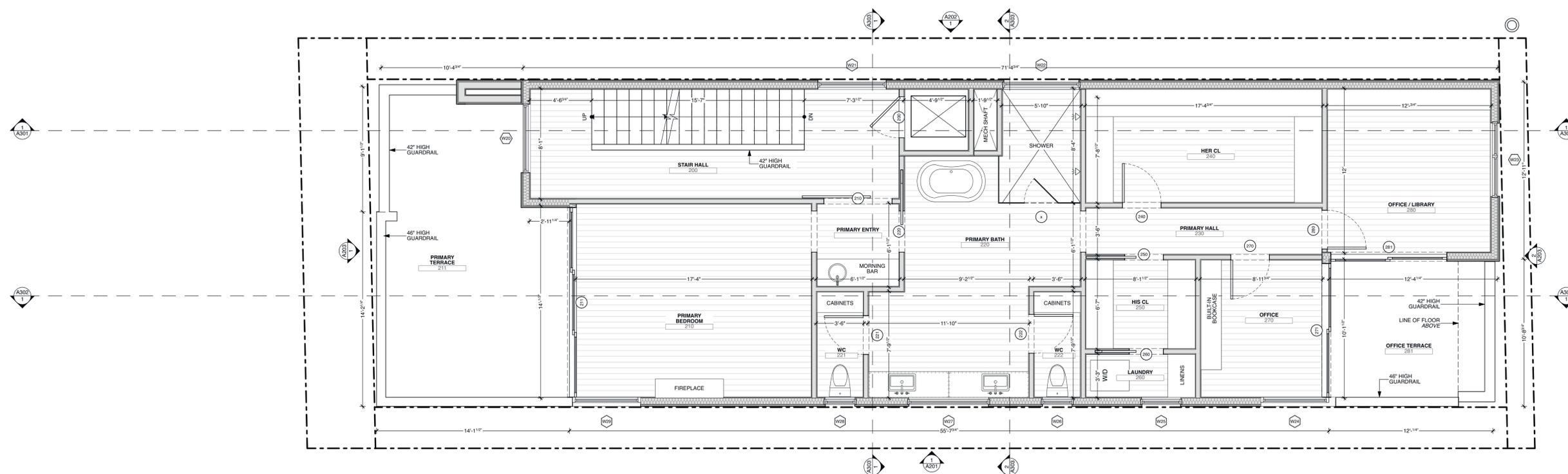
ID	ISSUE	DATE
01	PLANNING SUBMITTAL	6 OCT 2023
02	PLANNING RESUBMITTAL	8 JAN 2024

CURRENT ISSUE:

02 PLANNING RESUBMITTAL

FIRST FLOOR PLAN

A101



SECOND FLOOR PLAN **1**
1/4" = 1'-0"

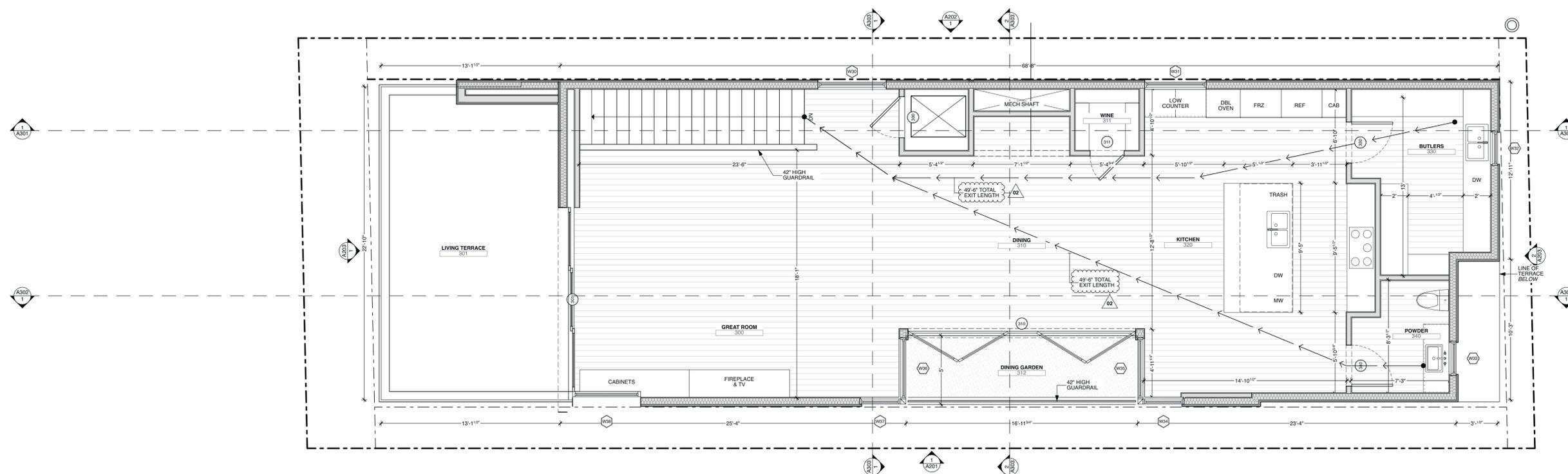
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02
PLANNING RESUBMITTAL

