



OBELISK ARCHITECTS A Professional Corporation

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PROJECT Alvarez Residence

2912 The Strand Manhattan Beach CA 90266

REVISIONS

PROJECT NUMBER 2111 ALV STR MB DATE June 29, 2023 STAMP



SHEET TITLE

COVER SHEET

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G-001

PROJECT CONTACTS table with columns for OWNER, ARCHITECT, SURVEYOR, ZONE, BUILDING TYPE, OCCUPANCY GROUP, CONSTRUCTION TYPE, APPLICABLE CODES, LEGAL DESCRIPTION.

PROJECT SUMMARY table with columns for PROJECT ADDRESS, PROJECT DESCRIPTION, APPLICABLE CODES, LEGAL DESCRIPTION.

SHEET INDEX

SHEET INDEX table listing sheets G-001 through A-401 with descriptions like COVER SHEET, TOPOGRAPHIC CIVIL SURVEY, etc.

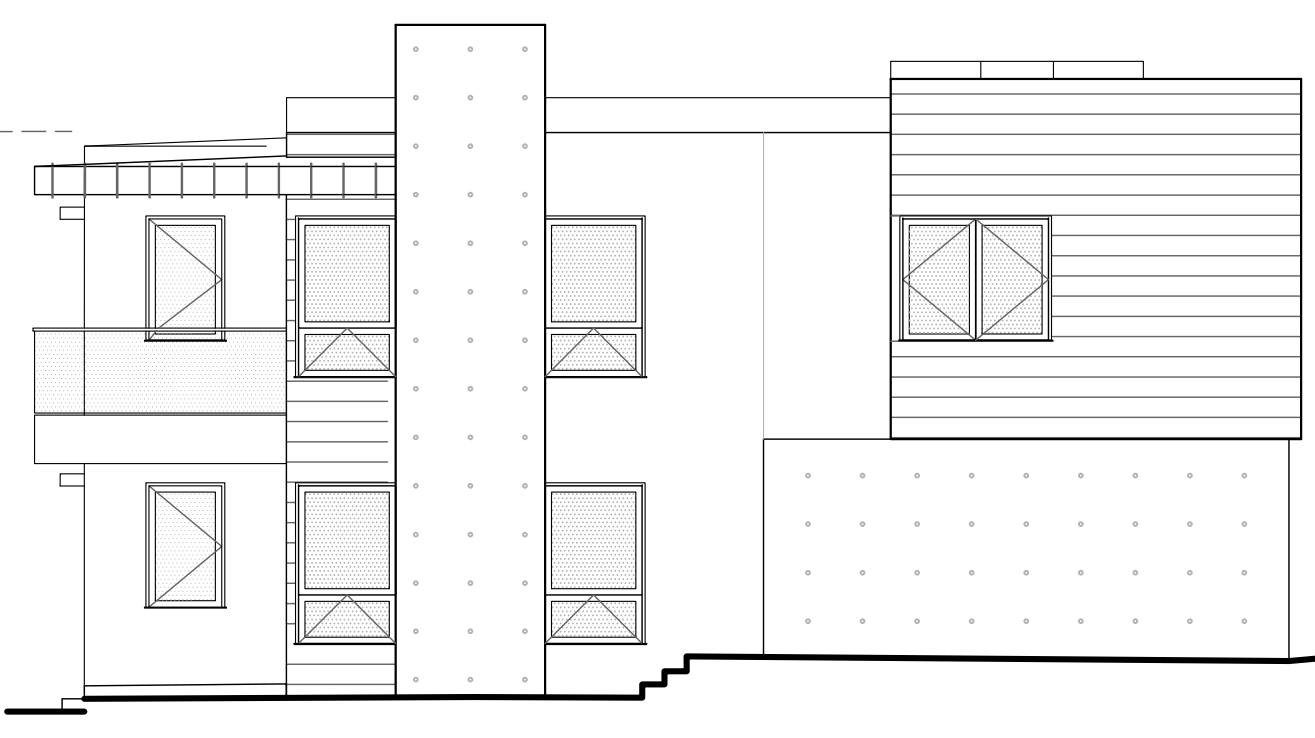
DEPARTMENT OF PUBLIC WORKS NOTES table with numbered items 1-20 detailing construction requirements.

AREA BREAKDOWN

AREA BREAKDOWN table showing LOT AREA, MAX. BFA, UNIT #2 PROPOSED HABITABLE FLOOR AREA, UNIT #1 PROPOSED HABITABLE FLOOR AREA, TOTAL UNIT #1 & #2 AREA BREAKDOWN, PROPOSED BFA, REQUIRED OPEN SPACE, PROPOSED OPEN SPACE.

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public.

Alvarez Residence



CITY OF MANHATTAN BEACH BUILDING DIVISION NOTES 22

- 1. ALL WORKS AND MATERIALS IN THIS PROJECT SHALL COMPLY WITH 2019 CBC, 2022 CMC, 2022 CPC & 2022 CEC W/STATE OF CALIFORNIA TITLE 24, CALIFORNIA AND CITY OF MANHATTAN BEACH AND/OR DISABLED ACCESS REQUIREMENTS.
2. IN ADDITION TO THE REQUIREMENTS OF SECTION 106.4.4, EVERY PERMIT ISSUED SHALL EXPIRE AND BECOME NULL AND VOID IF THE BUILDING OR WORK AUTHORIZED BY SUCH PERMIT IS NOT COMPLETED WITHIN TWO YEARS FROM THE DATE OF ISSUANCE OF SAID PERMIT.
3. ALL PROPERTY LINES, EASEMENTS, PROPOSED AND EXISTING STRUCTURES, OVERHEAD POWER LINES, AND ABANDONED OIL WELLS, CESSPOOLS, AND SEPTIC TANKS ARE SHOWN ON THE PLANS.
4. ALL CONSTRUCTION ACTIVITY SHALL BE PROHIBITED, EXCEPT BETWEEN HOURS OF 7:00 A.M. AND 6:00 P.M. ON MONDAYS, TUESDAYS, WEDNESDAYS, THURSDAYS, AND FRIDAYS AND BETWEEN THE HOURS OF 9:00 A.M. AND 5:00 P.M. ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION ACTIVITY BETWEEN THE HOURS OF 6 P.M. AND 7 A.M. MONDAY THROUGH FRIDAY, AND BETWEEN 5 P.M. AND 9 A.M. ON SATURDAYS. NO CONSTRUCTION ACTIVITY SHALL BE PERMITTED ON SUNDAYS, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, THANKSGIVING DAY, CHRISTMAS DAY, AND NEW YEAR'S DAY.
5. AT LEAST TWO SIGNS, WEATHER PROOF, 12" X 18" MINIMUM SHALL BE POSTED ON THE CONSTRUCTION SITE SHOWING WORKING HOURS, NAME AND EMERGENCY PHONE NUMBER OF THE CONTRACTOR.
6. PROVIDE A CONSTRUCTION FENCE AND OR CANOPY PER SEC. 3303, CBC AT PUBLIC RIGHT-OF-WAY FOR PEDESTRIANS PROTECTION IF ANY WORK TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO PUBLIC RIGHT-OF-WAY.
7. NO DEMOLITION SHALL COMMENCE WITHOUT A VALID DEMOLITION PERMIT. WORK COMMENCED WITHOUT A VALID PERMIT MAY BE SUBJECT TO A SPECIAL INVESTIGATION BEFORE A PERMIT MAY BE ISSUED.
8. DEMOLITION PERMIT - THERE WILL BE A 14-DAY WAITING PERIOD AFTER A DEMOLITION PERMIT APPLICATION IS FILED, BEFORE A DEMOLITION PERMIT MAY BE ISSUED. EVERY HOLDER OF A DEMOLITION PERMIT AND OR BUILDING PERMIT SHALL COMPLETELY ENCLOSE BY FENCING THE CONSTRUCTION SITE PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION.
9. A GRADING PERMIT IS REQUIRED WHEN GRADING OR EXCAVATION INVOLVES A CUT OR FILL DEPTH OF 3'-0" OR MORE AND OR 200 CUBIC YARDS. SUBMIT GRADING PLANS AND SOILS REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS IF EXCAVATING. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA-1-800-422-4133) PRIOR TO ANY EXCAVATION.
10. A SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUT OR FILL THAT IS 5'-0" IN HEIGHT OR OVER, ENGINEERED SHORING PLANS AND CALCULATIONS AND SOIL REPORT MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PER SECTION 3301.2 OF THE CBC. THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE SUCH EXCAVATION IS TO COMMENCE. AN OSHA PERMIT IS ALSO REQUIRED; A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DIVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.
11. THE SANDBLASTING MUST BE WET SANDBLASTING, AND ALL THE PRECAUTIONARY MEASURES MUST BE TAKEN BY THE CONTRACTOR TO PROTECT LIFE AND PROPERTY OF NEIGHBORS, RESIDENTS AND THE PUBLIC. ADJACENT PROPERTY OWNERS MUST BE NOTIFIED AT LEAST TWO (2) DAYS PRIOR TO SANDBLASTING.
12. PROVIDE ROOF GUTTERS AND DOWN SPOUTS OR CONCRETE PAVEMENT/SWALE ON GROUND TO DIVERT AND CONVEY SURFACE WATER AWAY FROM BUILDING TO CATCH BASIN AND DRAIN PIPES THROUGH CURB TO STREET AND STORM DRAIN SYSTEM.
13. NO CHANGES SHALL BE MADE ON PLANS WHETHER INTERIOR OR EXTERIOR OF THE STRUCTURE WITHOUT WRITTEN APPROVAL FROM THE PLANNING AND BUILDING DIVISIONS.
14. THE APPROVAL OF PLANS, SPECIFICATIONS AND CALCULATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTIONS OF THE BUILDING CODE, OR OTHER CITY ORDINANCES, STATE OR FEDERAL LAWS.
15. PARTY WALLS BETWEEN DWELLING UNITS IN CONDOMINIUMS AND APARTMENTS SHALL HAVE SOUND TRANSMISSION CLASS, STC 55 RATED ASSEMBLIES AND COMMON FLOOR/CEILINGS SHALL HAVE IMPACT INSULATION CLASS, IC 50 RATED ASSEMBLIES. FLOOR SHEATHING SHALL NOT BE CONTINUOUS AT PARTY WALLS. ENTRANCE DOORS FROM CORRIDORS SHALL HAVE A STC 33 RATING.
16. A BUILDING HEIGHT SURVEY SHALL BE REQUIRED WHEN APPROVED PLANS OR FIELD INSPECTIONS SHOW THAT THE BUILDING HEIGHT IS WITHIN 2'-0" OF THE ALLOWABLE MAXIMUM HEIGHT APPROVED BY THE PLANNING DIVISION. THE CERTIFICATION BY THE SURVEYOR CERTIFYING THE BUILDING'S HEIGHT RELATIVE TO THE EXISTING GRADE ELEVATION SHALL BE SUBMITTED TO BUILDING DIVISION FOR RECORD.
17. AN OPENING OR OPERABLE WINDOWS IN A WALL HAVING A WIDTH AND HEIGHT OF AT LEAST 18", WITH FLOOR TO SILL HEIGHT OF LESS THAN 30" THRU WHICH A PERSON MIGHT FALL TO LEVEL OF 30" OR MORE BELOW THE FINISH FLOOR SHALL BE PROVIDED WITH A PERMANENT GUARD RAIL CONFORMING TO THE REQUIREMENTS OF SECTION 509, CBC.
18. GLAZING MUST BE TEMPERED AND AFFIXED WITH PERMANENT LABELS WHERE THE GLAZING IS IN DOOR AND AT WITHIN 24" ARC OF THE DOOR. IN RAILINGS, IN WALL ENCLOSING STAIRWAY LANDINGS, SHOWER, AND BATH TUB IN ACCORDANCE WITH SECTION 2406, CBC.
19. WIDTH OF STAIRWAYS SHALL BE MIN. 36" CLEAR, 44" FOR OCCUPANT LOADS ARE 50 OR MORE.) THE CLEAR WIDTH IS FROM WALL TO WALL, WALL TO BALUSTRADE OR BALUSTRADE TO BALUSTRADE, GUARD RAIL/HANDRAIL PICKETS OR INTERMEDIATE RAILINGS SHALL HAVE A CLEAR SPACE OF LESS THAN 4 INCHES.
20. GARAGE DOOR OPENING INCLUDING HARDWARE SHALL BE 7'-0" HIGH MINIMUM AND 18'-0" WIDE BY 19'-0" DEEP CLEAR INSIDE DIMENSIONS. GARAGE DOOR SPRINGS AND OPENERS SHALL BE STATE APPROVED AND WITH MANUFACTURER'S LABEL. DOOR IN OCCUPANCY SEPARATION WALL BETWEEN GARAGE AND DWELLING UNIT SHOULD BE A LABELED 20-MINUTE DOOR OR 1-3/8" THICK SOLID WOOD, SELF-CLOSING AND TIGHT FITTING DOOR.
21. ONLY COMMON NAILS SHALL BE PERMITTED FOR THE REQUIRED NAILING ON VERTICAL AND HORIZONTAL DIAPHRAGMS SUCH AS SHEAR WALLS AND ROOF/FLOOR SHEATHINGS RESPECTIVELY.

