

# SACKLEY RESIDENCE

## 4122 THE STRAND, MANHATTAN BEACH, CA 90266

NL  
01/16/2024

AC  
01/16/2024

DATE	REV#

### GENERAL NOTES

- BUILDING COMPLIES WITH 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, AND CITY OF MANHATTAN BEACH.
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON SITE/PLOT PLAN.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC. - SEE SP-02
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.28 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPE RISERS. (UPC 710.11)
- ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD). (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE PER MBMC.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC. SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- PROVIDE PROTECTION TO PEDESTRIANS PER UBC SECTION 3303 DURING CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.5" - PER SECTION R319.1
- N/A
- COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
- THE JURISDICTION HAVING AUTHORITY SHALL BE NOTIFIED IN WRITING OF ANY CHANGES. THE REGISTERED DESIGN PROFESSIONAL SHALL REVIEW AND COORDINATE ALL SUBMITTED DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS. THE REGISTERED DESIGN PROFESSIONAL SHALL SUBMIT DEFERRED DOCUMENTS TO THE JURISDICTION HAVING AUTHORITY IN A TIMELY MANNER. THE OWNER SHALL NOTIFY THE BUILDING OFFICIAL IN WRITING IF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IS CHANGED.
- DEFERRED SUBMITTAL DOCUMENTS FOR FIRE SPRINKLERS, ELECTRICAL, MECHANICAL SYSTEMS AND SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL.
- OBTAIN SANITATION DISTRICT APPROVAL FOR ANY NEW SEWER CONNECTION.
- CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. ANY EXISTING CESSPOOL SHALL BE LOCATED AND INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS SHALL COMPLY WITH SECTION R302.4.

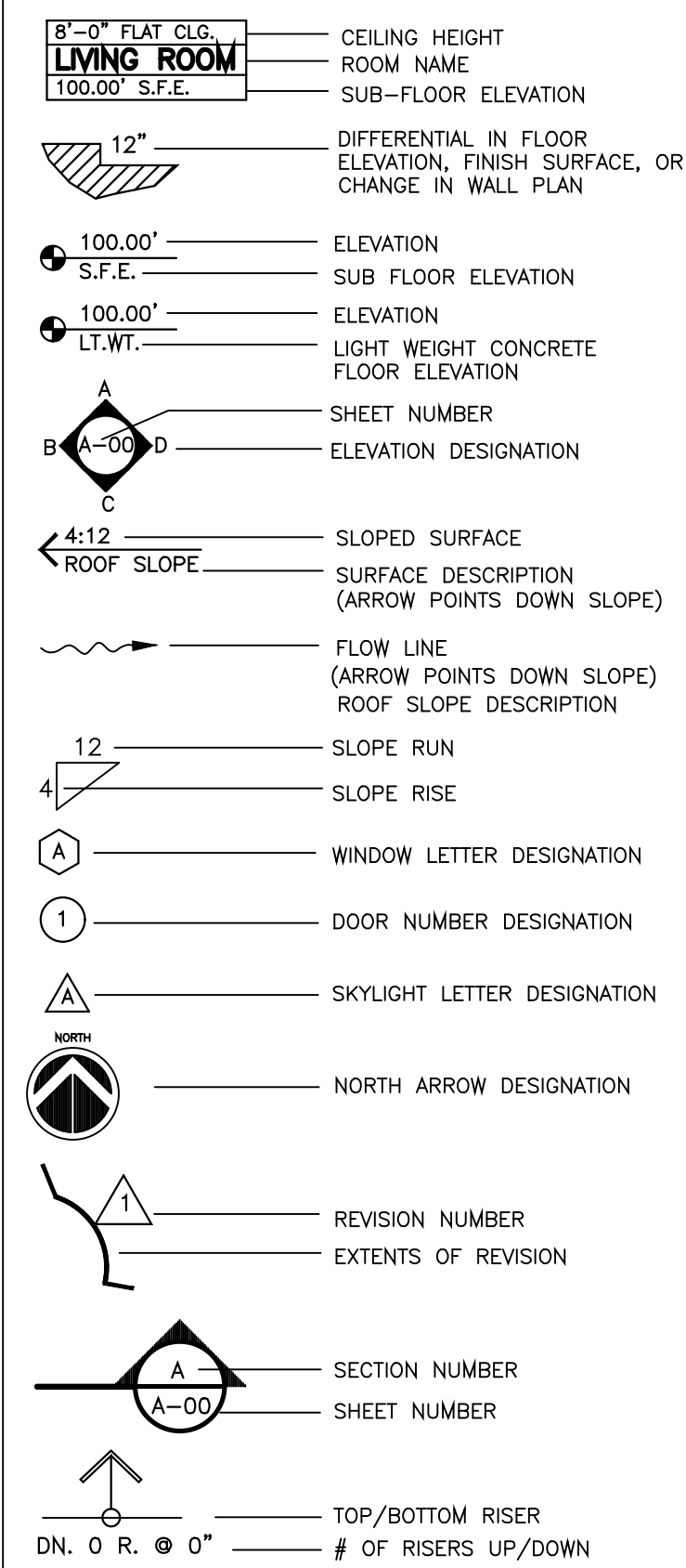
### PUBLIC WORKS NOTES

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/GRASS LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
- EROSION AND SEDIMENT CONTROL DEVICES (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMPs MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF 3" CAST IRON PIPE AND LABELED ON THE SITE PLAN. DRAIN LINES MUST BE SHOWN ON THE PLANS. CONNECTING ON-SITE DRAINAGE LINE TO SEWER LATERAL IS STRICTLY PROHIBITED.
- ALL CONCENTRATED RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO 42ND STREET THROUGH THE DRAIN LINES AND MUST BE SHOWN ON THE PLANS WITH ALL REQUIRED OUTLET FLOW LINE ELEVATIONS AT THE DISCHARGE POINT.
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET TO BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.
- SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, ST-3 AND ST-10. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (%) OF SLOPE ON DRIVEWAY, DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15% (CITY RECOMMENDS THAT GARAGE FINISH FLOOR ELEVATION PER DESIGN PLANS BE HIGHER THAN EXISTING STREET GRADES, IN ORDER TO MINIMIZE POSSIBILITY OF ANY FUTURE FLOODING IN THE GARAGE). CITY PLANS/SURVEY MUST SHOW ELEVATIONS FOR EACH ADJOINING PROPERTY. NO DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES SHALL EXCEED MORE THAN 1/4".
- DRIVEWAY PROFILES EXCEEDING 10% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 15% ARE NOT PERMITTED.
- THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.76.030. THE DRIVEWAY APRON ON DRIVEWAY DRIVE MUST BE IMPROVED PER CITY STANDARD PLANS.
- CONTRACTOR TO PROTECT IN PLACE ALL EXISTING PROPERTY CORNERS DURING CONSTRUCTION. IF ANY OF THE PROPERTY CORNERS ARE REMOVED OR DESTROYED DURING CONSTRUCTION, IT WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THEM.
- ALL EXISTING OR CONSTRUCTION RELATED DAMAGES OR DISPLACED CURB/GUTTER, SIDEWALK OR DRIVEWAY APPROACH OR STREET MUST BE REPLACED AND SHOWN ON THE PLANS. ADDITIONAL PUBLIC IMPROVEMENTS MAY BE REQUIRED DURING AND/OR NEAR THE COMPLETION OF THE PROJECT. ALL IMPROVEMENTS DETERMINED BY THE PUBLIC WORKS INSPECTOR BASED ON CONDITIONS OF PUBLIC WORKS IMPROVEMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, WALLS/FENCES, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIERS.
- NEW 6" VCP SEWER LATERAL WILL BE INSTALLED IF THE EXISTING LATERAL IS LESS THAN 6" IN DIAMETER. SEWER CLEANOUT SHOULD BE LOCATED WITHIN PRIVATE PROPERTY LINES. A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM FIXTURES WITH FLOOD LEVEL RIMS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER (PER CITY STANDARD PLAN ST-24).
- IF ANY EXISTING SEWER LATERAL (6" MINIMUM) IS USED, IT MUST BE TELEVIEWED TO CHECK ITS STRUCTURAL INTEGRITY PRIOR TO ANY DEMOLITION WORK. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT AND MUST SHOW PROOF OF THE LOCATION OF WHERE IT WAS SHOT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY SEWER LATERAL NEEDS REPAIRING, REPLACEMENT, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION. VIDEOING OF LATERAL MUST BE IN ITS ORIGINAL STATE. NO CLEANING, FLUSHING OR ALTERING PRIOR TO VIDEOING IS PERMITTED.
- IF A NEW SEWER LATERAL IS TO BE INSTALLED AT A DIFFERENT LOCATION ON THE SEWER MAIN LINE, THE OLD LATERAL MUST BE CAPPED AT THE PROPERTY LINE AND AT THE MAIN LINE. PRIOR TO STRUCTURE DEMOLITION A SEWER CAP VERIFICATION AND APPROVAL FROM PUBLIC WORKS INSPECTOR IS REQUIRED.
- WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON THE PLANS. SEE CITY STANDARD PLAN ST-15. FOR EXISTING WATER SERVICE RELOCATIONS AND/OR ABANDONMENT, WATER SERVICE MUST BE CAPPED AT THE MAIN AND AT THE METER.
- THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
- EACH PROPERTY MUST PROVIDE A SEPARATE SEWER LATERAL PER M.B.M.C.5.36 AND SEPARATE WATER SERVICE PER CITY STANDARD PLAN ST-15.
- RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A-C-12 OR C-34 LICENSE FOR ALL TRENCHING AND PAVING OR A CLASS C-08 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK CONSTRUCTED IN CONJUNCTION WITH A SINGLE-FAMILY RESIDENTIAL STRUCTURE. A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT OF WAY.
- PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
- THE CONTRACTOR SHALL MONITOR, SUPERVISE AND CONTROL ALL CONSTRUCTION AND CONSTRUCTION SUPPORTIVE ACTIVITIES, SO AS TO PREVENT THESE ACTIVITIES FROM CAUSING A PUBLIC NUISANCE, INCLUDING BUT NOT LIMITED TO, ENSURING STRICT ADHERENCE TO THE FOLLOWING:
  - REMOVAL OF DIRT, DEBRIS OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET NO LATER THAN THE END OF EACH WORKING DAY.
  - ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
  - ALL DUST CONTROL MEASURES PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) REQUIREMENTS SHALL BE ADHERED TO DURING THE CONSTRUCTION OPERATIONS.
  - ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

### PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLOT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, FIRE SPRINKLER, SHORING, RETAINING WALLS OR BLOCK FENCES POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AND HEDGES AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- PROVIDE STREET ADDRESS LETTERS AT A MINIMUM 4" INCHES IN HEIGHT @ APPROVED LOCATION.
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- A 'CAPPED TEE' FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. P&T RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDERGROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MBMC10.12.030(0)).
- A TREE REMOVAL PERMIT OR TREE PROTECTION PLAN IS REQUIRED FOR THE REMOVAL OR PRESERVATION OF TREES WITHIN THE FRONT YARD (RESIDENTIAL ZONES , AREA DISTRICT II, WEST OF SEPULVEDA BOULEVARD-MBMC10.52.120).
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: UBO AND SOE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCRUCH INTO THE REQUIRED PARKING OR VEHICLE MANUEVERING AREA).
- PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY-SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO FINAL INSPECTION.

### SYMBOL LEGEND



### ABBREVIATION

A.H.	ACTUAL HEIGHT	HORZ.	HORIZONTAL
A.W.	AWNING WINDOW	HT.	HEIGHT
B.O.W.	BOTTOM OF WALL	LND.	LANDING
C.H.	CRITICAL HEIGHT	LT.WT.	LIGHT WEIGHT CONCRETE
CLG.	CEILING	MAX.	MAXIMUM
CLR.	CLEAR	MIN.	MINIMUM
COL.	COLUMN	OP.	OPERABLE
CONC.	CONCRETE	PLINE.	PROPERTY LINE
C.W.	CASEMENT WINDOW	REQ.	REQUIRED
DIM.	DIMENSION	SECT.	SECTION
DN.	DOWN	S.F.E.	SUB FLOOR ELEVATION
ELEV.	ELEVATION	SHT.	SHEET
F.A.	FROM ABOVE	SK.	SKewed
F.F.E.	FINISHED FLOOR ELEV.	SL.	SLOPED
FLR.	FLOOR	T.O.W.	TOP OF WALL
FX.	FIXED		

### CONSULTANTS

#### CIVIL SURVEY ENGINEER

DENN ENGINEERS (310) 542-9433  
3914 DEL AMO BLVD, SUITE 921  
TORRANCE, CA 90503

#### STRUCTURAL ENGINEER

GARCIA CASTRO & ASSOCIATES (626)325-3531  
750 OTAY LAKES RD. #202  
CHULA VISTA, CA. 91910

#### ENERGY CONSULTANT

ENERGL024 (818)665-6023  
4826 ALLEN COURT  
EUREKA, CA. 95503

#### GEO-TECHNICAL ENGINEER

NORCAL ENGINEERING (562)799-9469  
10641 HUMBOLT STREET  
LOS ALAMITOS, CA 90720

### PROJECT DATA

#### SCOPE OF WORK

CONSTRUCT NEW 3974 S.F. MULTI-FAMILY 2 UNIT BUILDING WITH DETACHED STRUCTURE CONTAINING 2 CAR GARAGE AND 586 S.F. ADU

#### PROPERTY OWNERS

STUART SACKLEY  
4180 THE STRAND  
MANHATTAN BEACH, CA 90266

#### LEGAL DESCRIPTION

LOT 15, BLOCK 4, TRACT NO. 4103  
M.B. 46-8  
APN: 4137-008-028

#### OCCUPANCY AND ZONING

OCCUPANCY: R2/U  
ZONING: RH  
CONSTRUCTION TYPE: V-B FULLY SPRINKLERED  
AREA DISTRICT: IV  
NO. OF UNITS: 3  
PARKING SPACES: 4  
NO. OF STORIES: 3 (MAIN BLDG.), 2 (DETACHED STRUC.)

#### APPLICABLE CODES

2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC  
2022 CGBSC, 2022 CITY OF MANHATTAN BEACH MUNICIPAL CODE, 2022 CA ENERGY CODE TITLE 24 PART 6

#### AREA CALCULATIONS

UNIT A:	FIRST FLOOR:	1000 S.F.
	GARAGE LEVEL:	58 S.F.
	SECOND FLOOR:	1060 S.F.
	THIRD FLOOR:	812 S.F.
	TOTAL FLOOR AREA:	2930 S.F.
	GARAGE AREA:	387 S.F.
	STORAGE & MECHANICAL:	101 S.F.
	BALCONIES AND DECKS:	291 S.F.
UNIT B:	SECOND FLOOR:	559 S.F.
	THIRD FLOOR:	485 S.F.
	TOTAL FLOOR AREA:	1044 S.F.
	GARAGE AREA (DETACHED):	396 S.F.
	BALCONIES AND DECKS:	135 S.F.
ADU:	SECOND FLOOR:	586 S.F.

#### BUILDABLE FLOOR AREA

LOT SIZE: 33.31' X 105.11' = 3501 S.F.  
MAX. BFA: 3501 S.F. X 1.7 = 5952 S.F.  
PROPOSED: UNIT A: 2930 S.F.  
UNIT B: 1044 S.F.  
ADU: 586 S.F.  
TOTAL: 4560 S.F.

#### OPEN SPACE

UNIT A: REQUIRED: 2930 S.F. \* .15 = 440 S.F.  
PROPOSED: 446 S.F.  
UNIT B: REQUIRED: 1044 S.F. \* .15 = 157 S.F.  
157 < 220: 220 S.F. MIN. REQUIRED  
PROPOSED: 392 S.F.  
ADU: NOT REQUIRED

#### HEIGHT CALCULATIONS

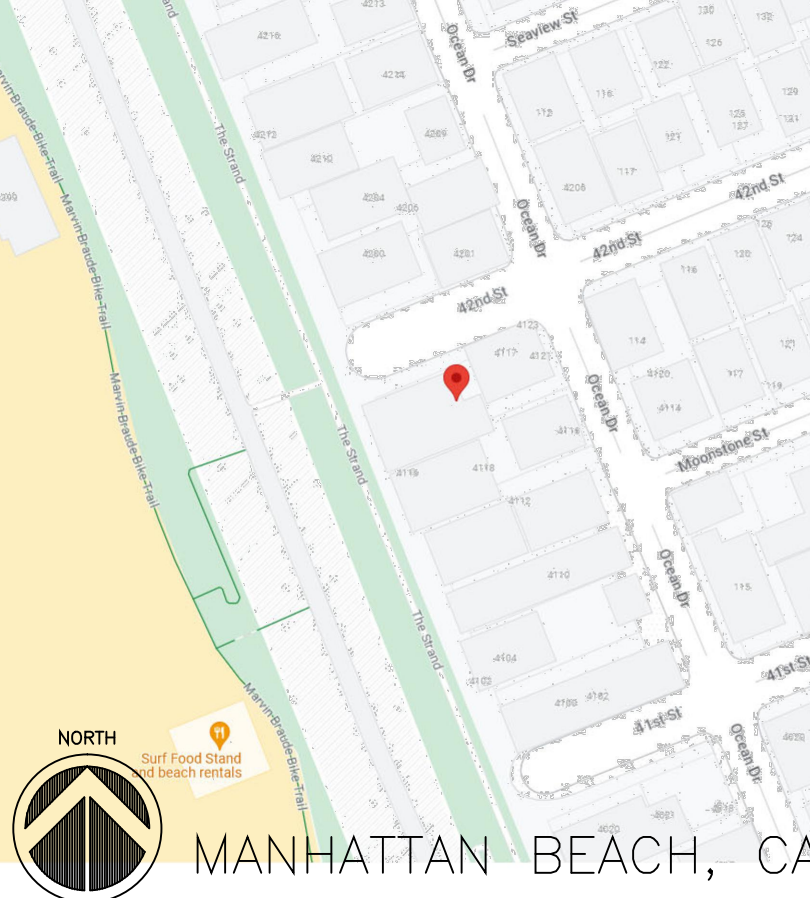
MAIN BLDG.: 102.78'+101.50'+88.94'+86.97' = 380.19'  
380.19' / 4 = 95.05' + 30' = 125.05'  
DETACHED: 102.78'+101.50'+99.90'+101.00' = 405.18'  
405.18' / 4 = 101.30' + 20' = 121.30'