SECOND FLOOR PLAN

A102



3 THIRD FLOOR **1**
1/4" = 1'-0"

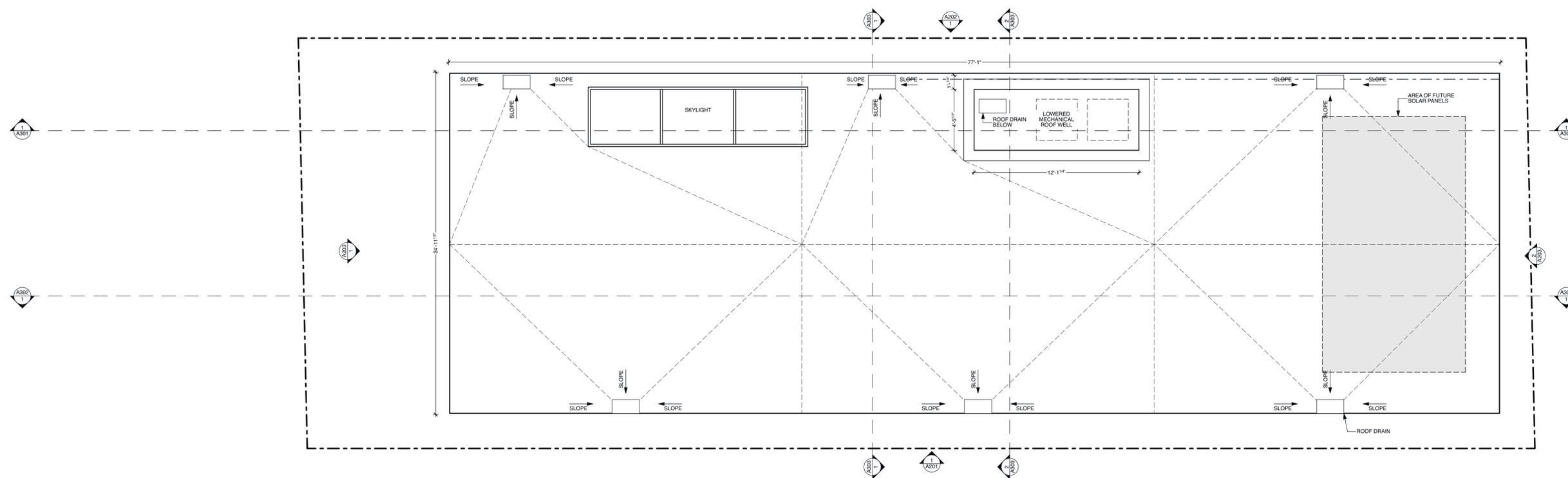
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THIRD FLOOR PLAN

A103



ROOF PLAN **1**
1/4" = 1'-0"