CITY OF MANHATTAN BEACH ENGINEERING DIVISION NOTES:

- A. ALL EASEMENTS, OIL WELLS, SUBSTRUCTURES, SUPERSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY POLES, UTILITY BOXES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN ON THIS SITE PLAN
B. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION 48 HOURS PRIOR TO COMMENCING ANY WORK IN PUBLIC RIGHT OF WAY.
C. WORK IN PUBLIC RIGHT OF WAY, SHALL COMPLY WITH THE LATEST EDITION OS APWA STANDARD PLANS AND SPECIFICATIONS, AND SHALL BE EXECUTED TO THE SATISFACTION OF CITY ENGINEER AND/OR HIS REPRESENTATIVE.
D. WORK IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY LICENCED CONTRACTORS, CONTRACTORS AND SUBCONTRACTORS SHALL POSSESS VALID REDONDO BEACH BUSINESS LICENSES.
E. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMITS AND AN APPROVED SET OF PLANS ON SITE AT ALL TIME. CONTRACTOR SHALL SURRENDER ALL REQUIRED CONSTRUCTION DOCUMENTS TO THE CITY ENGINEER AND/OR HIS REPRESENTATIVE UPON DEMAND.
F. PRIOR TO ISSUANCE OF THE BUILDINGS/ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE. CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY AND ONE MILLION DOLLAR WORKERS COMPENSATION INSURANCE POLICY, NAMING THE CITY ADDITIONAL INSURED, WITH 30 DAY CANCELLATION NOTICE. THE INSURANCE POLICY SHALL STATE THE "CITY OF TORRANCE BEACH, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYERS, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT."
G. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, DAMAGE SIDEWALK, DRIVEWAYS, CURB, GUTTER AND PAVEMENT TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
H. CONSTRUCT NEW CONCRETE DRIVEWAY TYPE B WHERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.
I. CONSTRUCT NEW CONCRETE SIDEWALK WHERE NOTED ON THE SITE PLAN, NEW SIDEWALK SHALL MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500
J. CONSTRUCT NEW RESIDENTIAL CONCRETE CURB AND GUTTER WHERE NOTED ON SITE PLAN. NEW CURB SHALL HAVE FACE HEIGHT OH 6 INCHES OR MATCH EXISTING. NEW GUTTER SHALL BE 12 INCHES WIDE OR MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
K. CONSTRUCT NEW CONCRETE CURB AND GUTTER WHERE NOTED ON SITE PLAN. NEW CURB SHALL MATCH EXISTING. NEW GUTTER SHALL BE 12 INCHES WIDE OR MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
L. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE WATCH MANUAL AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
M. COMMERCIAL VEHICLES TRANSPORTING SOIL, EQUIPMENT OR CONSTRUCTION MATERIALS AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 660 OF CVC OF 6,000 POUNDS OR MORE OR HAVING MANUFACTURER'S GROSS WEIGHT RATING AS DEFINED IN SECTION 390 OF CVC OF 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE, AND COMMERCIAL VEHICLE HAVING A FULLY LADEN WEIGHT OF 20,000 POUNDS OR MORE SHALL NOT USE CONDITIONAL TRUCK ROUTE.
N. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS; ALL SEWWE SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING, CATCH BASINS, SUMP PUMPS AND OIL/WATER SEPARATOR. FIRST INSPECTION SHALL TAKE PLACE AFTER FORMS ARE IN PLACE FOR SIDEWALKS, DRIVEWAYS, ECT. OR AT THE TIME OF CONSTRUCTING THE SEWER LINE SADDLE. SECOND INSPECTION SHALL TAKE PLACE WHILE SIDEWALKS, DRIVEWAYS, ECT. ARE BEING POURED AND FINISHED OR AT THE TIME OF BACKFILLING, BACKFILLING, COMPACTION AND TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. FINAL INSPECTION WILL BE MADE AFTER CITY BUILDING DIVISION HAS MADE THERE FINAL INSPECTION. AT THAT TIME, IF ALL WORK PERTAINING TO PUBLIC RIGHT OF WAY IS IN GOOD ORDER, THE PERMIT DEPOSITS WILL BE REY ASSED. LESS ANY AND ALL CHARGES. CONTACT CITY ENGINEERING DIVISION AT (310) 318-0661 FOR ALL INSPECTIONS.
O. CONTRACTOR SHALL ARRANGE FOR PUBLIC WORKS INSPECTION 24 HOURS IN ADVANCE.
P. CONTRACTOR SHALL SUBMIT COMPACTION REPORTS AND CONCRETE/ASPHALT CLASS CERTIFICATES TO CITY ENGINEERING DIVISION PRIOR TO REQUESTING FINAL INSPECTION.

Q. DUST CONTROL SHALL BE ENFORCED TO THE SATIFICATION OF THE CITY ENGINEER AND OR/HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION.

R. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. ACTUAL CONSTRUCTION ACTIVITIES IN PUBLIC RIGHT OF WAY MAD OCCUR FROM 7:00 A.M. TO 6:00 P.M. NO WORK IS PUBLIC RIGHT OF WAY SHALL OCCUR ON SUNDAYS OR NATIONAL HOLIDAYS.

S. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAR AND CLEAN TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. NO STORAGE OF DEBRIS, MATERIALS OR EQUIPMENT SHALL BE ALLOWED ON PUBLIC RIGHT OF WAY WITHOUT PRIOR CONSENT FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. SUCH CONSENT SHALL BE RENEWED DAILY, IF CITY CREWS ARE CALLED UPON TO PERFORM WORK OF CONTRACTOR, REGARDING CITY RIGHT OF WAY CONTRACTOR SHALL BE CHARGED FOR ALL EXPENSES INCURRED BY CITY CREWS.

T. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AT ITS SOLE COST. CONTRACTOR SHALL REPAIR, AT ITS COST TO THE SATISFACTION OF THE CITY ENGINEER, HIS REPRESENTATIVE AND TO THE UTILITY COMPANIES, ANY DAMAGE INFLECTED BY CONTRACTOR ON EXISTING UTILITIES.

U. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING SURVEY POINTS AT ITS SOLE COST. CONTRACTOR SHALL RE-ESTABLISH DAMAGE SURVEY POINTS, AT ITS SOLE COST, AND TO THE SATISFACTION OF THE CITY ENGINEER AND OR/HIS REPRESENTATIVE.

V. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, REMOVED/DAMAGED TREES/LANDSCAPING WITHIN PUBLIC RIGHT OF WAY, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.

W. EXTERIOR WALLS OF GROUP R-3/U OCCUPANCIES LESS THAN 5 FEET FROM PROPERTY LINE SHALL BE OF ONE-HOUR CONSTRUCTION. [T-602 FOOTNOTE 1 CBC]

X. CERTIFICATION OF FOUNDATION FORMS REQUIRED PRIOR TO FOUNDATION INSPECTION.

DEPARTMENT OF PUBLIC WORKS NOTES:

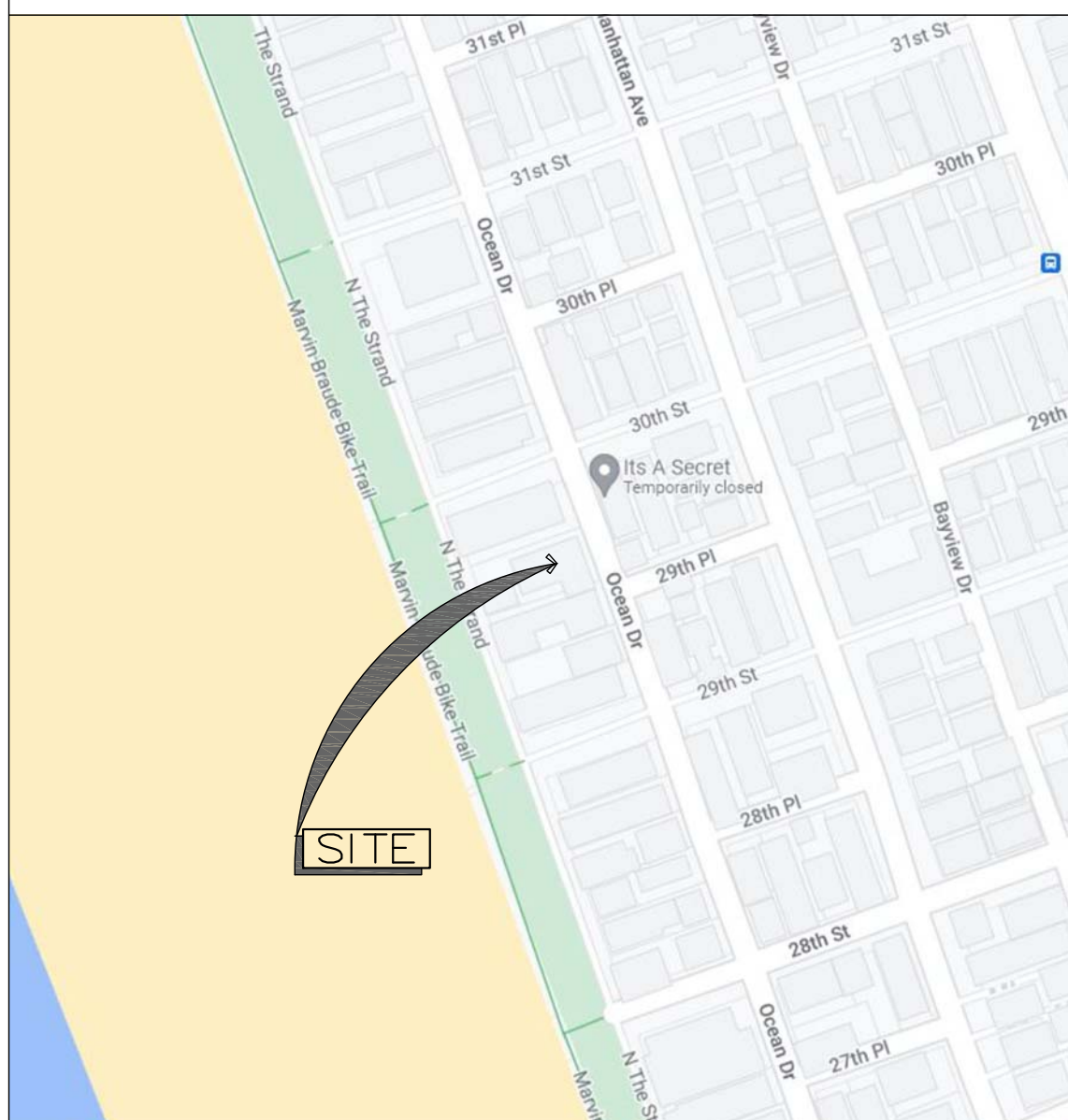
- 1. All landscape irrigation backflow devices must meet current City requirements for proper installation.
2. No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public refuse containers at any time. The utilization of weekly refuse collection service by the City's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials/trash landfilled and recycled must be submitted to the Permits Division in compliance of the City's Construction and Demolition Recycling Ordinance.
3. Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
4. All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of 3" cast iron pipe and labelled on the Site Plan. Drain lines must be shown on the plans. Connecting on-site drainage line to sewer lateral is strictly prohibited.
5. All concentrated runoff water from the roof and side yards and patios must discharge onto Ocean Drive through the drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
6. Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10 feet; lot shall be graded to drain surface water away from foundation walls - per C.R.C. Section R401.3.
7. Sidewalk, driveway, curb, and gutter construction, repairs or replacement must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10.
8. Private use of the public right of way requires an Encroachment Permit per M.B.M.C. 7.36.
9. Contractor to protect in place all existing property corners during construction. If any of the property corners are removed or destroyed during construction, it would be the responsibility of the contractor to restore them.
10. All existing or construction related damages or displaced curb/gutter, sidewalk, driveway approach or street must be replaced and shown on the plans. Additional public improvements may be required during and/or near the completion of construction per M.B.M.C. 9.72 as determined by the Public Works Inspector based on conditions of public improvements.
11. It is the responsibility of the contractor to protect all the street signs, street lamps/lights, walls/fences, and/or trees around the property. If they are damaged, lost or removed, it is the responsibility of the contractor to replace them at the contractor's expense. Contact the Public Works Inspector for sign specification and supplies.
12. New 6" VCP sewer lateral will be installed if the existing lateral is less than 6" in diameter. Sewer cleanout must be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer (Per City Standard Plan ST-24).
13. If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity prior to any demolition work. The tape must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will inspect and determine at that time if the sanitary sewer lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition. Videoing of lateral must be in its original state. No cleaning, flushing or altering prior to videoing is permitted.
14. If a new sewer lateral is to be installed at a different location on the sewer main line, the lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.
15. Water meters MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15. For existing water service relocations and/or abandonment, water service must be capped at the main and at the meter.
16. The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.
17. Residential properties must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area must be shown in detail on the plans before a permit is issued.
18. All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or a Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure. A separate permit is required for work in the public right-of-way.
19. Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.
20. The contractor shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, ensuring strict adherence to the following:
(a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
(b) All excavations shall be backfilled at the end of each working day and roads opened to vehicular traffic unless otherwise approved by the City Engineer.
(c) All dust control measures per South Coast Air Quality Management District (SCAQM) requirements shall be adhered to during the construction operations.
(d) All construction to be in conformance with the regulations of Cal-OSHA.

ABBREVIATIONS table listing architectural symbols and their corresponding terms like ARCH. Architectural, FIN. Finish, PLYWD. Plywood, etc.

LEGEND

LEGEND table showing symbols for Concrete, Masonry Wall, New Wall, Furred Ceiling / Arch, Shearwall, Door, Window, Detail, Interior Elevations, Section, Dimension to center line, Dimension to face of framing/masonry, Slope, Elevation Heights.