#### DEFERRED SUBMITTALS

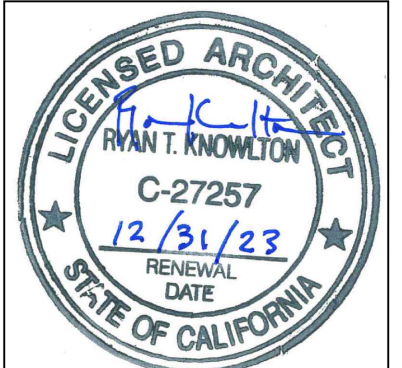
### SHEET INDEX

COVER	PROJECT INFORMATION
C-000	CIVIL SURVEY
A-100	AREA CALCULATION SHEET
A-101	SITE PLAN
A-103	FIRST FLOOR PLAN, GARAGE LEVEL PLAN
A-104	SECOND FLOOR PLAN, THIRD FLOOR PLAN
A-105	ROOF PLAN
A-201	ELEVATIONS
A-202	ELEVATIONS
A-300	SECTIONS

### VICINITY MAP



ARCHITECT:  
**THE KNOWLTON GROUP**  
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310.344.5983 INFO@THEKNOWLTONGROUP.NET



PROJECT:  
**SACKLEY RESIDENCE**  
4122 THE STRAND, MANHATTAN BEACH, CA 90266

PRINT DATE  
**12/11/2023**

DWG. NAME

SHEET NO.  
**COVER**

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## SURVEY AND TOPOGRAPHY

FOR  
STUART SACKLEY  
4180 THE STRAND  
MANHATTAN BEACH, CA 90266  
PHONE (310) 259-0300

### JOB ADDRESS

4122 THE STRAND  
MANHATTAN BEACH, CA 90266

### LEGAL DESCRIPTION

LOT 15, BLOCK 4  
TRACT NO. 4103  
M.B. 46-8  
APN: 4137-008-028

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY MB CHECK BY TS

DRAWN ON MAY 8, 2023

REVISIONS  
REVISIONS

### LEGEND

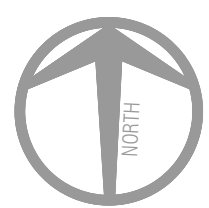
	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+106.76	EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN	CL	CENTERLINE
C.L.F.	CHAIN-LINK	ELY	EASTERLY
EM	ELECTRIC METER	FD	FOUND
FE	FENCE	FF	FINISH FLOOR
FF	FIRE HYDRANT	FL	FLOW LINE
GFF	GARAGE FINISH FLOOR	GM	GAS METER
GW	GUY WIRE	L&T	LEAD AND TAG
MH	MANHOLE	NLY	NORTHERLY
PC	PROPERTY CORNER / PROP. CORNER	PL, P/L	PROPERTY LINE / PROP. LINE
PP	POWER POLE	PPF	PAPAPE
SPW	SPIKE AND WASHER	SLY	SOUTHERLY
SPK	SPIKE	SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE	STK	STAKE / STAKE & TAG
STL	STREET LIGHT	TC	TOP OF CURB
TW	TOP OF WALL / T.O.W.	TX	TOP OF DRIVEWAY APRON
WLY	WESTERLY	WM	WATER METER

NOTE: ALL STRUCK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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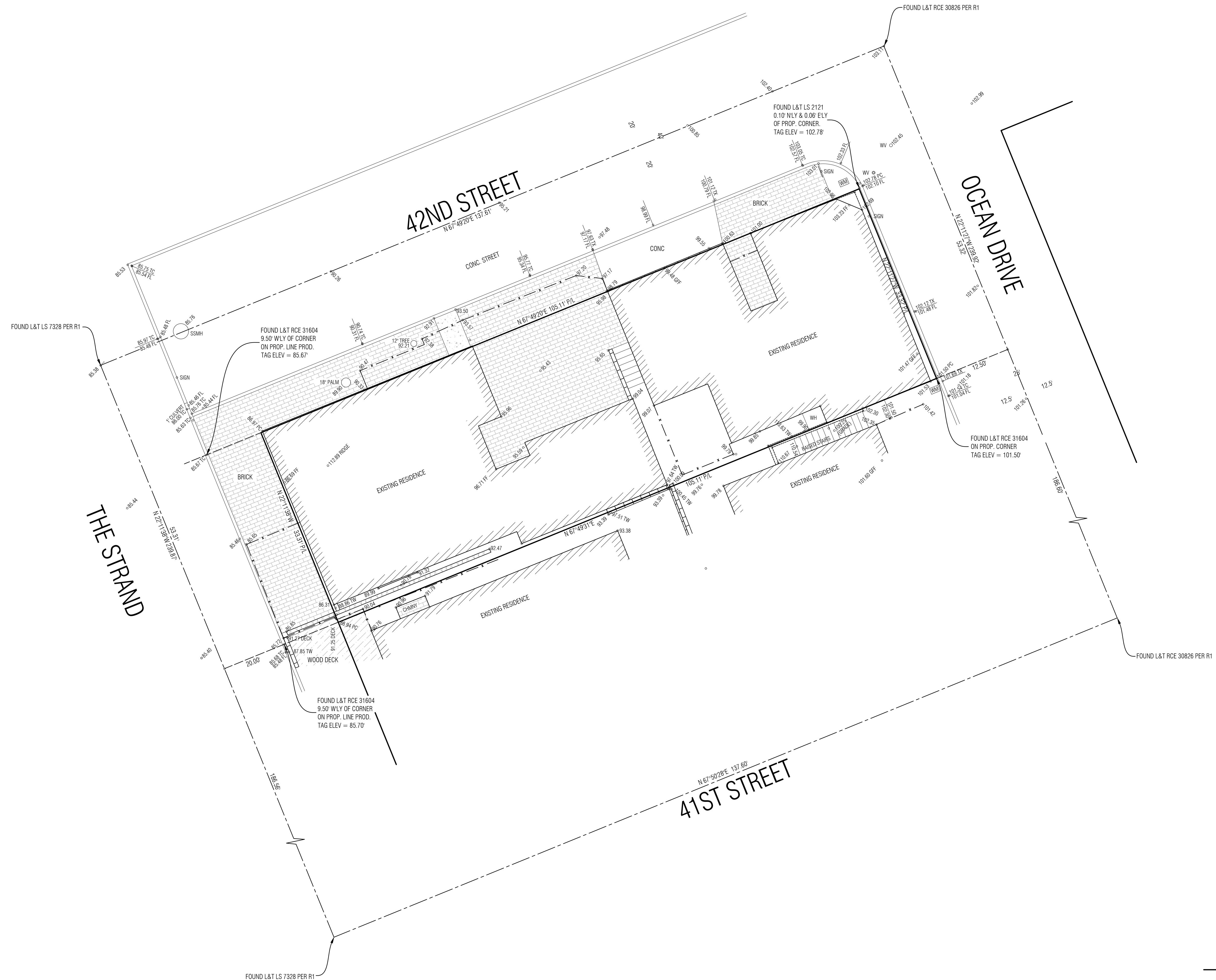


SCALE 1" = 8'