ISSUE HISTORY

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02 PLANNING RESUBMITTAL

ROOF PLAN

A104



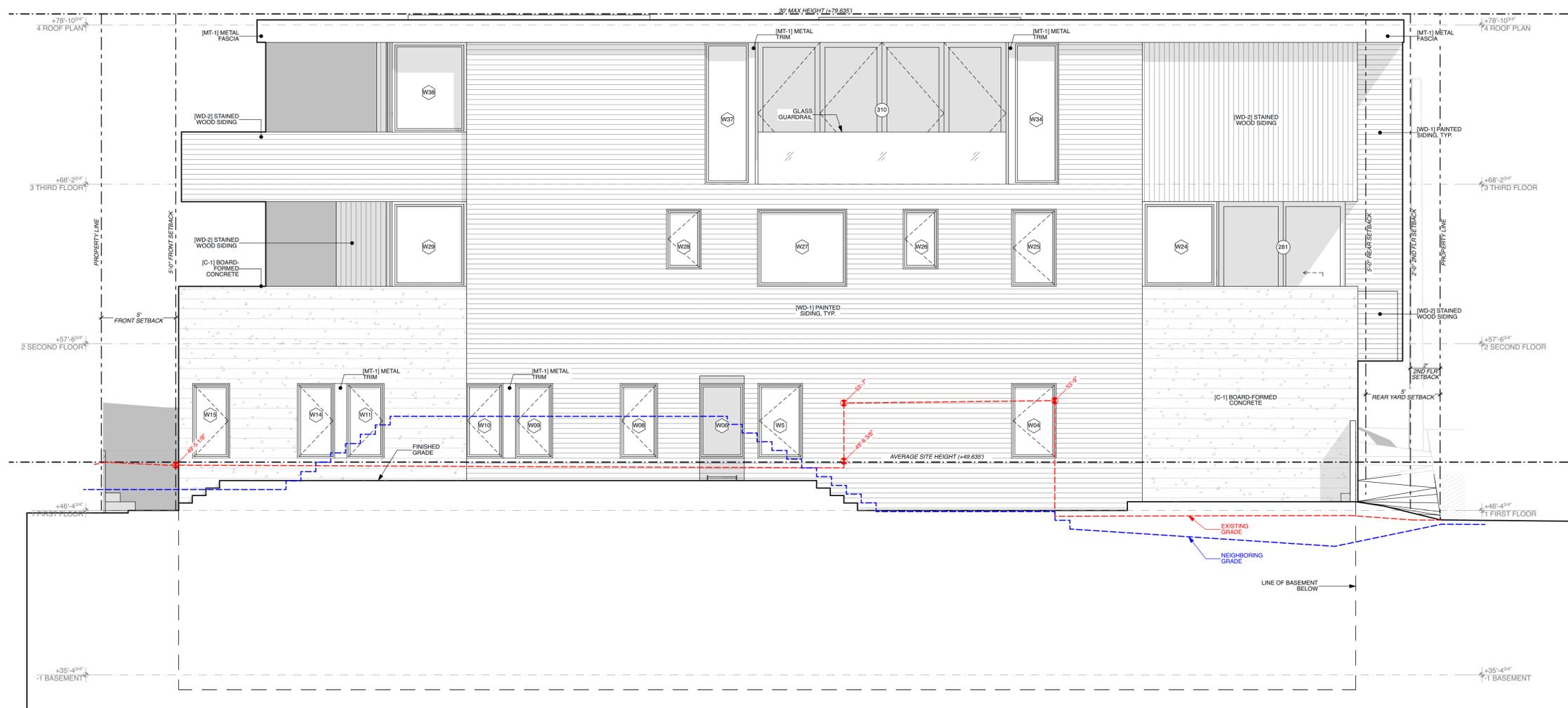
ISSUE HISTORY

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CURRENT ISSUE:
**02
PLANNING RESUBMITTAL**