VICINITY MAP



SURVEY AND TOPOGRAPHY

FOR
ALVAREZ RESIDENCE
2912 THE STRAND
MANHATTAN BEACH, CA 90266
PHONE

JOB ADDRESS
2920 & 2912 THE STRAND
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION
PORTIONS OF LOTS 5, 6 & 7, BLOCK 8, PECK'S
MANHATTAN BEACH TRACT, M.B. 7-34,
AND VACATED PORTION OF THE STRAND
APN 4176-028-008 & -017

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS
OF PROFESSIONAL LAND SURVEYORS ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON MAY 9, 2022

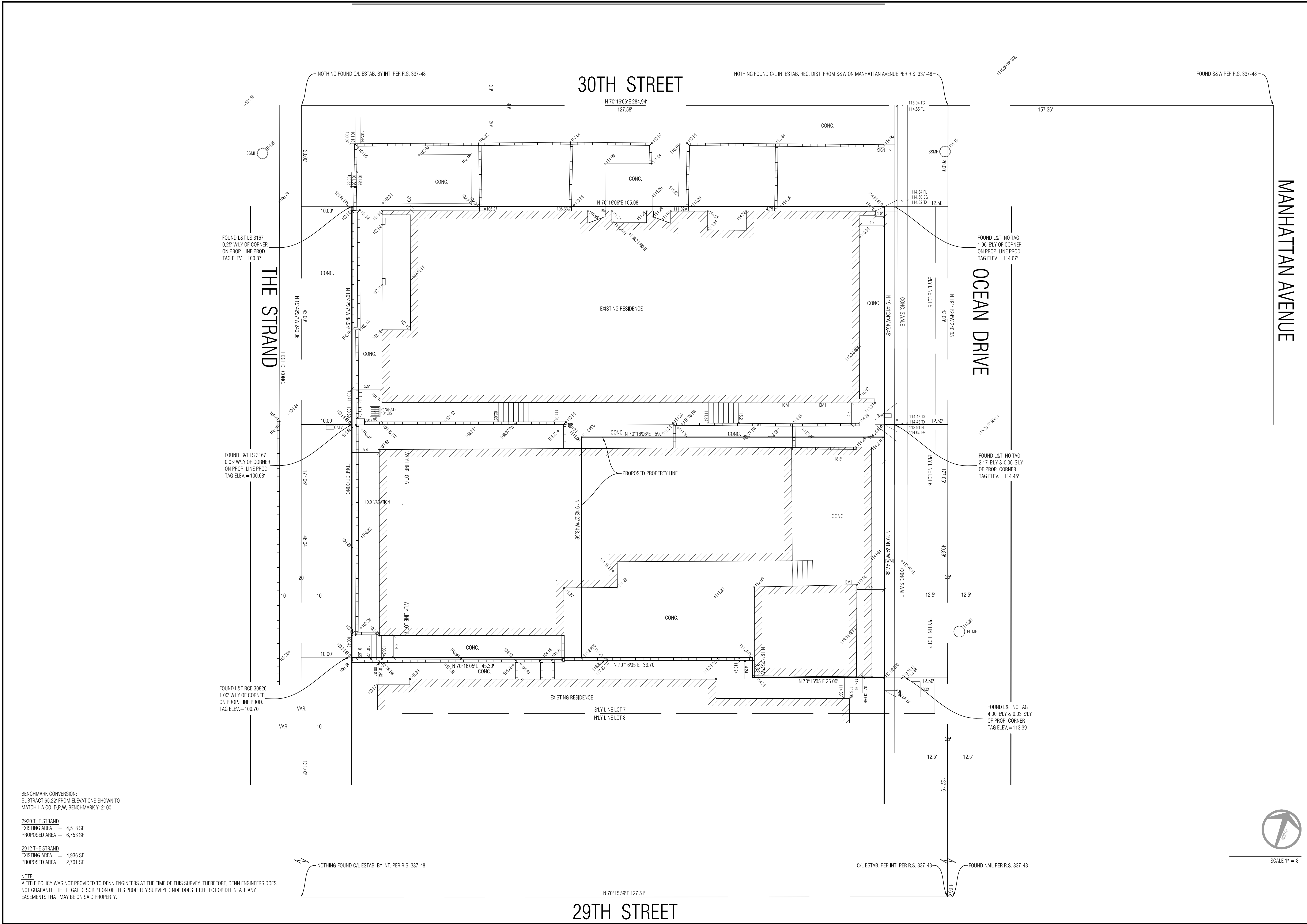
REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	+106.76 EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CBX	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHANN	CHANNING		
CEFB	CITY ENGINEERS FIELD BOOK		
C/L	CENTERLINE		
C/L F. / W/LF.	CHAIN LINK FENCE / WROUGHT IRON FENCE		
E/V	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FRESH FLOOR		
FH	FIRE HYDRANT		
FL	FLOW LINE		
GF	GARAGE FRESH FLOOR		
GM	GAS METER		
GW / G/W	GUY WIRE		
IP	IRON PIPE MONUMENT		
L&T	LEAD AND TAG / TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
N/W	NORTHERLY		
N&T	NAIL AND TAG MONUMENT		
PB	PULL BOX (SEWER / TRAFFIC / STREET LIGHT)		
PE (CONT)	TELEPHONE (CABLE TO)		
EPC	EXISTING PROPERTY CORNER / PROP. CORNER		
PL	PROPOSED PROPERTY CORNER / PROP. CORNER		
PP / UP	POWER POLE / UTILITY POLE		
PPF	PAPER		
PWFB	PUBLIC WORKS FIELD BOOK		
R.L.	RAIL ROAD		
RFB	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPK / S&W	SPRINKLER AND WASHER MONUMENT		
S/LY	SOUTHERLY		
SSCO	SANITARY SEWER CLEANOUT		
STK / STR&T	STAKE / STAKE AND TAG MONUMENT		
STL / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BX	TOP OF APRON / BOTTOM OF APRON		
W/L	WESTERLY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

COPYRIGHT
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT THE RISK OF THE ENGINEER. DENN ENGINEERS SHALL BE RESPONSIBLE FOR ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED BY ANY PROCEEDINGS THAT FORM ENGINEERS MAY BE JOINED.

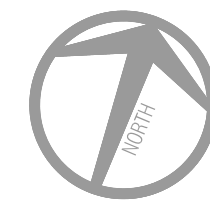


BENCHMARK CONVERSION:
SUBTRACT 65.22' FROM ELEVATIONS SHOWN TO
MATCH L.A. CO. D.P.W. BENCHMARK Y12100

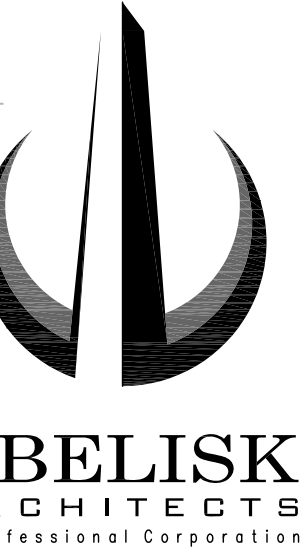
2920 THE STRAND
EXISTING AREA = 4,518 SF
PROPOSED AREA = 6,753 SF

2912 THE STRAND
EXISTING AREA = 4,936 SF
PROPOSED AREA = 2,701 SF

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.



SCALE 1" = 8'



OBELISK ARCHITECTS
A Professional Corporation

3800 PACIFIC COAST HIGHWAY
TORRANCE, CALIFORNIA 90505
obeliskarchitects.com
310.373.0810 fax
310.373.3568 tel

PROJECT

Alvarez Residence

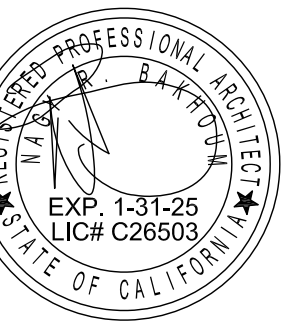
2912 The Strand
Manhattan Beach
CA 90266

REVISIONS

PROJECT NUMBER
2111 ALV STR MB

DATE
June 29, 2023

STAMP



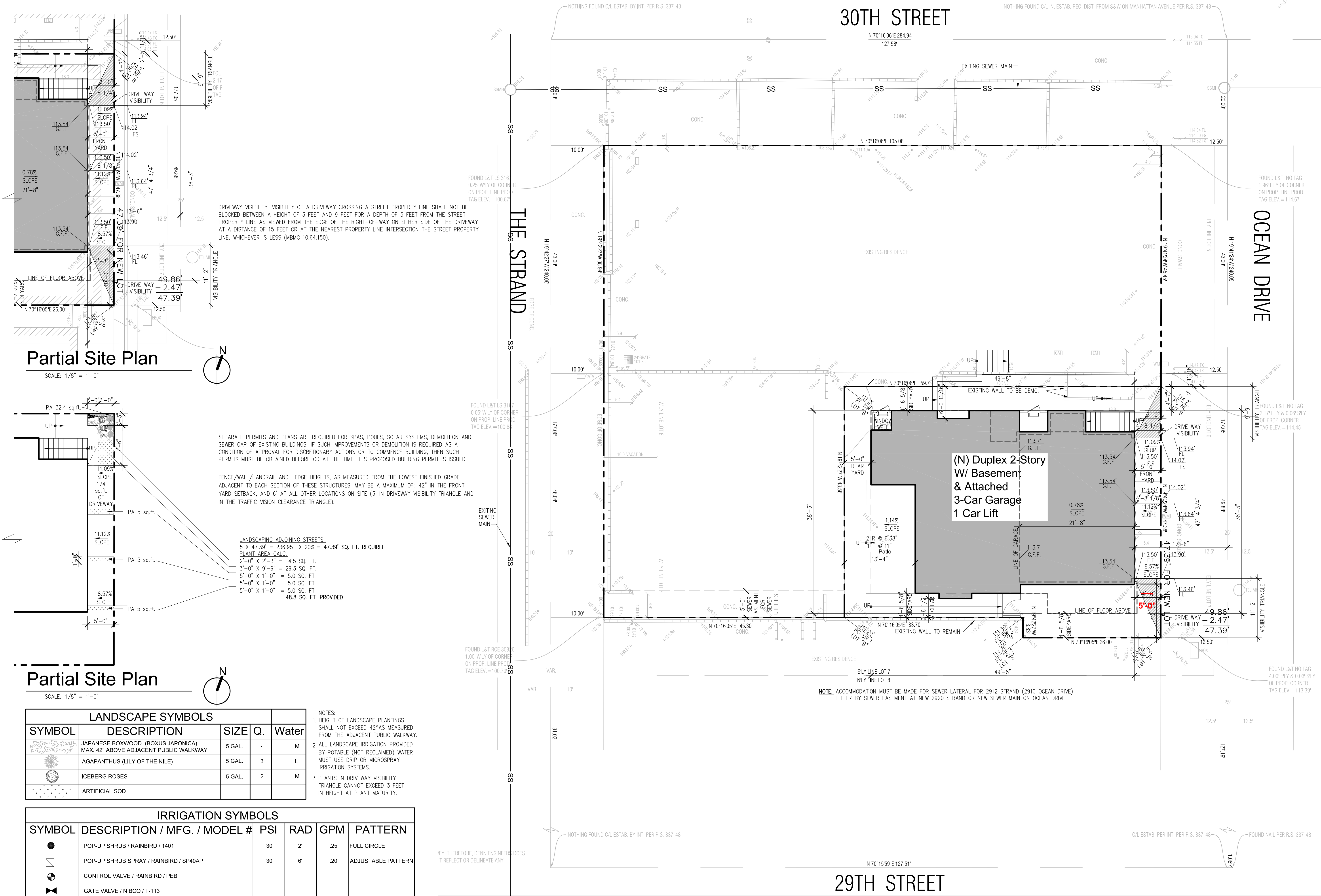
SHEET TITLE

Site Plan

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SHEET

A-001



DRIVEWAY VISIBILITY. VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTION THE STREET PROPERTY LINE, WHICHEVER IS LESS (MBC 10.64.150).

Partial Site Plan
SCALE: 1/8" = 1'-0"

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (3" IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).

LANDSCAPING ADJOINING STREETS:
5 X 47.39' = 236.95 X 20% = 47.39' SQ. FT. REQUIRE PLANT AREA CALC.
2'-0" X 2'-3" = 4.5 SQ. FT.
3'-0" X 9'-9" = 29.3 SQ. FT.
5'-0" X 1'-0" = 5.0 SQ. FT.
5'-0" X 1'-0" = 5.0 SQ. FT.
5'-0" X 1'-0" = 5.0 SQ. FT.
48.8 SQ. FT. PROVIDED

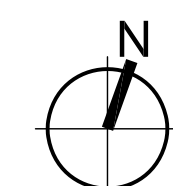
Partial Site Plan
SCALE: 1/8" = 1'-0"

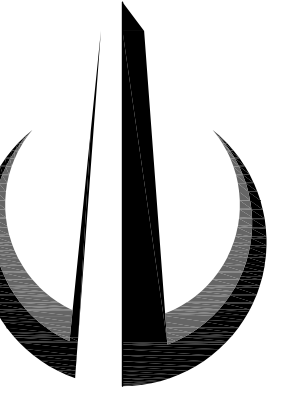
LANDSCAPE SYMBOLS				
SYMBOL	DESCRIPTION	SIZE	Q.	Water
	JAPANESE BOXWOOD (BOXUS JAPONICA)	5 GAL.	-	M
	AGAPANTHUS (LILY OF THE NILE)	5 GAL.	3	L
	ICEBERG ROSES	5 GAL.	2	M
	ARTIFICIAL SOD			

- NOTES:
- HEIGHT OF LANDSCAPE PLANTINGS SHALL NOT EXCEED 42" AS MEASURED FROM THE ADJACENT PUBLIC WALKWAY.
 - ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.
 - PLANTS IN DRIVEWAY VISIBILITY TRIANGLE CANNOT EXCEED 3 FEET IN HEIGHT AT PLANT MATURITY.