# C-000

SHEET 1 OF 1

JOB NO. 20-412B

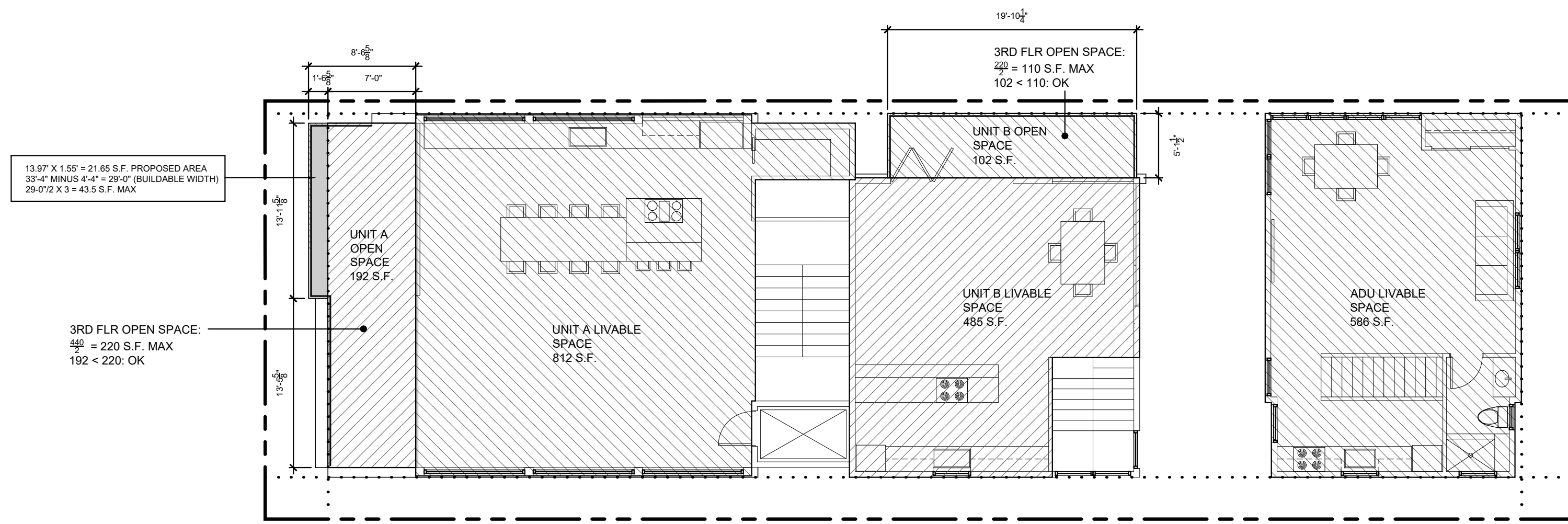


R1 = PARCEL MAP NO. 63135  
P.M.B 349-97-98

NOTE:  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

TITLE COMPANY: PRIORITY TITLE CO.  
ORDER NO.: E98802  
DATE: AUGUST 31, 2020

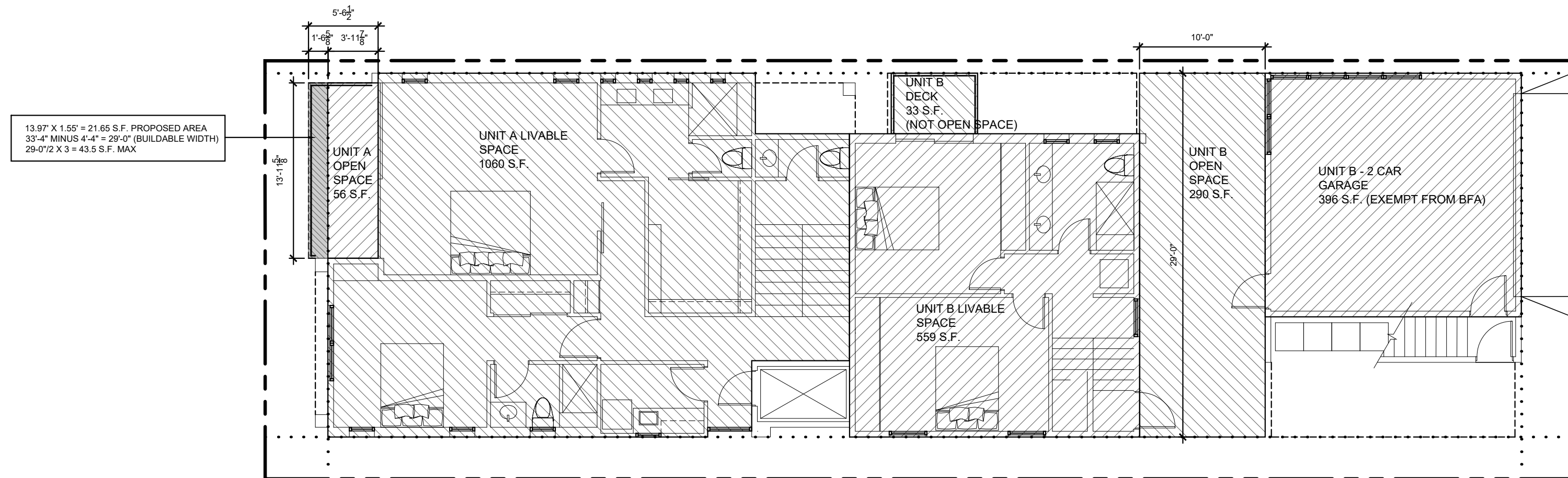




### THIRD FLOOR AREA DIAGRAM

1/8" = 1'-0"

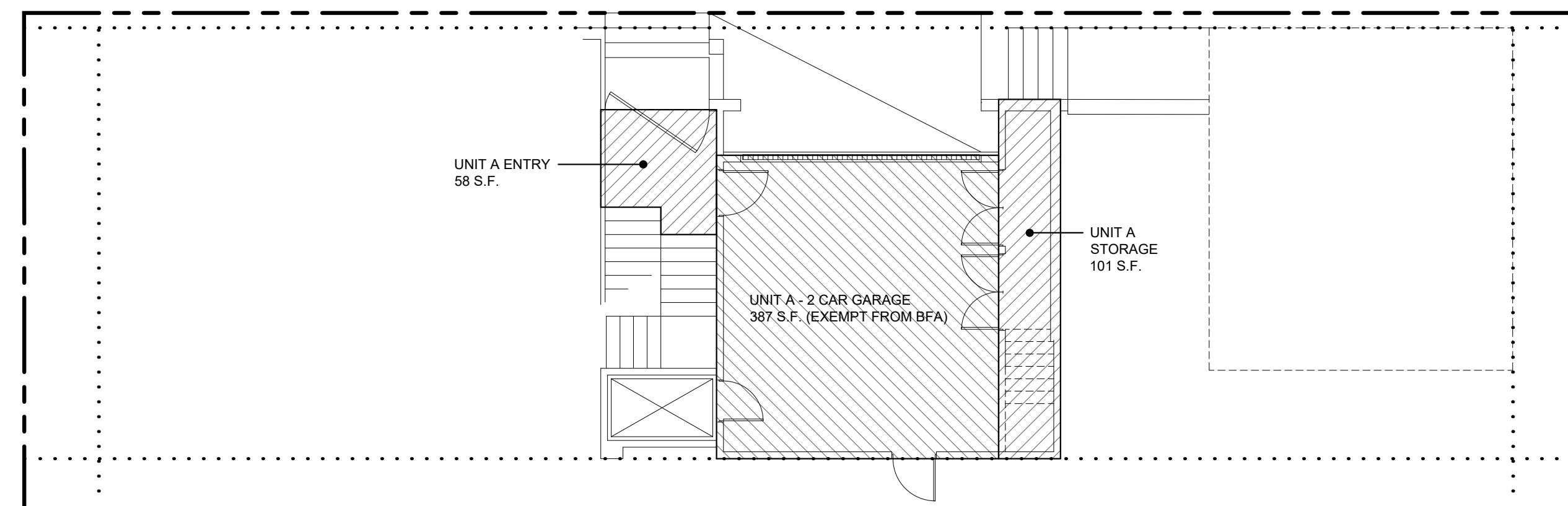
	UNIT A	UNIT B	ADU
LIVABLE AREA S.F.	812	485	588
MECH. / STORAGE S.F.	0	0	0
GARAGE S.F.	0	0	0
DECK S.F.	213.5	102	0
OPEN SPACE S.F.	192	102	0



### SECOND FLOOR AREA DIAGRAM

1/8" = 1'-0"