PROPOSED
ELEVATIONS

A201



WEST ELEVATION
1/4" = 1'-0"
1



124 2ND STREET RESIDENCE
124 2ND STREET
MANHATTAN BEACH CA 90266

PROJECT NO. 2317

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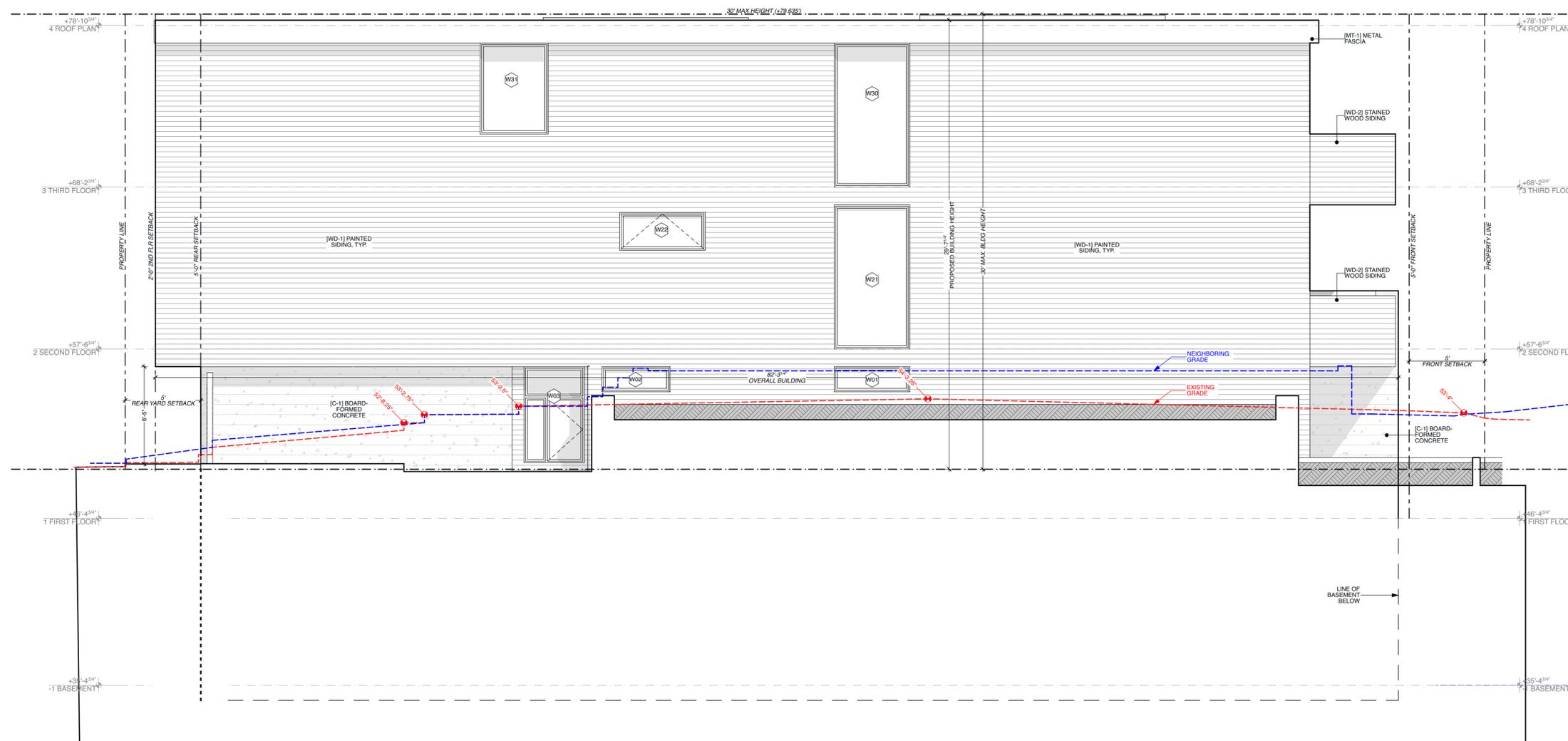
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PROPOSED ELEVATIONS

A202



EAST ELEVATION
1
1/4" = 1'-0"