IRRIGATION SYMBOLS					
SYMBOL	DESCRIPTION / MFG. / MODEL #	PSI	RAD	GPM	PATTERN
	POP-UP SHRUB / RAINBIRD / 1401	30	2'	.25	FULL CIRCLE
	POP-UP SHRUB SPRAY / RAINBIRD / SP40AP	30	6'	.20	ADJUSTABLE PATTERN
	CONTROL VALVE / RAINBIRD / PEB				
	GATE VALVE / NIBCO / T-113				
	REDUCED PRESSURE BACKFLOW PREVENTER / FEBCO / 825V				

Site Plan
SCALE: 1/8" = 1'-0"





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PROJECT

Alvarez Residence

2912 The Strand Manhattan Beach CA 90266

REVISIONS

PROJECT NUMBER

2111 ALV STR MB

DATE

June 29, 2023

STAMP



SHEET TITLE

Basement Floor Plan

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SHEET

A-101

Floor Plan Notes:

ELECTRICAL:

- 1. PROVIDE ALL NECESSARY ELECTRICAL SUPPLY LINES AND CONNECTIONS TO ALL APPLIANCES AS REQUIRED.
2. SMOKE ALARM AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
3. SEE ELECTRICAL PLANS FOR ELECTRICAL, FUEL GAS, HOSE BIBB, WATER HOOKUPS, ETC. AND ADDITIONAL INFORMATION.

MECHANICAL:

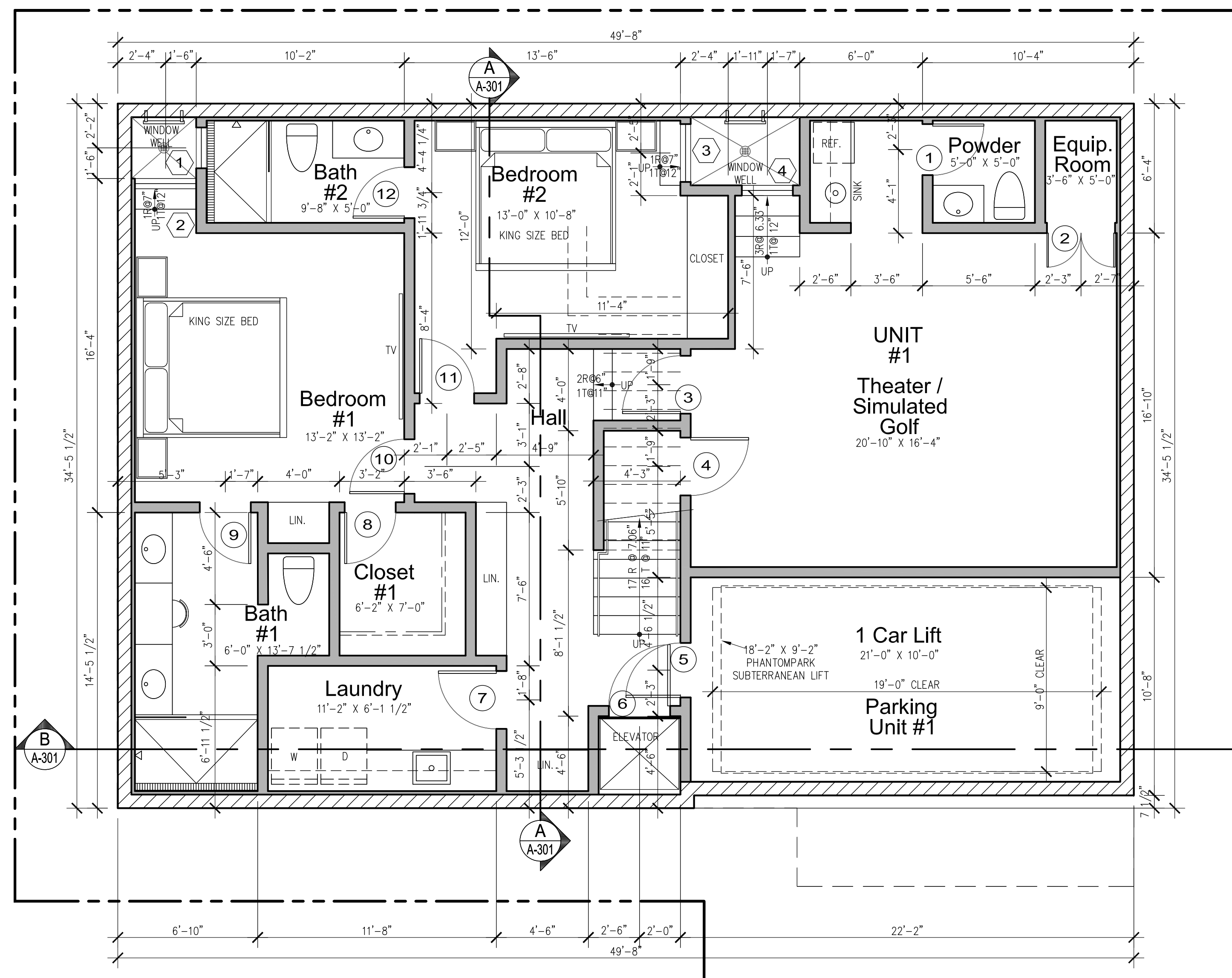
- 4. PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUTOFF VALVES TO ALL GAS FIRED OPERATED APPLIANCES.
5. H.V.A.C. IN MECHANICAL ROOM.
17. PROVIDE 18" HIGH PLATFORM FOR F.A.U. AND/OR WATER HEATER IN GARAGE. PROTECT FROM VEHICLE IMPACT WITH 3" DIA. x 36" HIGH CONCRETE FILLED STEEL PIPE EMBEDDED INTO 12" DIA. x 30" DEEP CONCRETE FOOTING AS REQUIRED.

PLUMBING:

- 8. ALL COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
9. COOKTOP OR RANGE - PROVIDE FUEL GAS AND/OR ELECTRICAL SUPPLY AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.
10. METAL EXHAUST VENT HOOD @ COOKTOP OR RANGE - VERIFY VENTING REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS.
21. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK ACTING VALVES OF THE WASHER, DISHWASHER, ETC. PER CPC SECTION 609.10.

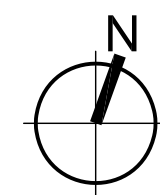
DOORS & WINDOWS:

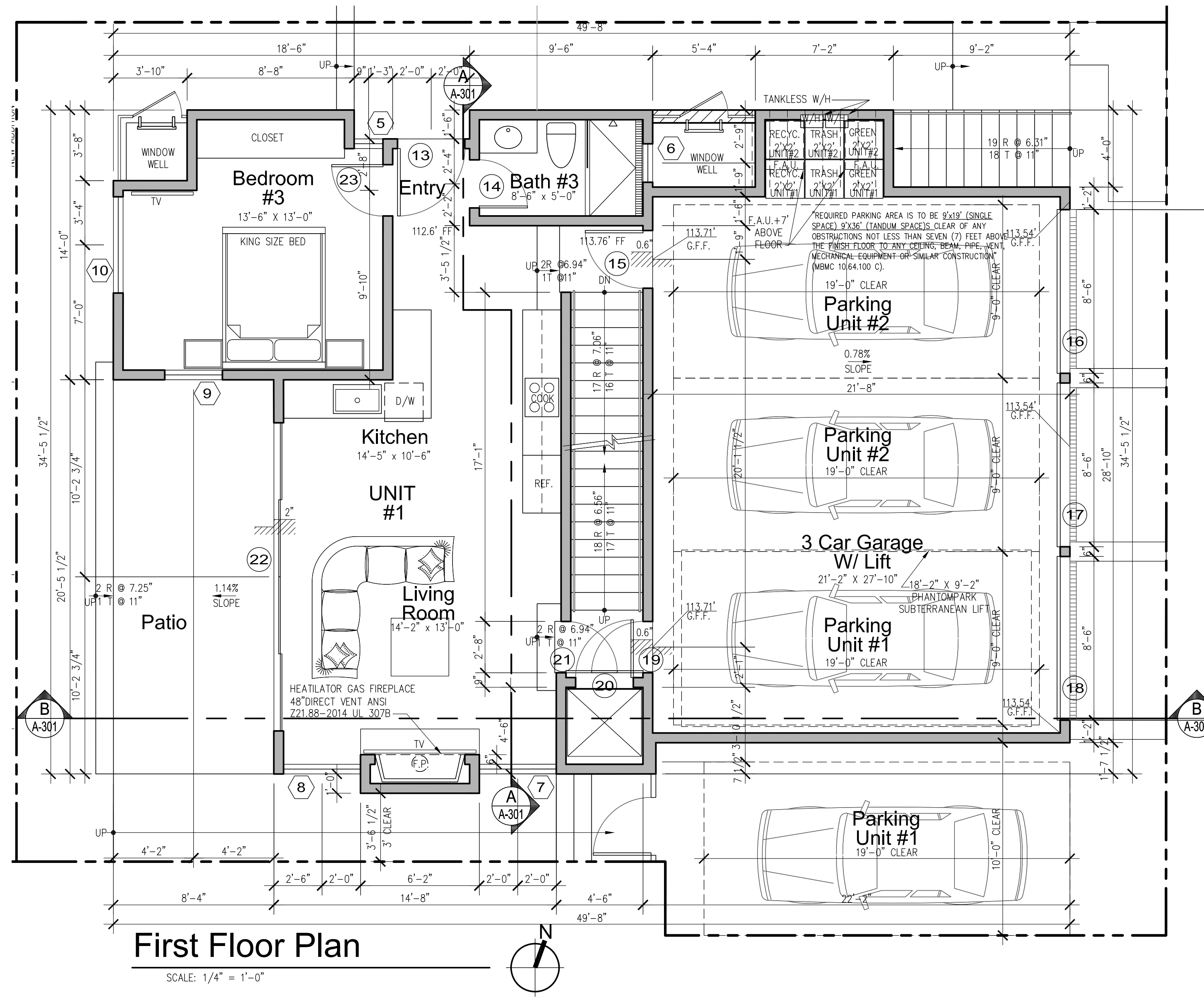
- 45. GLAZING IN ALL DOORS, GLAZING WITHIN A 24" ARC OF A CLOSED DOOR EDGE AND LESS THAN 60" ABOVE FINISH FLOOR, GLAZING PANELS OVER 9 SQUARE FEET HAVING THEIR LOWEST EDGE LESS THAN 18" ABOVE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE FINISH FLOOR.
50. FLAT, SAFTY GLAZED SKYLIGHT BY VELUX (ICBO # ESR-4108) OR APPROVED EQUAL.



Basement Floor Plan

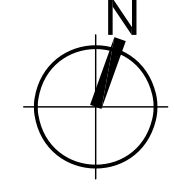
SCALE: 1/4" = 1'-0"





First Floor Plan

SCALE: 1/4" = 1'-0"



Floor Plan Notes:

- ELECTRICAL:**
- PROVIDE ALL NECESSARY ELECTRICAL SUPPLY LINES AND CONNECTIONS TO ALL APPLIANCES AS REQUIRED.
 - SMOKE ALARM AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (907.2.10.1.3, 908.2.10.5.2). SMOKE ALARMS (i.e., SMOKE DETECTORS) AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS: (CBC 907.2.10.1.2). PROVIDE ONE CO2 DETECTOR TO MEET CODE.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES. (SMOKE DETECTOR)
 - ON THE CEILING OR WALL OUTSIDE IMMEDIATE VICINITY SLEEPING ROOM. (SMOKE DETECTOR & CO)
 - ONE PER EVERY STORY. (SMOKE DETECTOR & CARBON MONOXIDE)
 - SEE ELECTRICAL PLANS FOR ELECTRICAL, FUEL GAS, HOSE BIBB, WATER HOOKUPS, ETC. AND ADDITIONAL INFORMATION.
- MECHANICAL:**
- PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUTOFF VALVES TO ALL GAS FIRED OPERATED APPLIANCES.
 - H.V.A.C. IN MECHANICAL ROOM.
 - ALL HEATING SYSTEMS SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH THE BUILDING OCCUPANT CAN MANUALLY PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINT AT LEAST TWO PERIODS WITHIN 24 HOURS PER CEC SECTION 150 (1). HVAC WILL BE ZONED BY FLOOR.
 - ROOM EXHAUST FAN - CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR WITH BACK DRAFT DAMPER, VENT TO OUTSIDE AIR. SEE ELECTRICAL PLANS FOR LOCATIONS.
 - ALL COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
 - COOKTOP OR RANGE - PROVIDE FUEL GAS AND/OR ELECTRICAL SUPPLY AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.
 - METAL EXHAUST VENT HOOD @ COOKTOP OR RANGE - VERIFY VENTING REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS. SHALL VENT TO OUTSIDE BUILDING.
 - PROVIDE BUILT-IN MICROWAVE OVEN. VERIFY VENTING REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS. SHALL VENT TO OUTSIDE BUILDING.
 - ANY CLOTHES DRYER LOCATED IN A HABITABLE SPACE OR IN AN AREA WITH OTHER FUEL BURNING APPLIANCES SHALL BE VENTED TO THE OUTSIDE WITH A 4" MINIMUM DIAMETER, SMOOTH, GALVANIZED, METAL DUCT. THE EXHAUST DUCT IS LIMITED TO 14'-0" IN LENGTH WITH TWO ELBOWS. THIS LENGTH SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO PER CMC SECTION 504.3.908. PROVIDE WITH WEATHER HOOD AND DAMPER AT EXTERIOR WALL TERMINATION.
 - PREFABRICATED METAL FIREBOX - HEATILATOR B-VENT FIREPLACE MODEL# RBV4236 UL# MH45957 (NON WOOD-BURNING) OR OTHER LISTED MAKE, APPROVED BY THE BUILDING OFFICIAL, WITH APPROVED SPARK ARRESTOR FLUE TERMINATION. FIREPLACE HEARTH TO BE OF NON-COMBUSTIBLE MATERIAL. ANY CHANGE FROM THE APPROVED ITEM IS APPROVED IN THE PLAN CHECK OFFICE. NOT BY THE FIELD INSPECTOR. PROVIDE FUEL GAS AND LOOSE KEY VALVE WITH SWITCH OPERATED AUTOMATIC LIGHTER. THE CONTROL VALVE SHALL BE LOCATED OUTSIDE OF EFFECTIVE HEARTH.
 - COMBUSTION AIR VENT - 8"x14" STAINLESS STEEL METAL, SCREENED VENTS, ONE 12" BELOW CEILING AND ONE 12" ABOVE FLOOR, IN EXTERIOR WALL OF MECHANICAL ROOM.
 - UNDERFLOOR VENT - 6"x14" COPPER OR STAINLESS STEEL, SCREENED VENTS EQUAL TO ONE SQUARE FOOT OF VENT AREA FOR EACH 150 SQUARE FEET OF UNDER FLOOR AREA. VENTS SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE BUILDING SIDES.
 - 24"x24" LOCKABLE, COPPER, SCREENED ENCLOSURE @ EACH UNDER FLOOR ACCESS, 75% FREE VENT AREA.
 - PROVIDE 18" HIGH PLATFORM FOR F.A.U. AND/OR WATER HEATER IN GARAGE. PROTECT FROM VEHICLE IMPACT WITH 3" DIA. x 36" HIGH CONCRETE FILLED STEEL PIPE EMBEDDED INTO 12" DIA. x 30" DEEP CONCRETE FOOTING AS REQUIRED.
 - GARAGE VENT - 6"x14" STAINLESS STEEL, SCREENED VENT 6" ABOVE GARAGE FLOOR, ONE PER CAR.
 - PROVIDE WHOLE HOUSE INDOOR AIR QUALITY VENTILATION BY MEANS OF CONTINUOUS EXHAUST VENTILATION, SUPPLY VENTILATION OR A COMBINATION OF BOTH EXHAUST AND SUPPLY VENTILATION IN EACH INDIVIDUAL DWELLING UNIT. SPECIFY THE REQUIRED CFM PER 2019 CALIFORNIA ENERGY CODE SECTION 150 (I) AND ASHRAE 62.2. IDENTIFY THE MECHANICAL APPLIANCE PROVIDING THE CONTINUOUS VENTILATION.
- PLUMBING:**
- GAS TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2019 CALIFORNIA PLUMBING CODE. (NAVEN NPE 240 TANKLESS WATER HEATER OR EQUAL)
 - PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK ACTING VALVES OF THE WASHER, DISHWASHER, ETC. PER CPC SECTION 609.10.
 - PLUMBING FIXTURES: LOW FLOW TOILETS - 1.28 GALLONS PER FLUSH, SHOWER HEADS - NO MORE THAN 1.8 GALLONS PER MINUTE & KITCHEN FAUCETS NOT TO EXCEED 1.8 GALLONS PER MINUTE PER H. & S. CODE SECTION 17921.3(b), IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORIES.
 - A 12"x12" MIN. ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS PER CPC 405.2.
 - PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING CONTROL VALVES AT SHOWERS AND TUB-SHOWERS PER CPC 420.
 - REFRIGERATOR/FREEZER - PROVIDE PURIFIED COLD WATER SUPPLY LINE TO ICE MAKER WITH RECESSED SHUTOFF VALVE WITH FILTERED WATER UNIT LOCATED ADJACENT TO APPLIANCE.
 - PROVIDE RECESSED HOT AND COLD WATER, DRAIN STANDPIPE & J.R. SMITH FLOOR DRAIN, OR APPROVED EQUAL, @ CLOTHES WASHER. PROVIDE AN APPROVED TRAP PRIMER.
 - ALL HOSE BIBBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE.
 - PROVIDE GALVANIZED METAL DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS & DISHWASHERS.
 - INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
 - SEWER LINE SHALL BE USED FOR THE BUILDING.
 - SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION (418 CPC)
- INSULATION:**
- PROVIDE FIBERGLASS BATT THERMAL INSULATION THROUGHOUT ENTIRE RESIDENCE: R-19 IN ALL EXTERIOR WALLS AND IN WALLS BETWEEN GARAGE AND LIVING AREAS. R-13 IN ALL INTERIOR WALLS. R-30 IN ALL CEILINGS WITH ATTIC SPACE ABOVE. R-19 IN ALL SLOPED, VOLUME CEILINGS WHEN RAFTERS ARE 10" OR LESS. R-30 IN ALL SLOPED, VOLUME CEILINGS WHEN RAFTERS MORE THAN 10". R-30 IN ALL INTERIOR FLOORS.
- LAUNDRY & BATHROOMS:**
- 24" CLEAR IN FRONT OF WATER CLOSETS AND 30" MINIMUM WIDE WATER CLOSET COMPARTMENT (CBC SECTION 2904)
 - SLAB COUNTERTOP WITH BACKSPLASH @ BATHROOMS, COLOR AND PATTERN BY OWNER.
 - GRANITE SLAB COUNTERTOP WITH FULL BACKSPLASH @ KITCHEN, COLOR BY OWNER.
 - FRAMELESS GLASS SHOWER ENCLOSURE @ ALL TUB AND SHOWER STALLS TO 6'-0" HIGH MIN. MEASURED FROM ADJACENT FINISH FLOOR UNLESS NOTED OTHERWISE. GLAZING TO BE PERMANENTLY LABELED TEMPERED.
 - PROVIDE FULL HEIGHT SEALED SHOWER ENCLOSURE w/ GASKETED DOOR @ MASTER BATH SHOWER. SLOPE CEILING 2" PER FOOT MIN. AWAY FROM SEAT. PROVIDE MR. STEAM GENERATOR BY SUSSMAN LIFESTYLE GROUP w/ AUTO FLUSH OR APPROVED EQUAL.
 - HOT MOPPED SHOWER PAN WITH A DROP DOWN DAM, MINIMUM AREA 1,024 SQUARE INCHES AND 30" DIAMETER CLEAR PER CPC 408.5. CONTRACTOR TO LEAK TEST PRIOR TO INSTALLING FINISHES.
 - SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET. (1210.3 CBC)
 - WALL FINISH @ SHOWER OR TUB-SHOWER - CERAMIC TILE OR OTHER LISTED MAKE APPROVED BY THE BUILDING OFFICIAL. ANY CHANGE FROM THE APPROVED ITEM IS APPROVED IN THE PLAN CHECK OFFICE, NOT THE FIELD INSPECTOR. 70" HIGH MIN. ABOVE DRAIN. TILE DETAILING PER TILE COUNCIL OF NORTH AMERICA STANDARDS. MATERIAL OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
 - COMPARTMENTED MEDICINE CABINET WITH BEVELED GLASS MIRROR IN BATHROOMS WHERE SHOWN.
- INTERIOR WALLS:**
- 5/8" GYPSUM BOARD INTERIOR FINISH. FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS AND TWO SKIM FINISH COATS OF GYPSUM.
 - ALL UNDER STAIR AREA WALLS AND CEILING TO BE PROVIDED WITH 5/8" TYPE "X" GYPSUM BOARD, 1-HR. FIRE RESISTIVE CONSTRUCTION PER CBC SECTION 1003.3.9.
 - PROVIDE 5/8" TYPE "X" GYPSUM BOARD, 1-LAYER ON WALLS AND 2-LAYERS ON CEILINGS, @ GARAGE (U-1) ADJACENT TO LIVING AREAS (R-3). EXPOSED POSTS AND/OR BEAMS @ GARAGE (U-1) SUPPORTING FLOORS ABOVE TO BE WRAPPED WITH 5/8" TYPE "X" GYPSUM BOARD OR HEAVY TIMBER (8"x8" MIN.) PER CBC SECTION 302.4.
- DOORS & WINDOWS:**
- GLAZING IN ALL DOORS, GLAZING WITHIN A 24" ARC OF A CLOSED DOOR EDGE AND LESS THAN 60" ABOVE FINISH FLOOR. GLAZING PANELS OVER 9 SQUARE FEET HAVING THEIR LOWEST EDGE LESS THAN 18" ABOVE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE FINISH FLOOR. GLAZING STAIRWAY LANDINGS OR WITHIN 5'-0" OF THE TOP OR BOTTOM RISER AND LESS THAN 60" ABOVE FINISH FLOOR AND GLAZING IN GUARDRAILS MUST BE IDENTIFIED BY PERMANENT LABEL AS TEMPERED.
 - DOORS THAT SWING OVER LANDING OR PORCH REQUIRE A LANDING 36" MINIMUM IN LENGTH AND NOT MORE THAN 1/2" BELOW THRESHOLD. DOORS THAT DO NOT SWING OVER A TOP STEP OR LANDING MAY OPEN ON A LANDING OR TOP STEP THAT IS NOT MORE THAN 8" BELOW FINISH FLOOR.
 - BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EMERGENCY EGRESS DOOR OR WINDOW OPENING DIRECTLY INTO A YARD OR EXIT COURT. EMERGENCY EGRESS WINDOWS MUST PROVIDE: MINIMUM 5.7 SQ. FT. OF OPENABLE AREA, MINIMUM CLEAR WIDTH OF 20", MINIMUM CLEAR HEIGHT OF 24" AND HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR.
 - ALL WINDOW AND SLIDING GLASS DOOR ASSEMBLIES MUST BE DUAL-PANED AND ALUMINUM FRAME OR HAVE A MAXIMUM U-VALUE OF 0.32 & SHGC 0.25
 - ALL DOORS, WINDOWS, AND LOCKS TO COMPLY WITH CBC APPENDIX CHAPTER 10 - BUILDING SECURITY.
 - FLAT, SAFETY GLAZED SKYLIGHT BY VELUX (ICBO # ESR-4108) OR APPROVED EQUAL.
 - THE DOORWAY FROM A GARAGE INTO A LIVING AREA (NOT A BEDROOM) SHALL BE PROTECTED BY A MIN. 1-3/8" INCH SELF-CLOSING, SELF-LATCHING SOLID CORE DOOR, OR A SELF-CLOSING DOOR HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. (406.1.4 CBC)
 - MIRRORED WARDROBE DOORS TO BE SAFETY GLAZING.
- DECKS:**
- TILE OR STONE OVER DEX-O-TEX WATERPROOF MEMBRANE (ICC# ESR 1757) OR APPROVED EQUAL.
 - INDICATE TWO LAYERS OF GRADE D PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH GUARDRAILS.
 - SHALL BE INSTALLED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.
 - SHALL HAVE A HEIGHT OF NOT LESS THAN 42" MEASURED VERTICALLY ABOVE THE WALKING SURFACE, ADJACENT FIXED SEATING, OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS LOCATED ON THE OPEN SIDE OF STAIRS MAY HAVE A HEIGHT NOT LESS THAN 34".
 - OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6". GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE OPENINGS LESS THAN 4-3/8".
- MISCELLANEOUS:**
- ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 3/4" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. WHERE ADDRESS CAN NOT BE VIEWED FROM PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED.

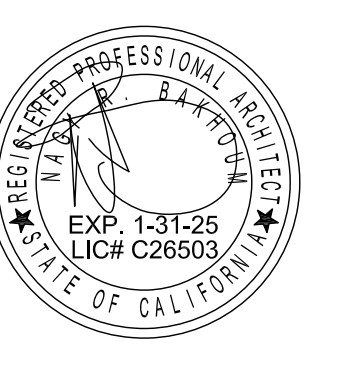


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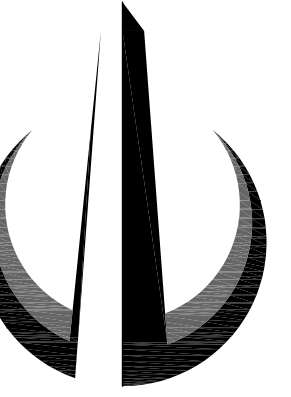
2912 The Strand
Manhattan Beach
CA 90266

PROJECT NUMBER
2111 ALV STR MB
DATE
June 29, 2023



First Floor Plan

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PROJECT

Alvarez Residence

2912 The Strand Manhattan Beach CA 90266

REVISIONS

PROJECT NUMBER 2111 ALV STR MB

DATE June 29, 2023

STAMP



SHEET TITLE

Second Floor Plan

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SHEET

A-103

Floor Plan Notes:

ELECTRICAL:

- 1. PROVIDE ALL NECESSARY ELECTRICAL SUPPLY LINES AND CONNECTIONS TO ALL APPLIANCES AS REQUIRED.
2. SMOKE ALARM AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
3. SEE ELECTRICAL PLANS FOR ELECTRICAL, FUEL GAS, HOSE BIBB, WATER HOOKUPS, ETC. AND ADDITIONAL INFORMATION.

MECHANICAL:

- 4. PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUTOFF VALVES TO ALL GAS FIRED OPERATED APPLIANCES.
5. H.V.A.C. IN MECHANICAL ROOM.
6. ALL HEATING SYSTEMS SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH THE BUILDING OCCUPANT CAN MANUALLY PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINT AT LEAST TWO PERIODS WITHIN 24 HOURS PER CEC SECTION 150 (1).
7. ROOM EXHAUST FAN - CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR WITH BACK DRAFT DAMPER, VENT TO OUTSIDE AIR. SEE ELECTRICAL PLANS FOR LOCATIONS.

PLUMBING:

- 20. GAS TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING.
21. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK ACTING VALVES OF THE WASHER, DISHWASHER, ETC. PER CPC SECTION 609.10.
22. PLUMBING FIXTURES: LOW FLOW TOILETS - 1.28 GALLONS PER FLUSH, SHOWER HEADS - NO MORE THAN 1.8 GALLONS PER MINUTE & KITCHEN FAUCETS NOT TO EXCEED 1.8 GALLONS PER MINUTE PER H. & S. CODE SECTION 17921.3(b). IAMPO APPROVAL REQUIRED FOR ONE PIECE LAVATORIES.