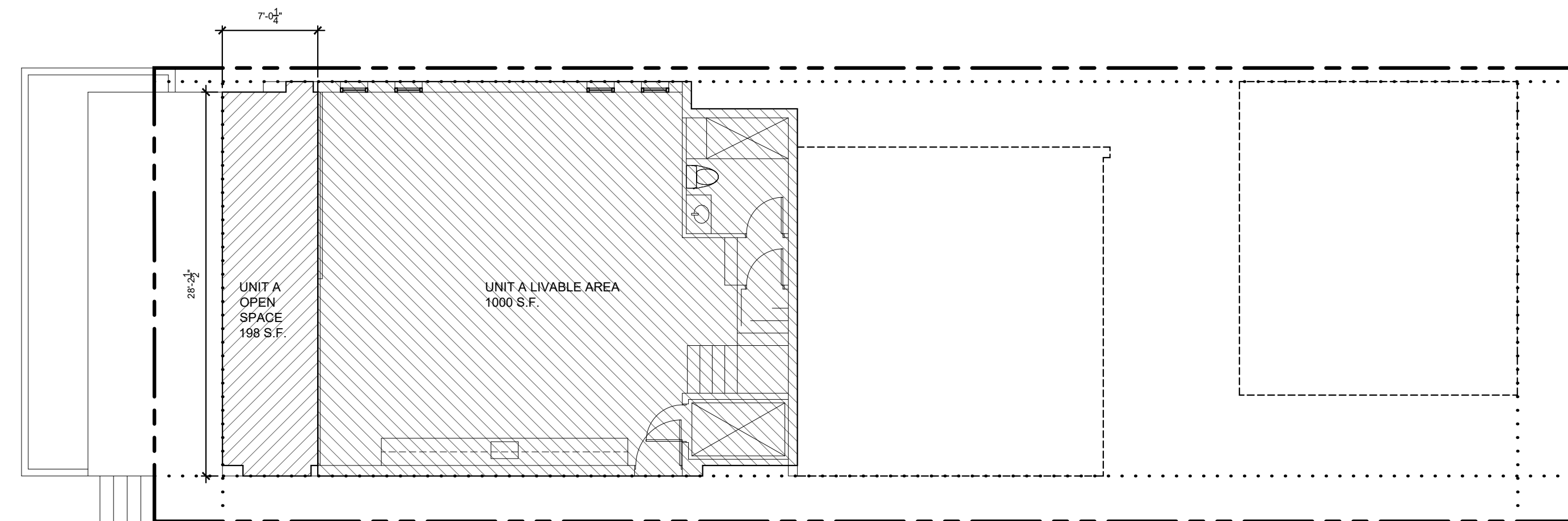
	UNIT A	UNIT B	ADU
LIVABLE AREA S.F.	1060	559	0
MECH. / STORAGE S.F.	0	0	0
GARAGE S.F.	0	396	0
DECK S.F.	77.5	33	0
OPEN SPACE S.F.	56	290	0



### GARAGE LEVEL AREA DIAGRAM

1/8" = 1'-0"

	UNIT A	UNIT B	ADU
LIVABLE AREA S.F.	56	0	0
MECH. / STORAGE S.F.	101	0	0
GARAGE S.F.	387	0	0
DECK S.F.	0	0	0
OPEN SPACE S.F.	0	0	0



### FIRST FLOOR AREA DIAGRAM

1/8" = 1'-0"

	UNIT A	UNIT B	ADU
LIVABLE AREA S.F.	1000	0	0
MECH. / STORAGE S.F.	0	0	0
GARAGE S.F.	0	0	0
DECK S.F.	0	0	0
OPEN SPACE S.F.	198	0	0

DATE	REV#

ARCHITECT:  
**THE KNOWLTON GROUP**  
1117 5TH STREET, SUITE D, MANHATTAN BEACH  
310.344.5983 INFO@THEKNOWLTONGROUP.NET



PROJECT:  
**SACKLEY RESIDENCE**  
4122 THE STRAND, MANHATTAN BEACH, CA 90266

PRINT DATE  
12/11/2023

DWG. NAME  
AREA CALCULATIONS

SHEET NO.  
**A-100**

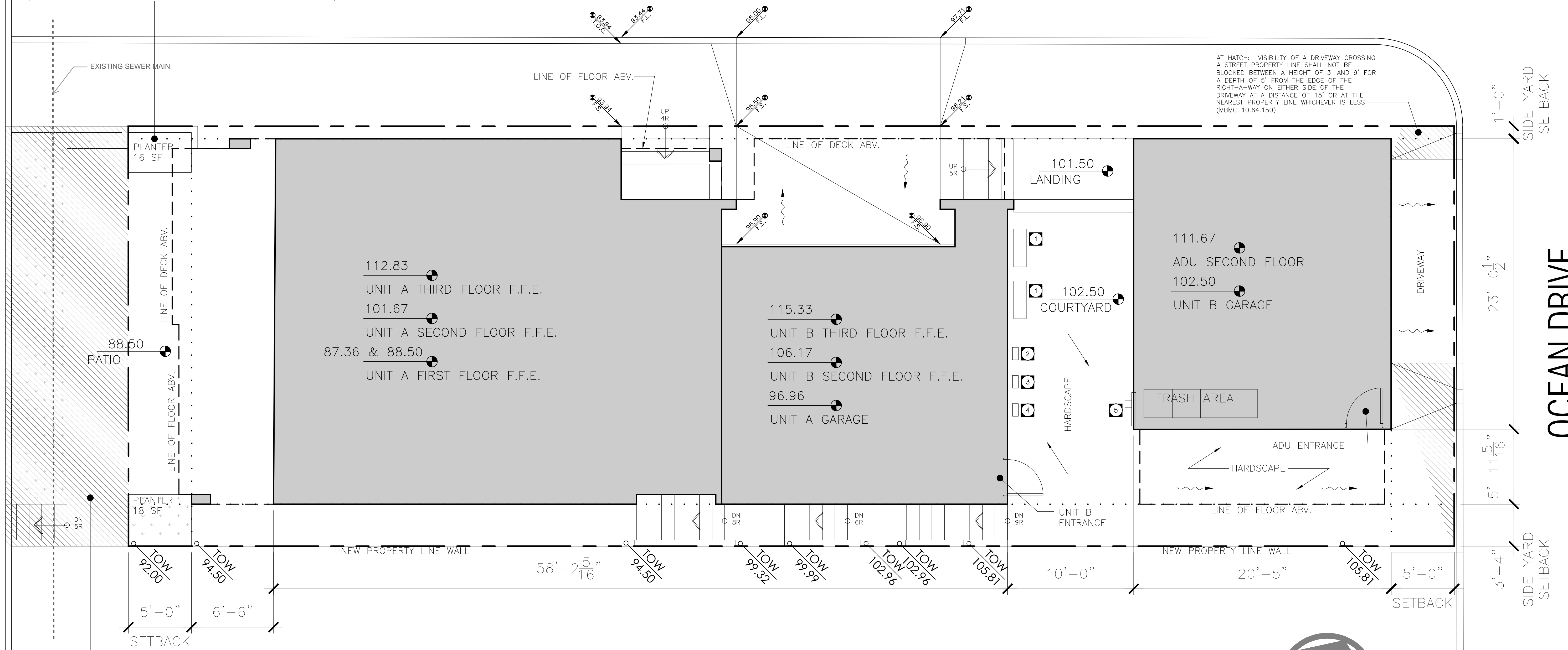
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THE STRAND

42ND STREET

20% OF FRONT YARD SETBACK TO BE PLANTING -  
5' X 33.34' = 166.7 SF X .20 = 33.34 SF

LEGEND	
①	HVAC CONDENSER
②	FIRE SUPPRESSION EQUIPMENT
③	WATER MAIN RISER
④	GAS METER
⑤	MAIN ELECTRIC PANEL



ENCROACHMENT AREA TO BE REVIEWED AT THE TIME OF DEFERRED SUBMITTAL

SITE PLAN  
1/4" = 1'-0"



DATE	REV#

ARCHITECT:  
**THE KNOWLTON GROUP**  
1117 5TH STREET, SUITE D, MANHATTAN BEACH  
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**SACKLEY RESIDENCE**  
4122 THE STRAND, MANHATTAN BEACH, CA 90266