124 2ND STREET RESIDENCE
124 2ND STREET
MANHATTAN BEACH CA 90266

PROJECT NO. 2317

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ISSUE HISTORY

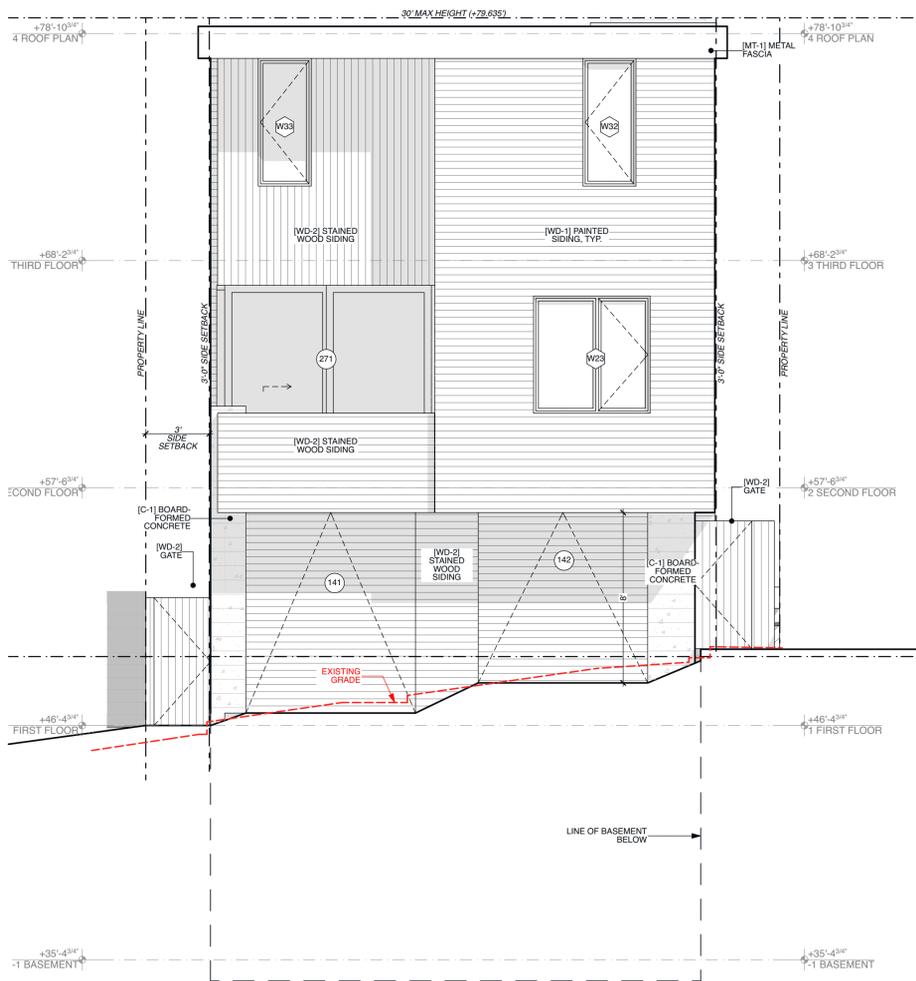
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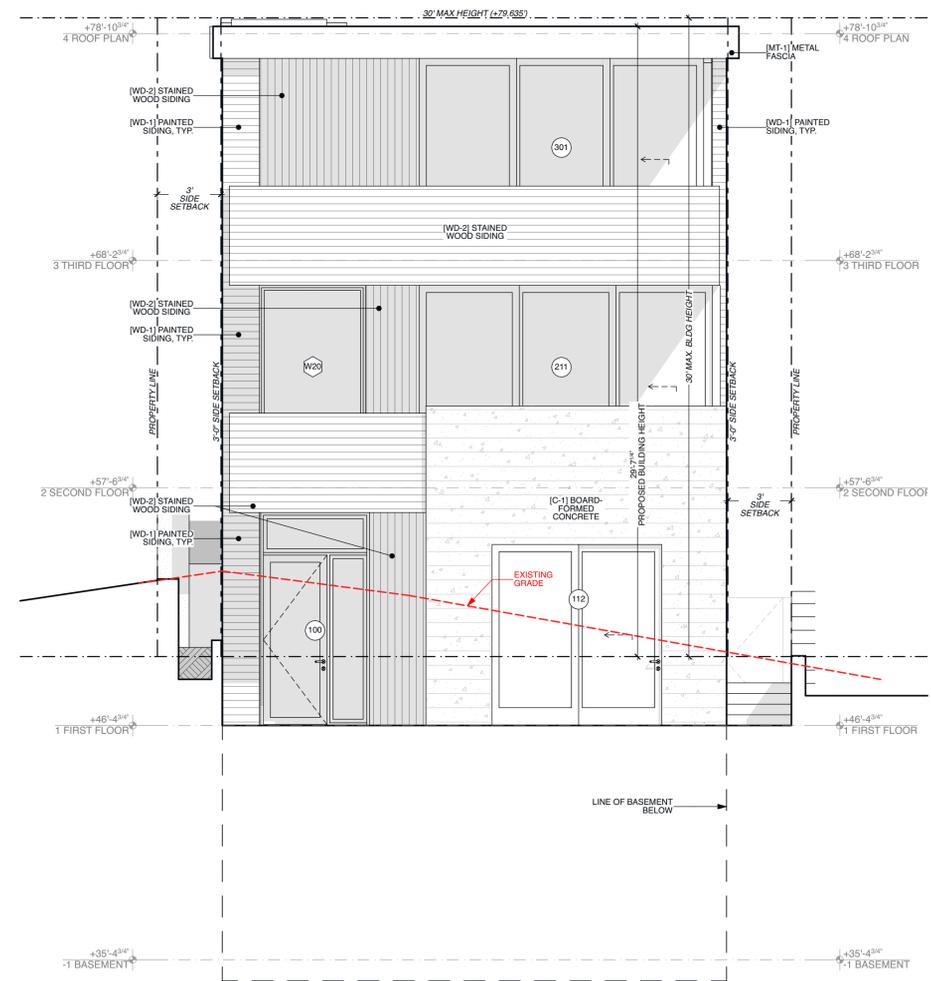
PROPOSED ELEVATIONS