LAUNDRY & BATHROOMS:

- 33. 24" CLEAR IN FRONT OF WATER CLOSETS AND 30" MINIMUM WIDE WATER CLOSET COMPARTMENT (CBC SECTION 2904)
34. SLAB COUNTERTOP WITH BACKSPLASH @ BATHROOMS, COLOR AND PATTERN BY OWNER.
35. GRANITE SLAB COUNTERTOP WITH FULL BACKSPLASH @ KITCHEN, COLOR BY OWNER.

INTERIOR WALLS:

- 41. COMPARTMENTED MEDICINE CABINET WITH BEVELED GLASS MIRROR IN BATHROOMS WHERE SHOWN.
42. 5/8" GYPSUM BOARD INTERIOR FINISH, FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS AND TWO SKIM FINISH COATS OF GYPSUM.
43. ALL UNDER STAIR AREA WALLS AND CEILING TO BE PROVIDED WITH 5/8" TYPE "X" GYPSUM BOARD, 1-HR. FIRE RESISTIVE CONSTRUCTION PER CBC SECTION 1003.3.9

DOORS & WINDOWS:

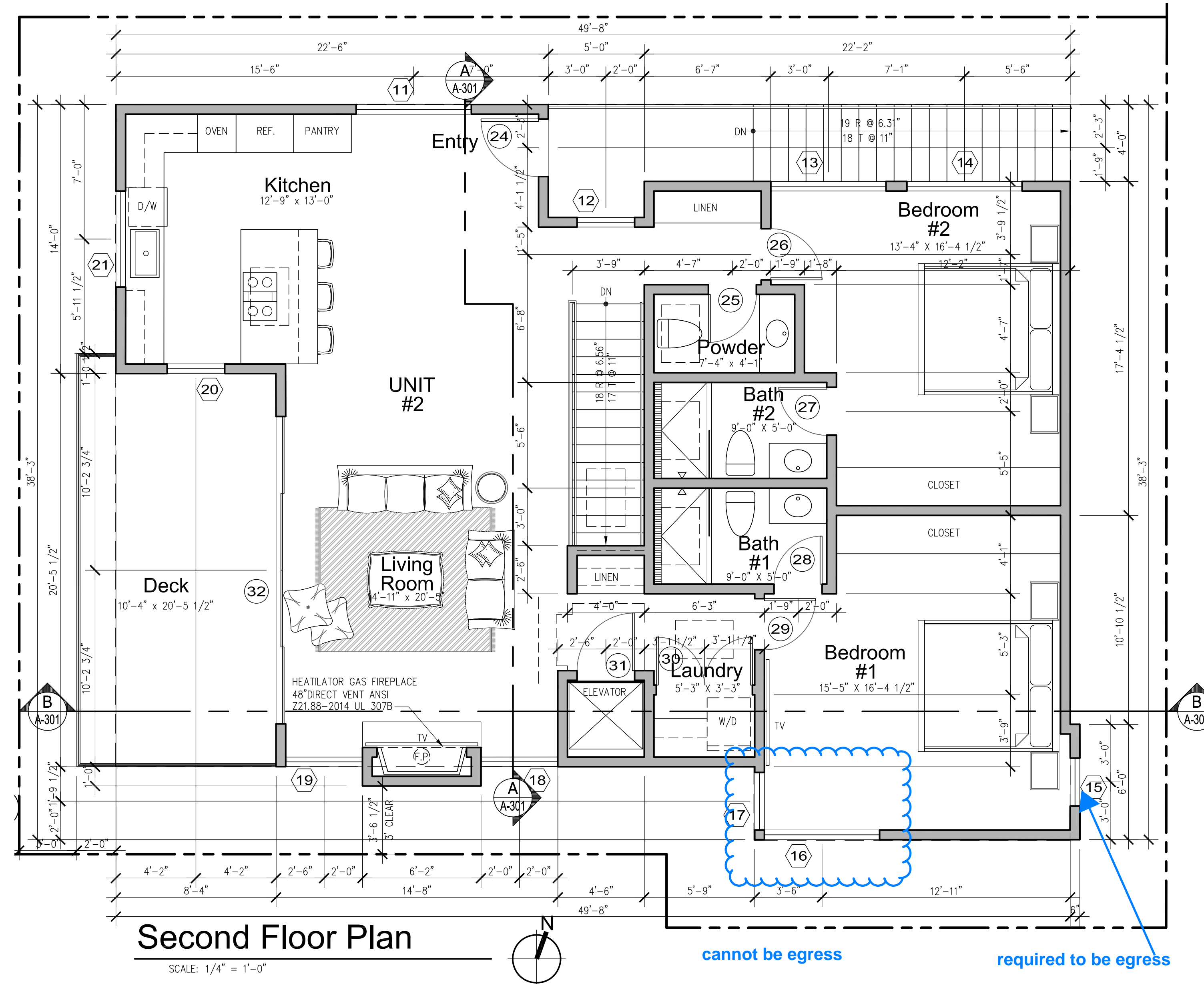
- 45. GLAZING IN ALL DOORS, GLAZING WITHIN A 24" ARC OF A CLOSED DOOR EDGE AND LESS THAN 60" ABOVE FINISH FLOOR, GLAZING PANELS OVER 9 SQUARE FEET HAVING THEIR LOWEST EDGE LESS THAN 18" ABOVE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE FINISH FLOOR.
46. DOORS THAT SWING OVER LANDING OR PORCH REQUIRE A LANDING 36" MINIMUM IN LENGTH AND NOT MORE THAN 1/2" BELOW THRESHOLD. DOORS THAT DO NOT SWING OVER A TOP STEP OR LANDING MAY OPEN ON A LANDING OR TOP STEP THAT IS NOT MORE THAN 8" BELOW FINISH FLOOR.

DECKS:

- 53. TILE OR STONE OVER DEX-O-TEX WATERPROOF MEMBRANE (ICC# ESR 1757) OR APPROVED EQUAL.
54. INDICATE TWO LAYERS OF GRADE D PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH GUARDRAILS.

MISCELLANEOUS:

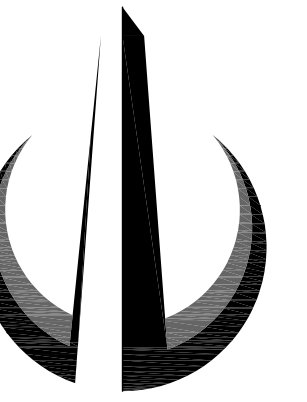
- 58. ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 3/8" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND, WHERE ADDRESS CAN NOT BE VIEWED FROM PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED.



Second Floor Plan

SCALE: 1/4" = 1'-0"

cannot be egress required to be egress



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PROJECT

**Alvarez
Residence**

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CA 90266

REVISIONS

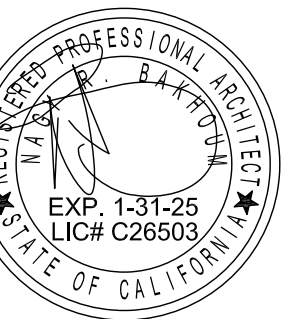
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2111 ALV STR MB

DATE

June 29, 2023

STAMP



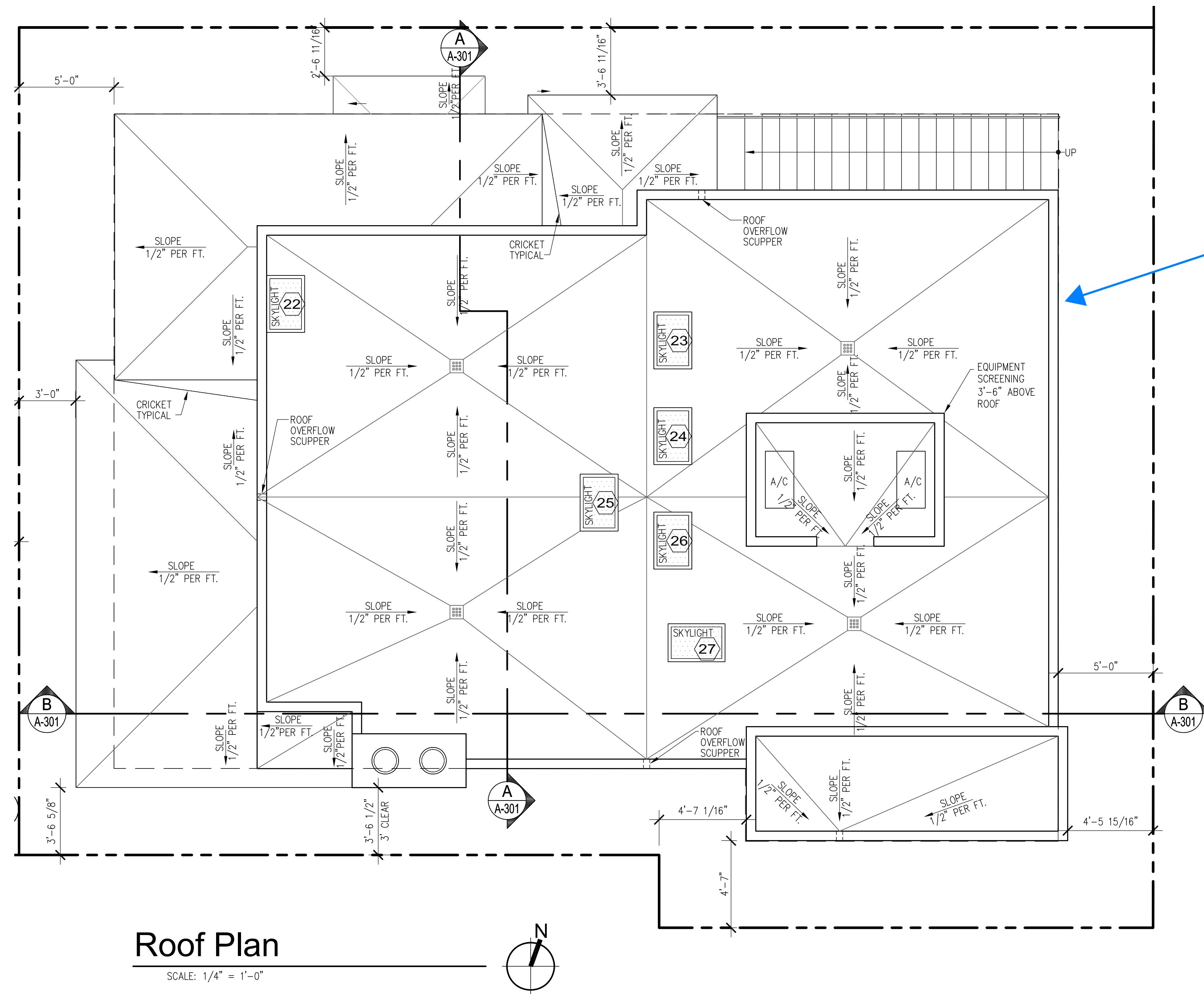
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**Roof
Plan**

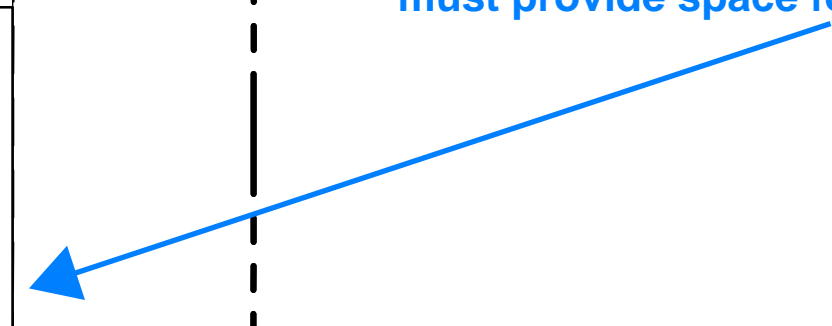
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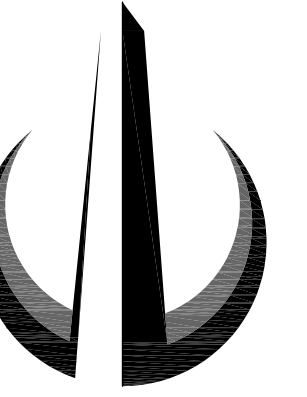
SHEET