PRINT DATE  
12/11/2023

DWG. NAME  
SITE PLAN

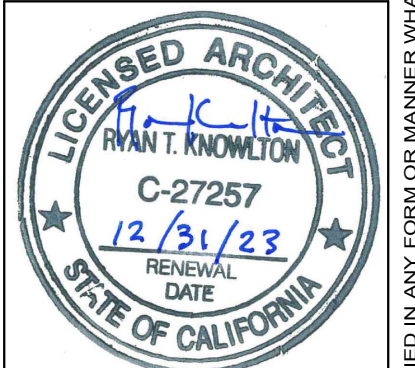
SHEET NO.  
**A-101**

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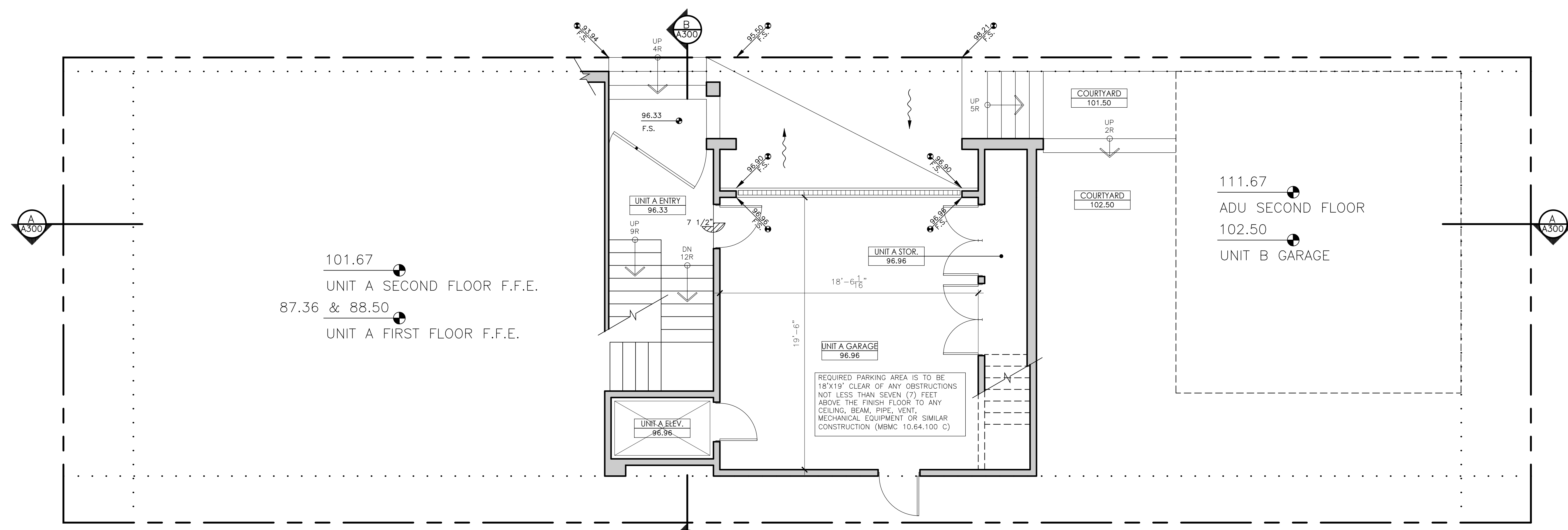
PROJECT:  
**SACKLEY RESIDENCE**  
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PRINT DATE  
 12/11/2023

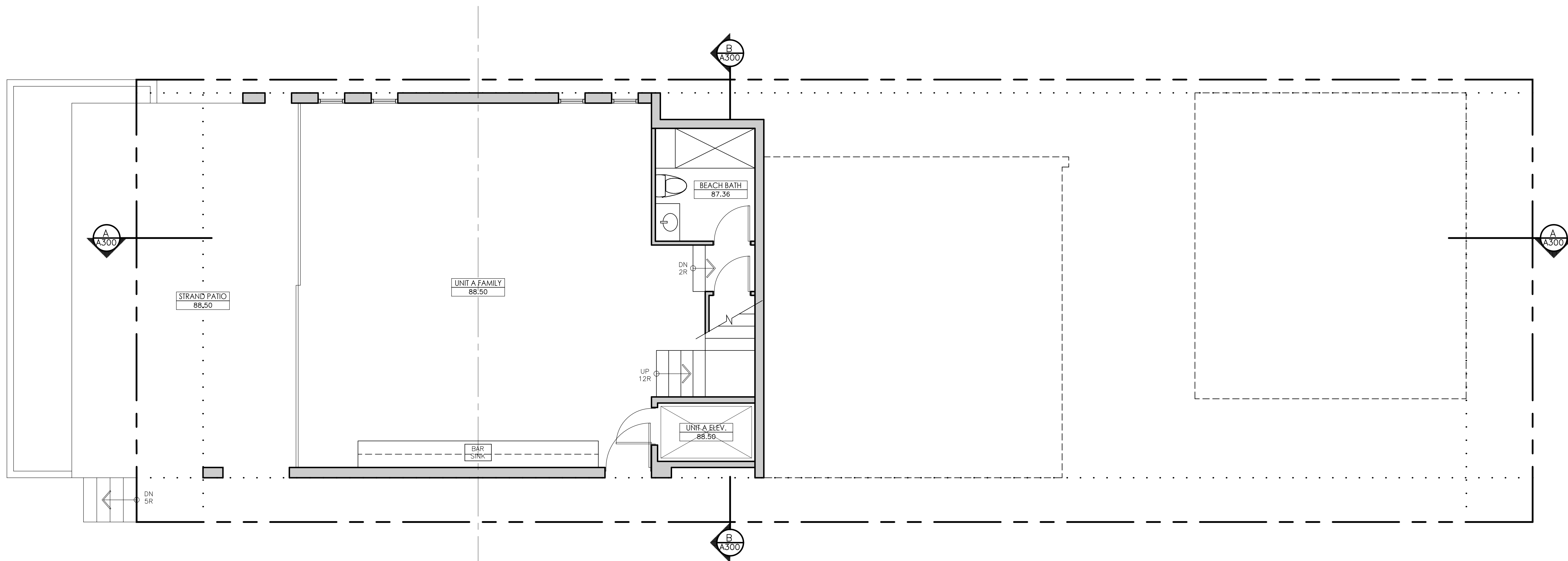
DWG. NAME  
 FIRST FLOOR &  
 GARAGE LEVEL

SHEET NO.  
**A-103**

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**GARAGE LEVEL FLOOR PLAN**  
 1/4" = 1'-0"

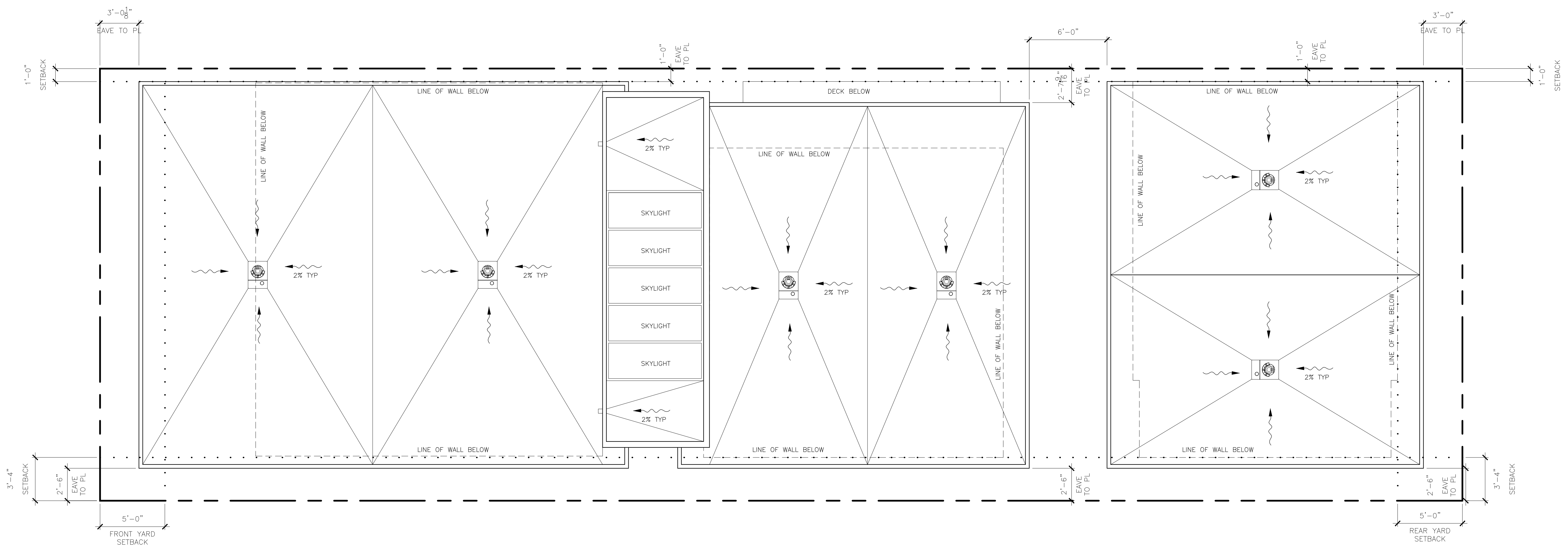


**FIRST FLOOR PLAN**  
 1/4" = 1'-0"

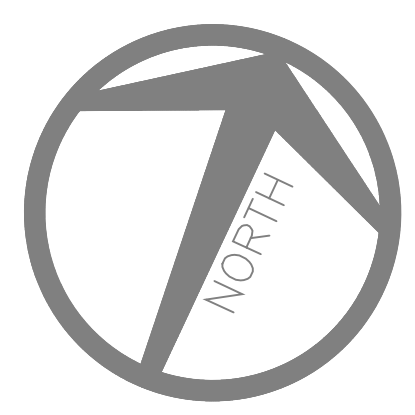
101.67  
 UNIT A SECOND FLOOR F.F.E.  
 87.36 & 88.50  
 UNIT A FIRST FLOOR F.F.E.