A203

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SOUTH ELEVATION
1/4" = 1'-0" **2**



NORTH ELEVATION
1/4" = 1'-0" **1**



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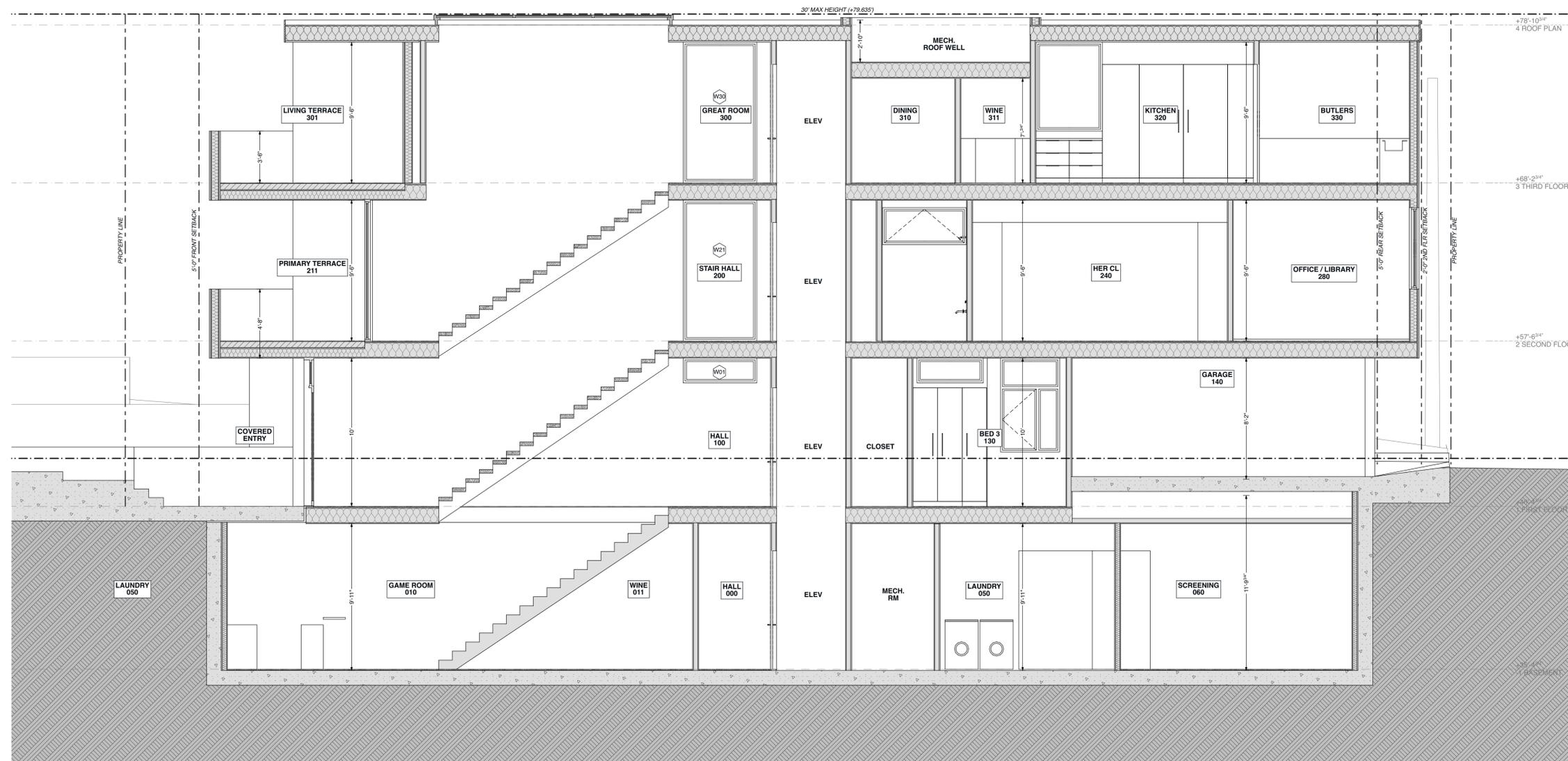
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PLANNING RESUBMITTAL**