A-104



must provide space for future solar





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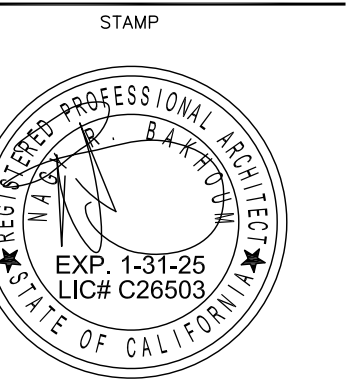
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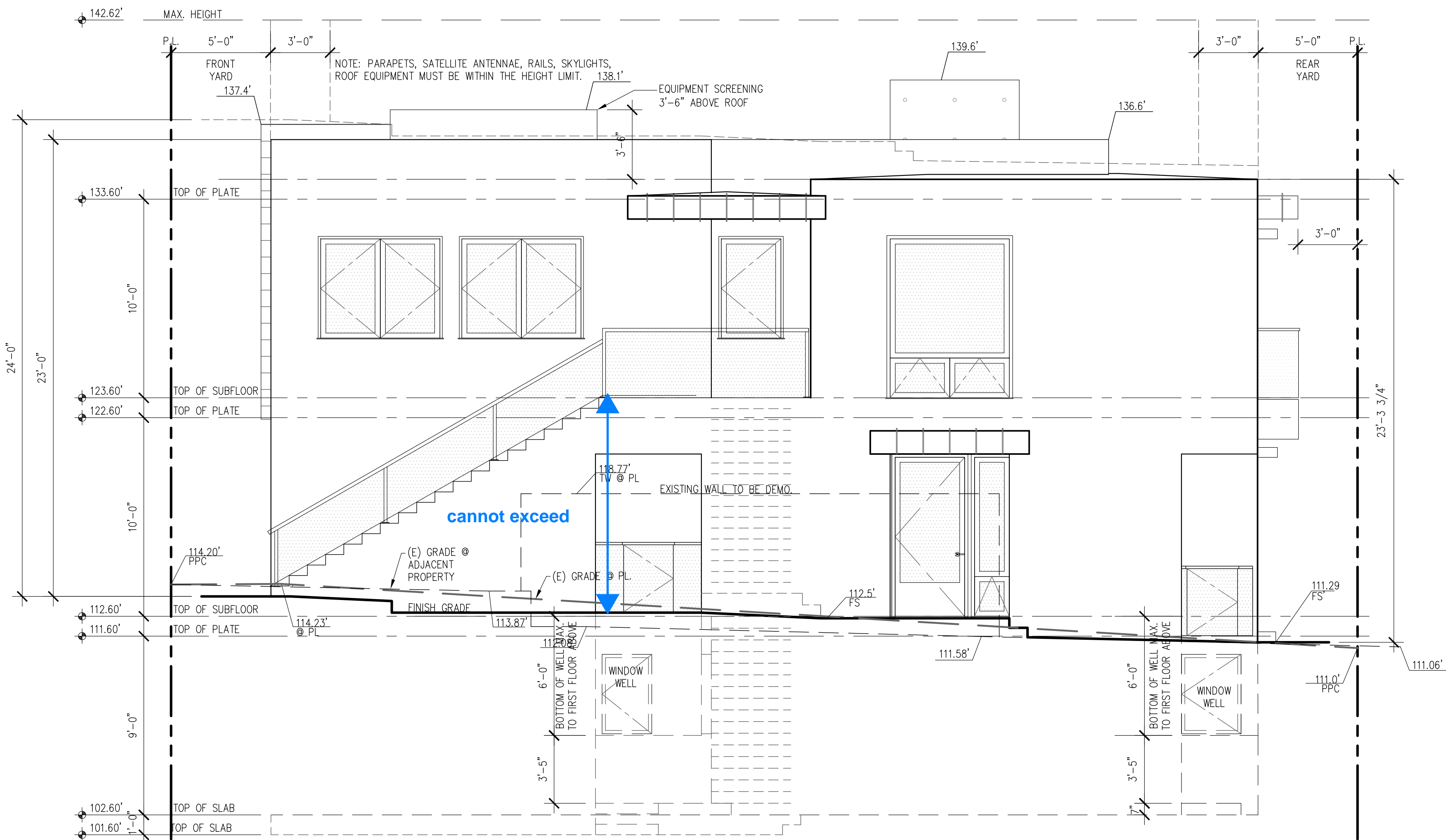
SHEET TITLE

**Exterior
Elevations**

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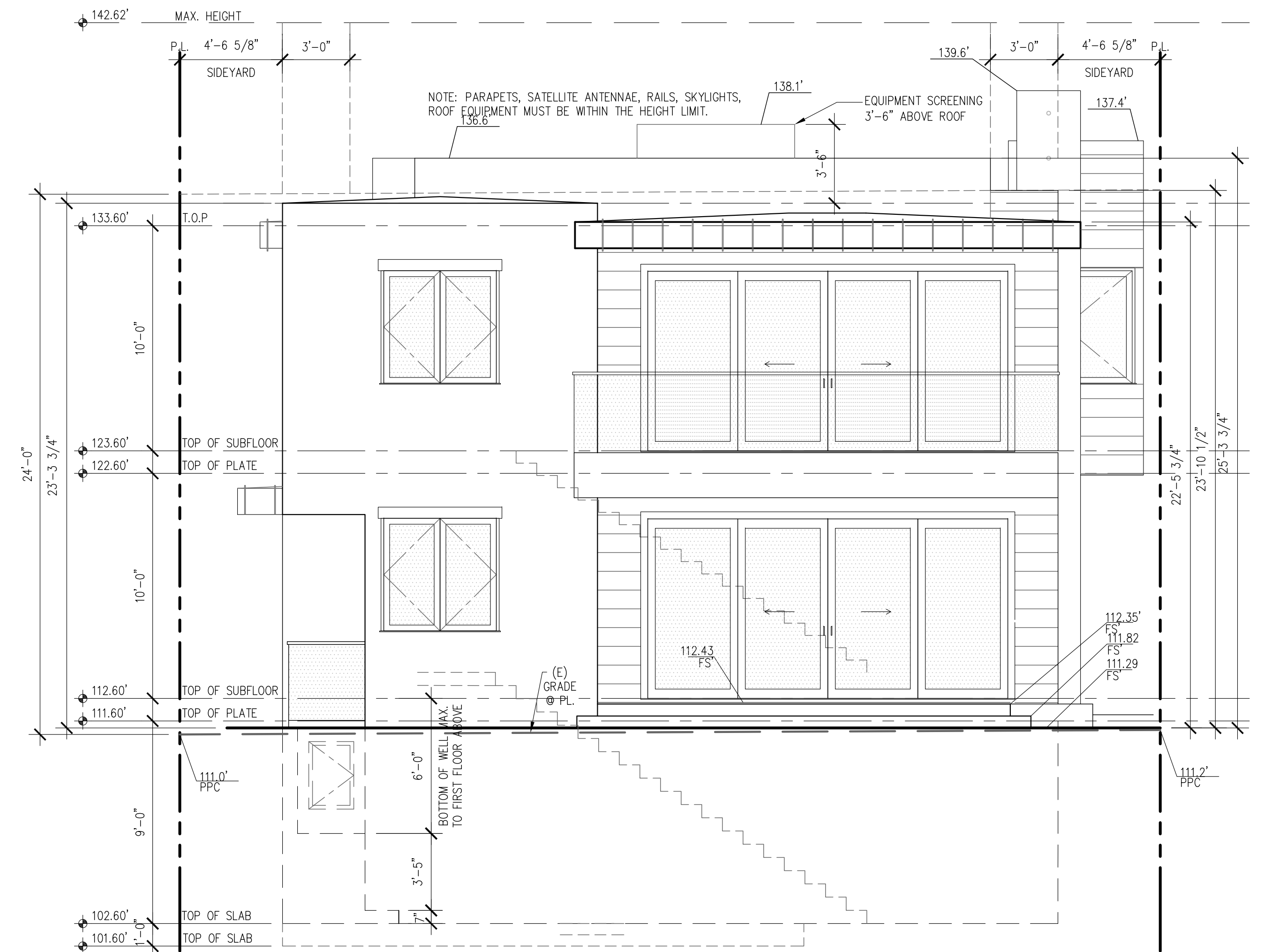
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A-201



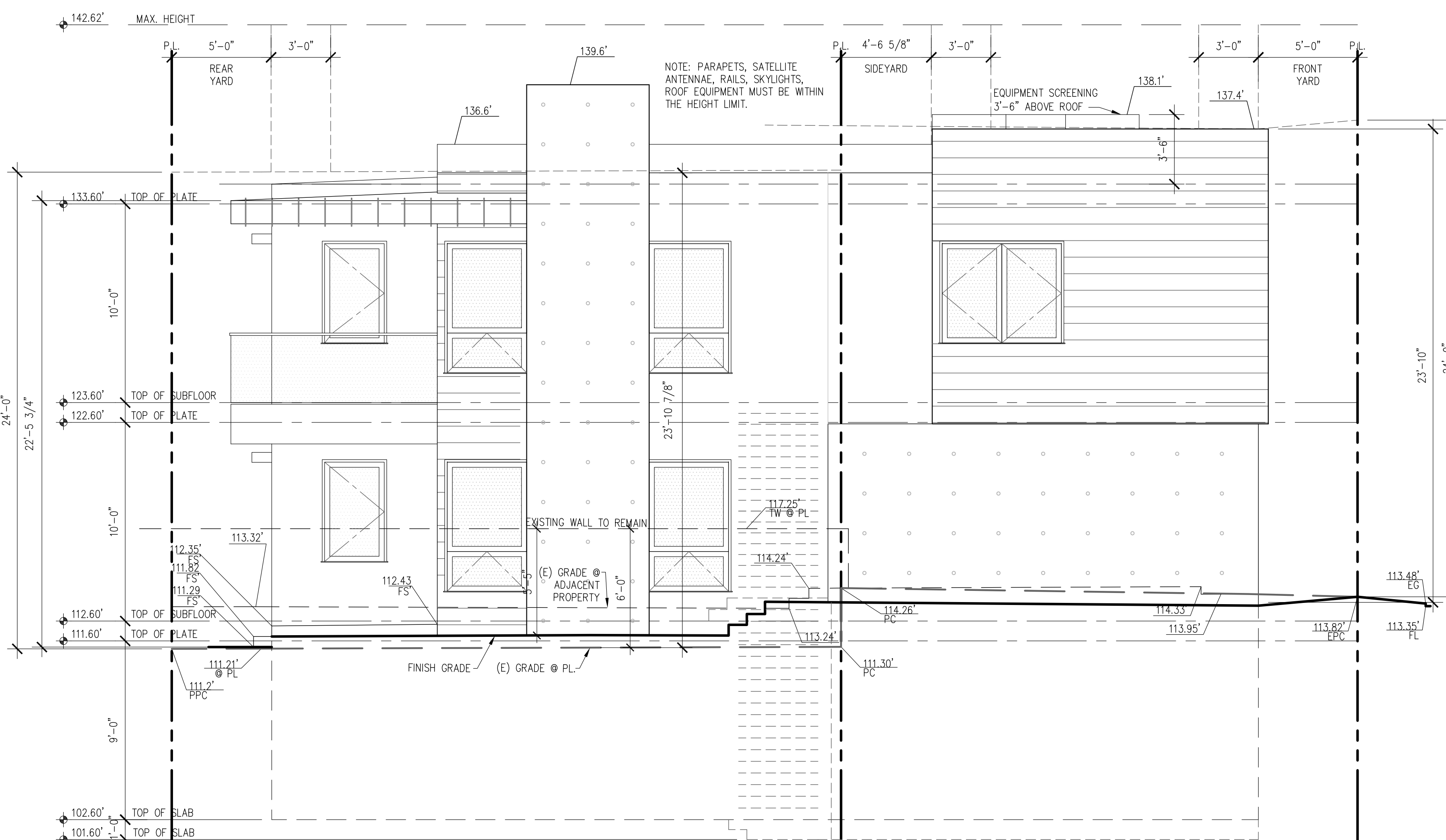
North Elevation

SCALE: 1/4" = 1'-0"



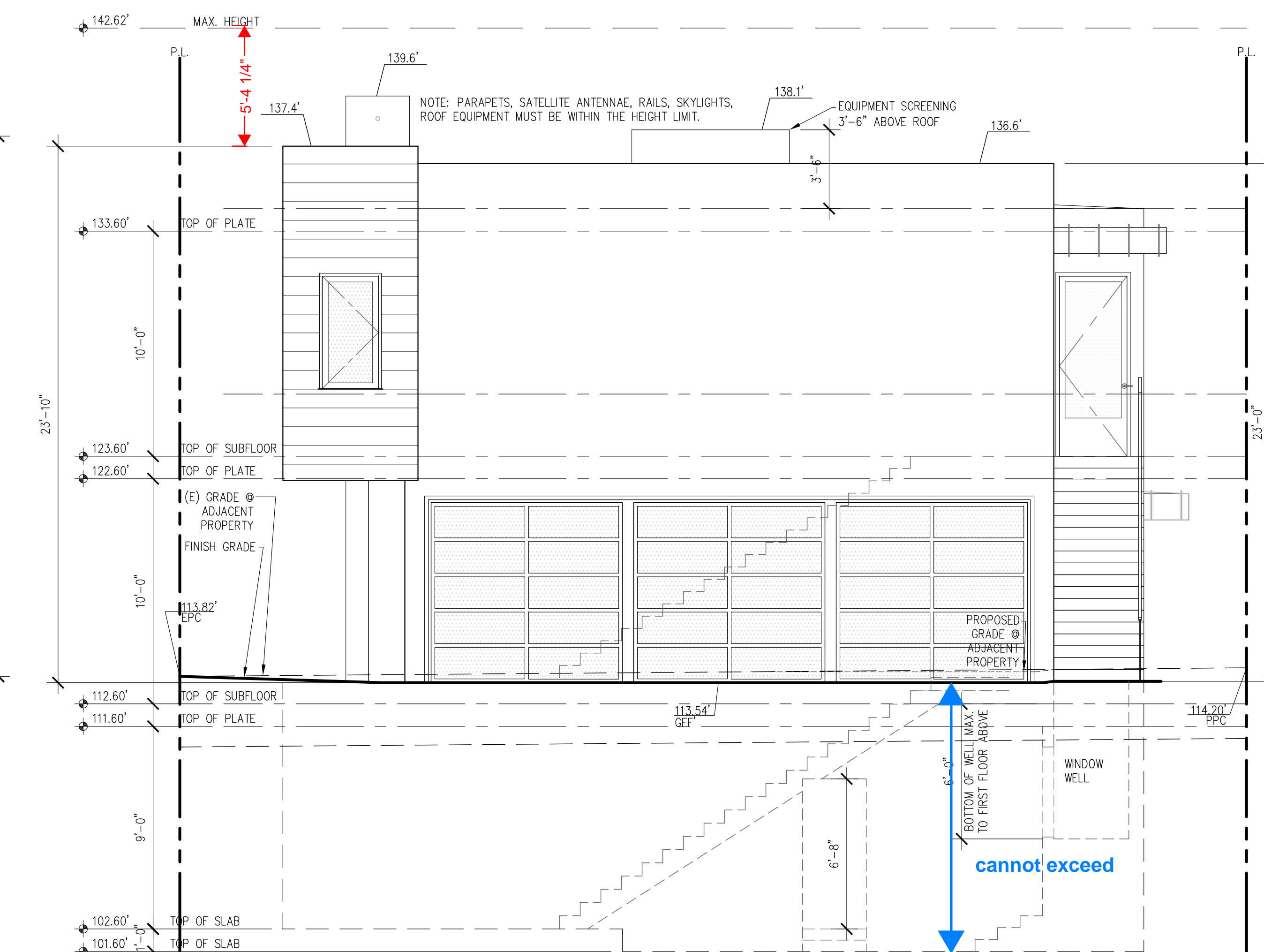
West Elevation

SCALE: 1/4" = 1'-0"