111.67  
 ADU SECOND FLOOR  
 102.50  
 UNIT B GARAGE



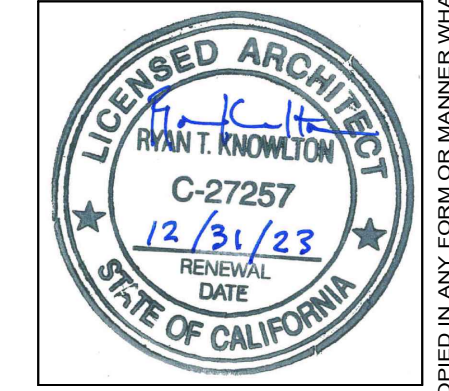


**ROOF PLAN**  
1/4" = 1'-0"



DATE	REV#

ARCHITECT:  
**THE KNOWLTON GROUP**  
 1117 5TH STREET, SUITE D, MANHATTAN BEACH  
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PROJECT:  
**SACKLEY RESIDENCE**  
 4122 THE STRAND, MANHATTAN BEACH, CA 90266

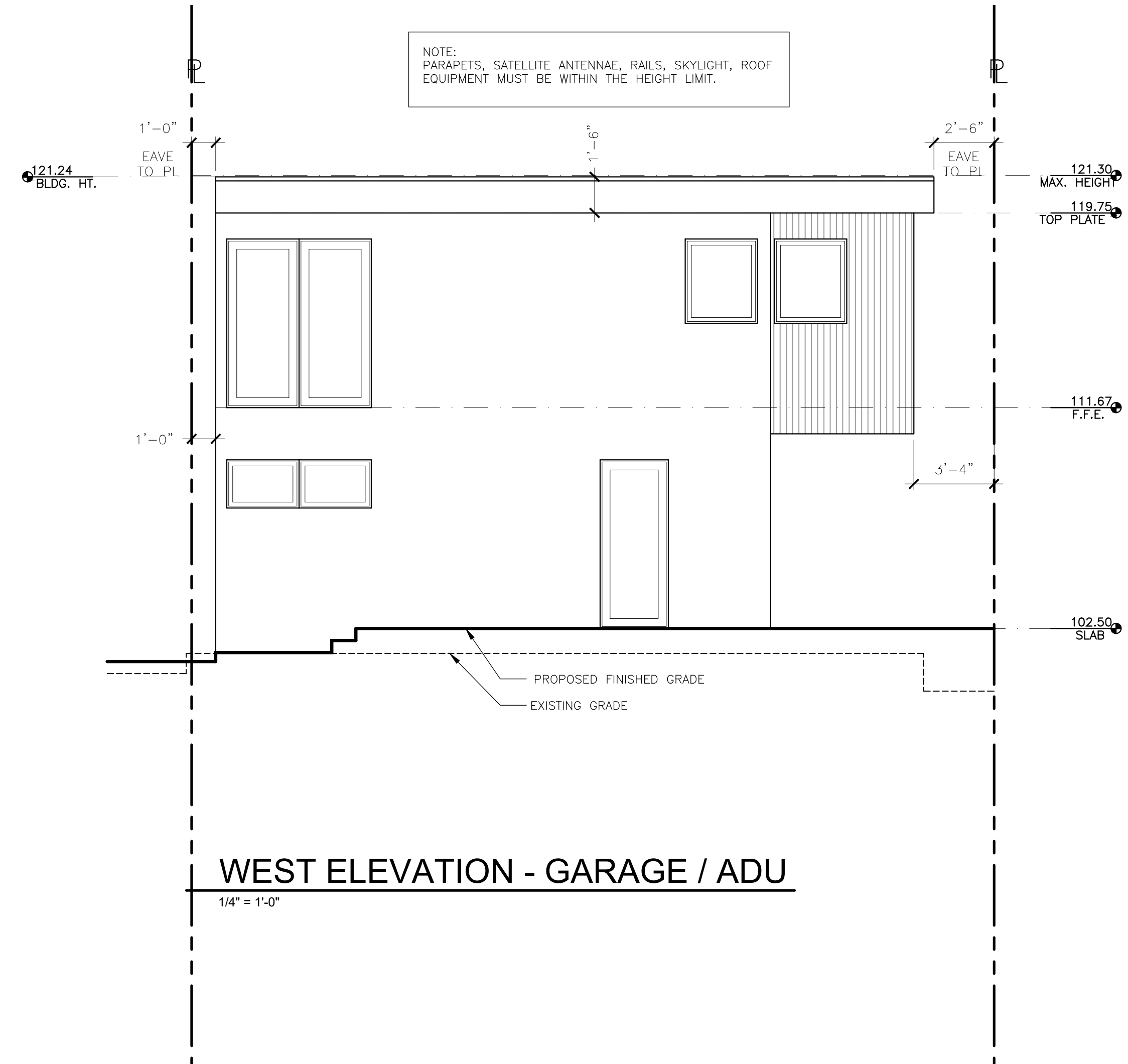
PRINT DATE  
 12/11/2023

DWG. NAME  
 ROOF PLAN

SHEET NO.  
**A-105**

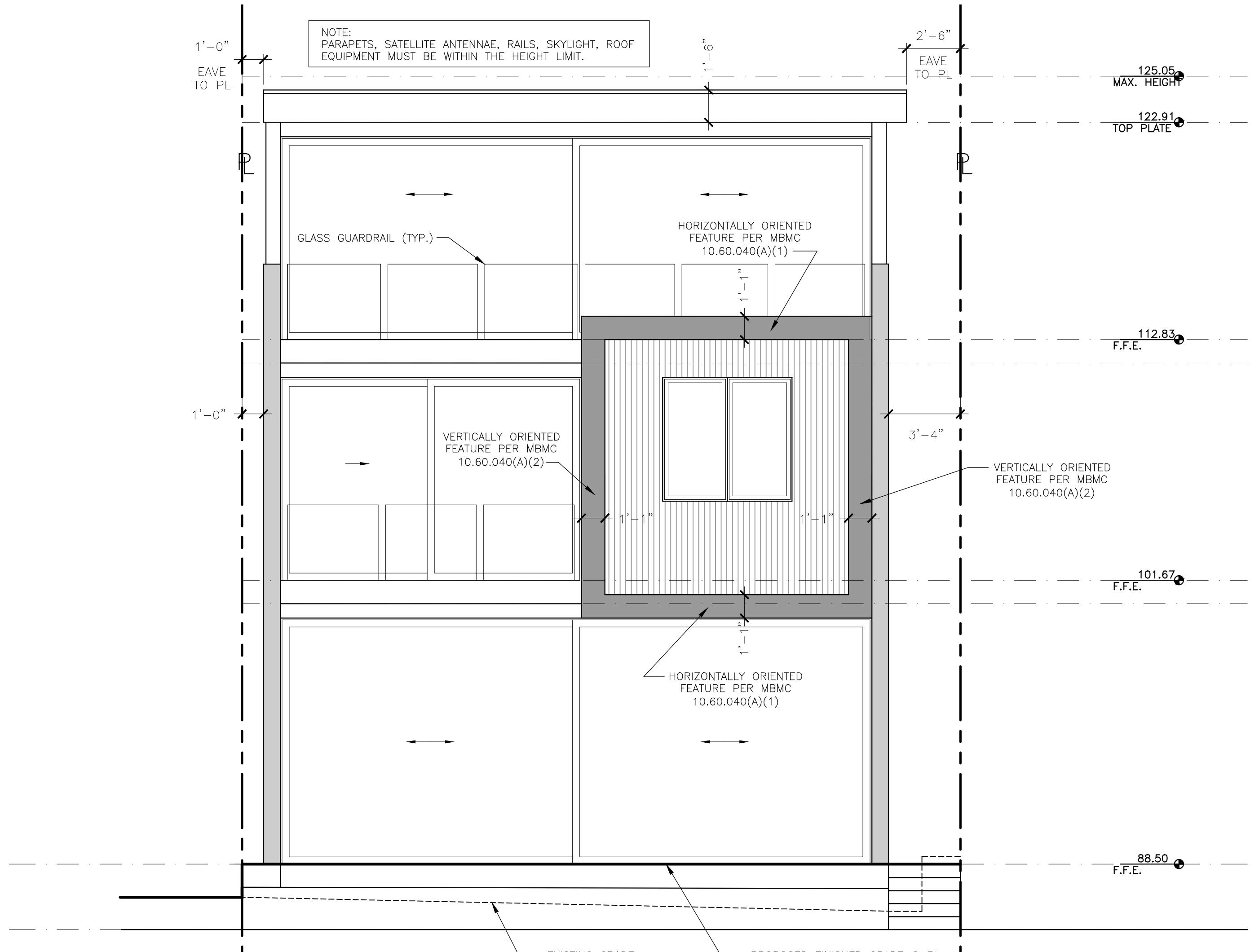
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**WEST ELEVATION - GARAGE / ADU**