SECTIONS

A301



SECTION C
1/4" = 1'-0"

1

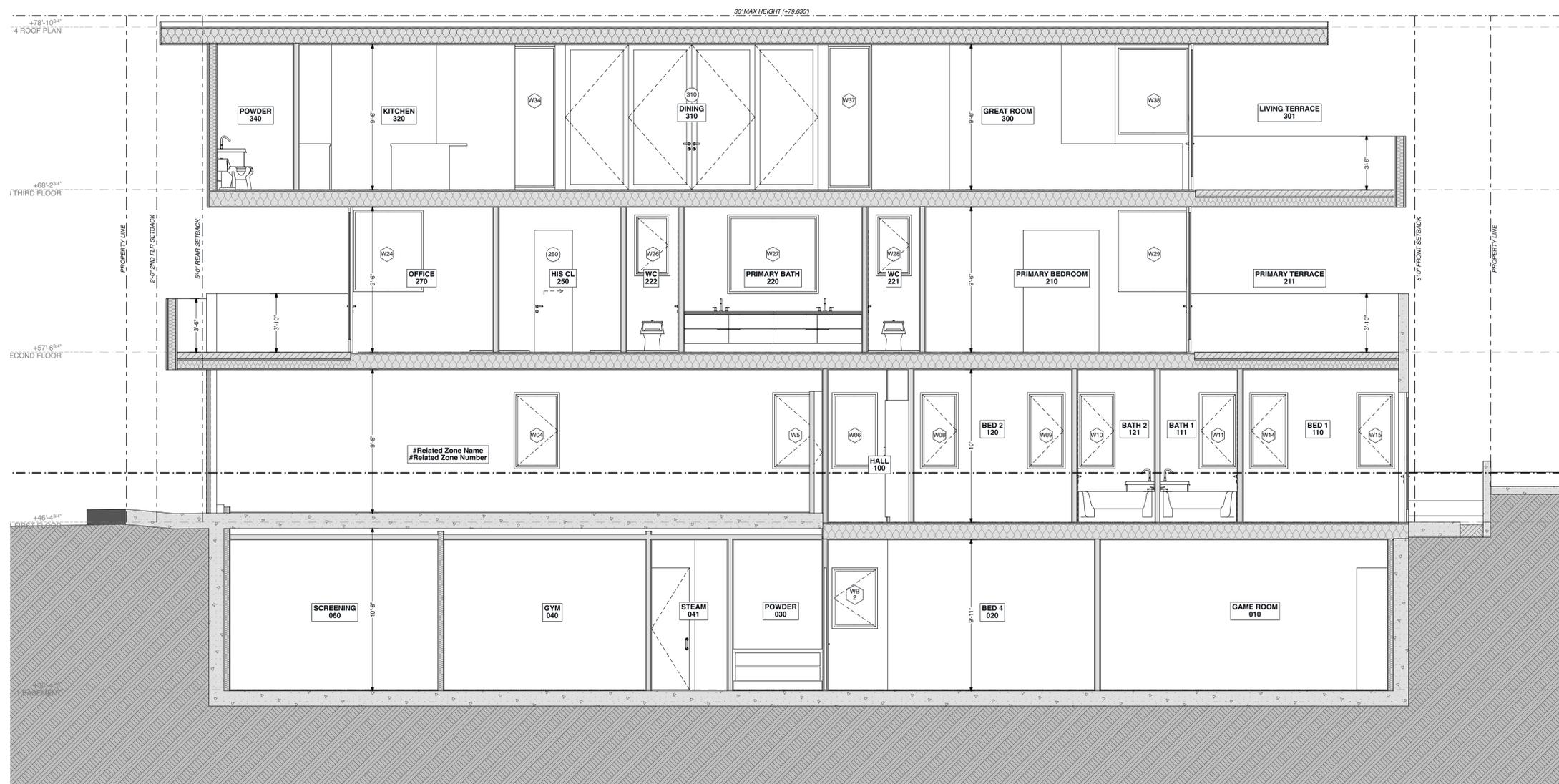
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**02
PLANNING RESUBMITTAL**

SECTIONS

A302



SECTION D
1/4" = 1'-0"

1