1/4" = 1'-0"



**WEST ELEVATION - MAIN BUILDING**

1/4" = 1'-0"

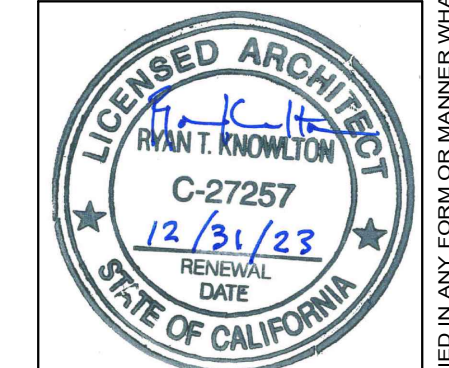


**NORTH ELEVATION**

1/4" = 1'-0"

DATE	REV#

ARCHITECT:  
**THE KNOWLTON GROUP**  
 1117 5TH STREET, SUITE D, MANHATTAN BEACH  
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PROJECT:  
**SACKLEY RESIDENCE**  
 4122 THE STRAND, MANHATTAN BEACH, CA 90266

PRINT DATE  
 12/11/2023

DWG. NAME  
 ELEVATIONS

SHEET NO.  
**A-201**

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DATE	REV#

ARCHITECT:  
**THE KNOWLTON GROUP**  
 1117 5TH STREET, SUITE D, MANHATTAN BEACH  
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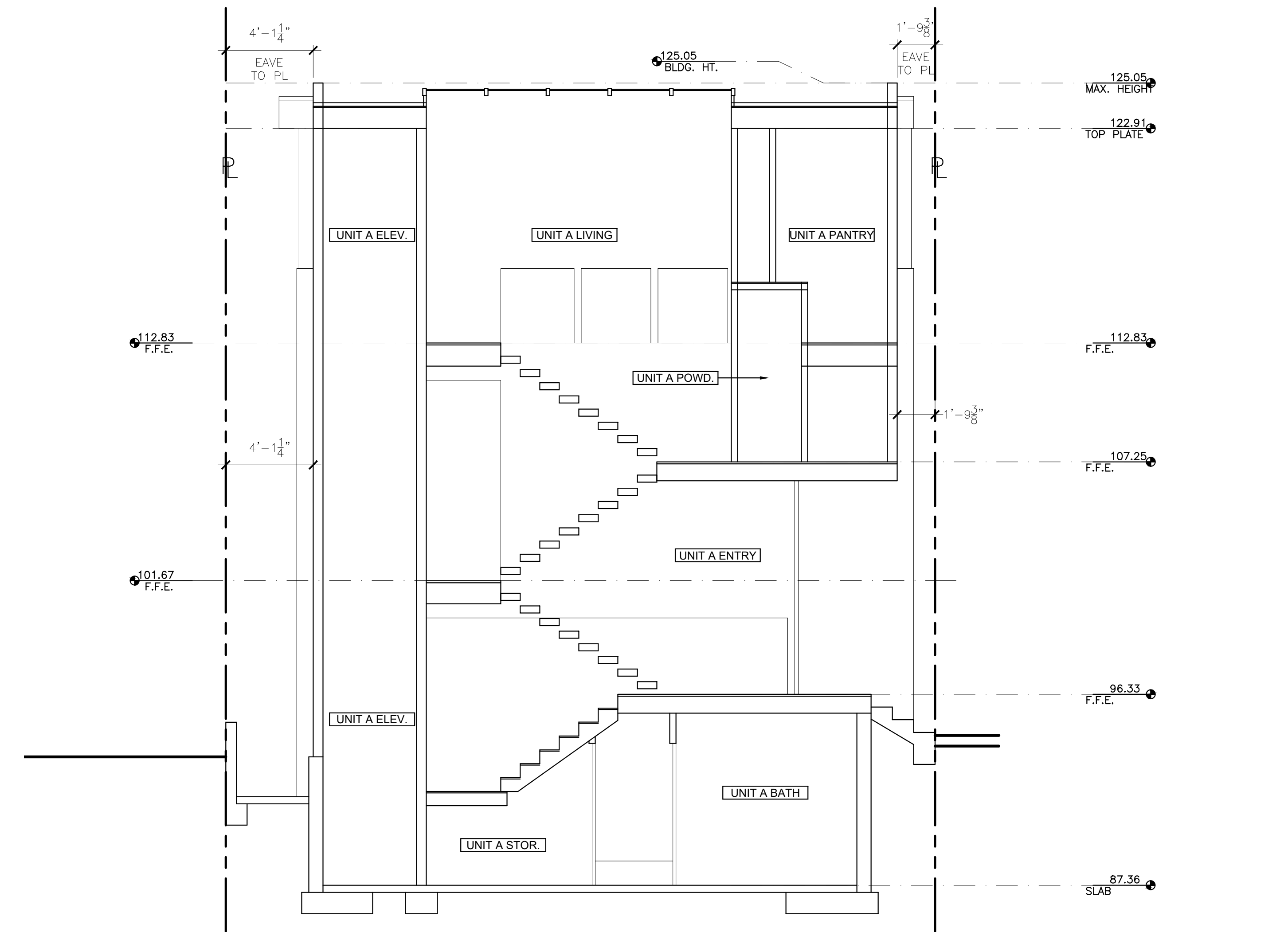
PROJECT:  
**SACKLEY RESIDENCE**  
 4122 THE STRAND, MANHATTAN BEACH, CA 90266

PRINT DATE  
 12/11/2023

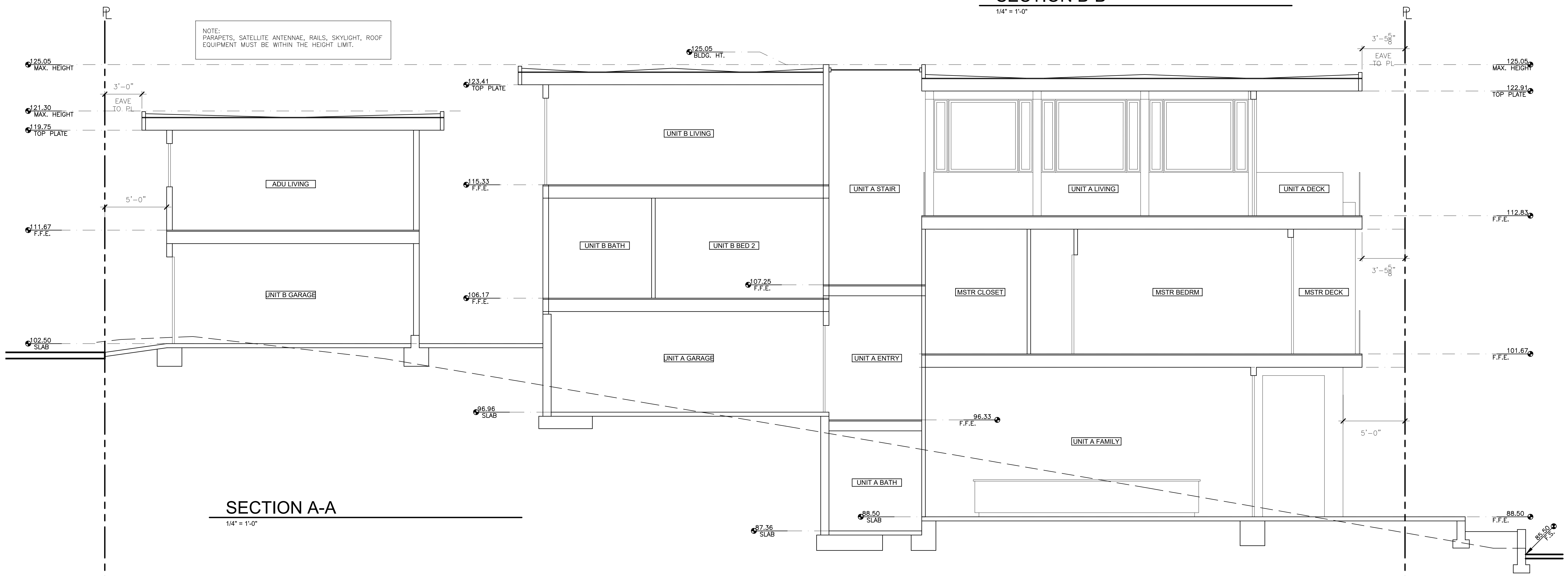
DWG. NAME  
 SECTIONS

SHEET NO.  
**A-300**

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**SECTION B-B**  
 1/4" = 1'-0"



**SECTION A-A**  
 1/4" = 1'-0"