South Elevation

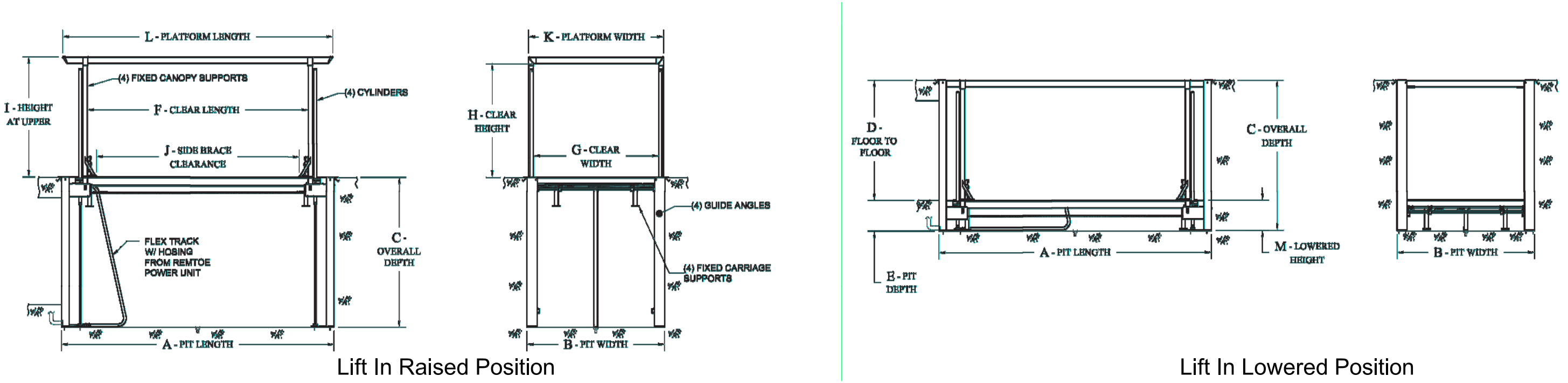
SCALE: 1/4" = 1'-0"



East Elevation

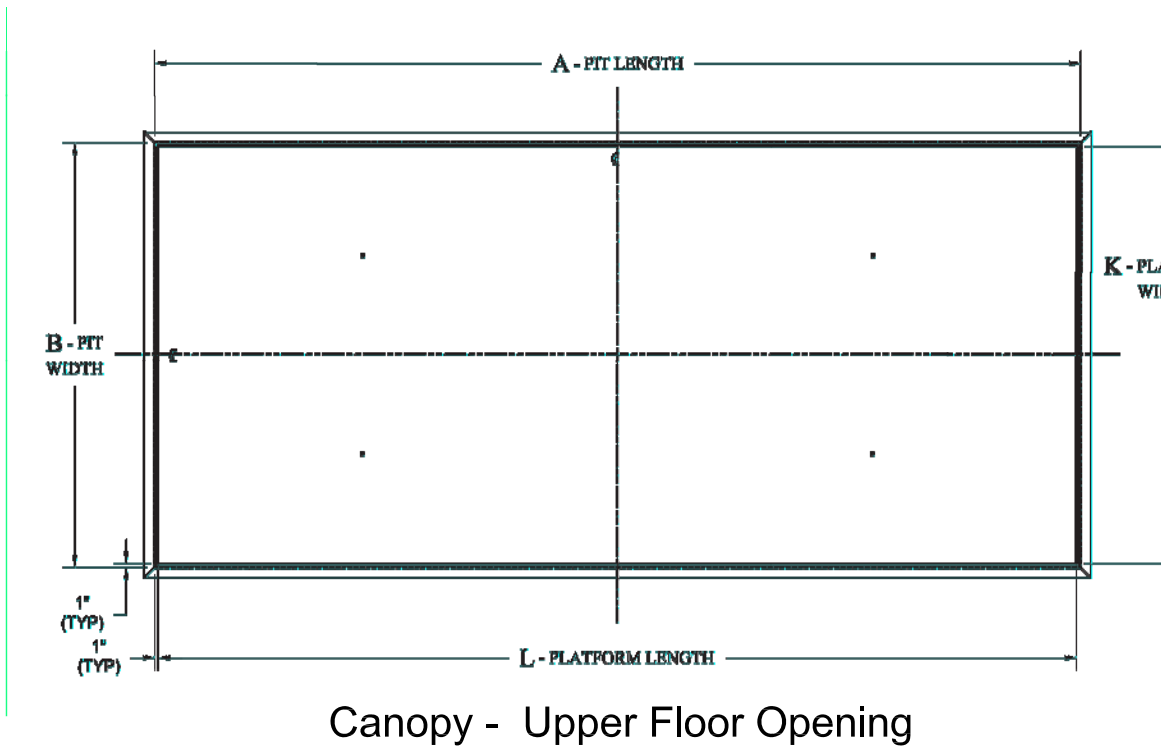
SCALE: 1/4" = 1'-0"

PhantomPark Subterranean Parking Lift 4 Post Model Made In America



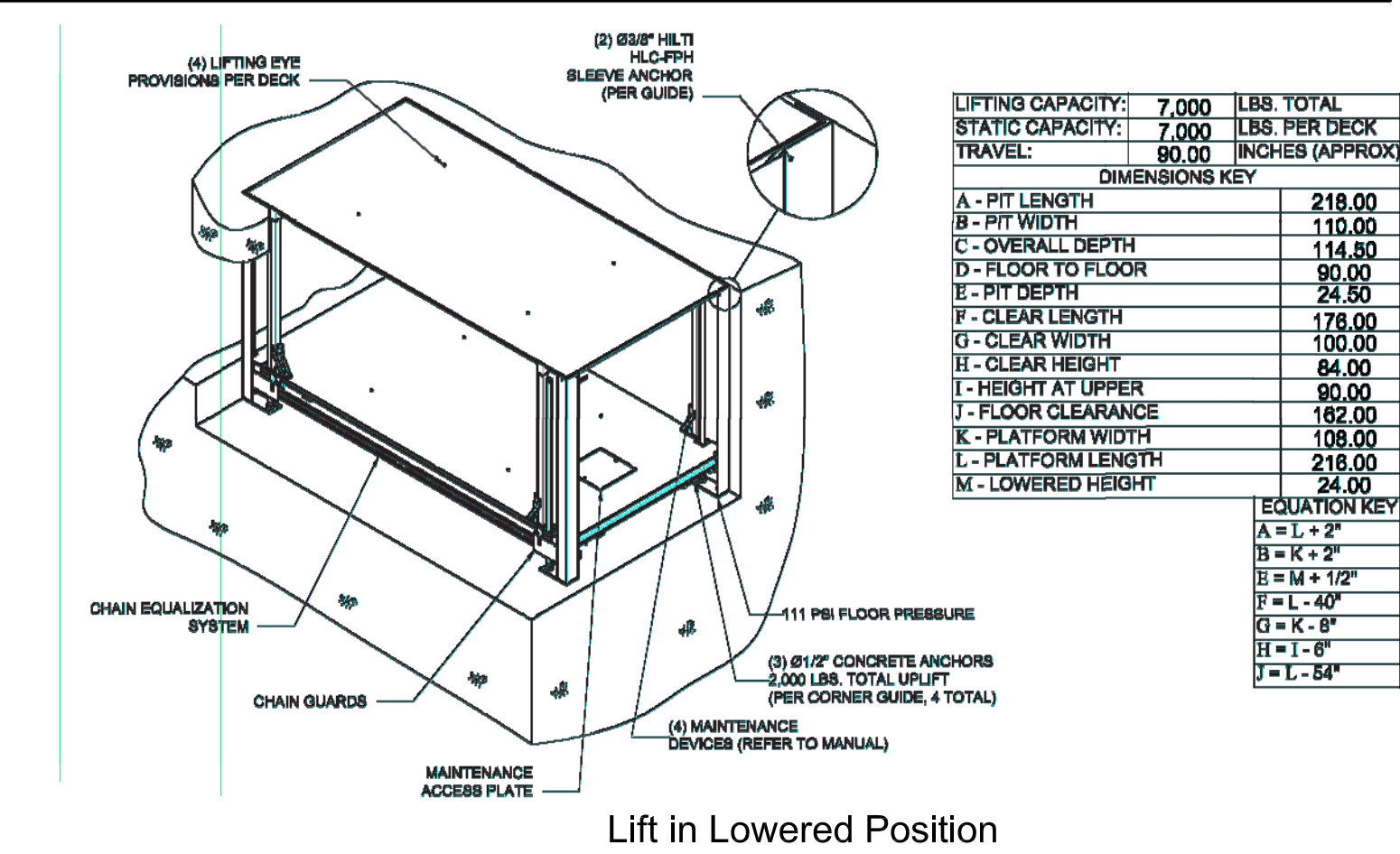
Elevation View

NOT TO SCALE



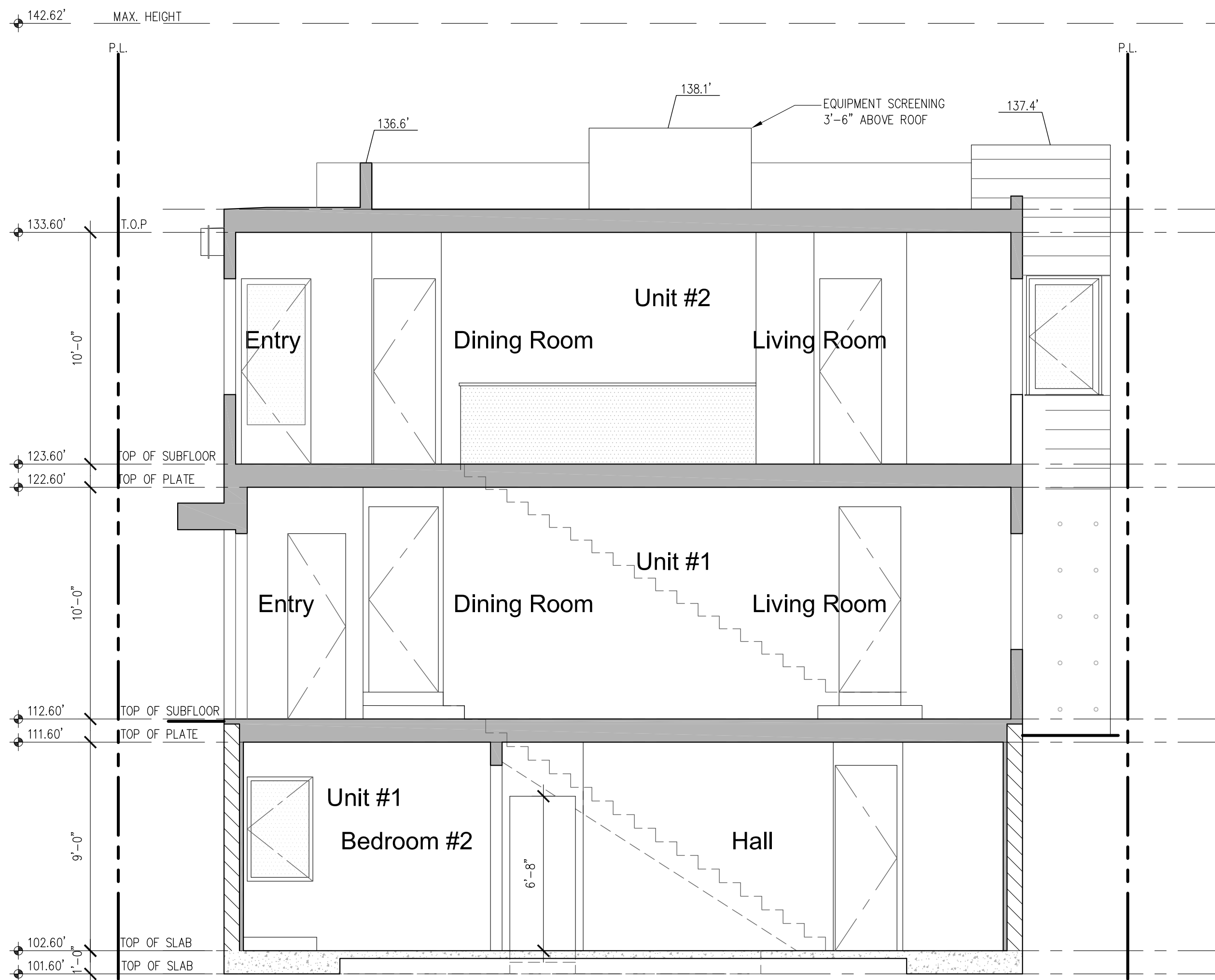
Top View

NOT TO SCALE



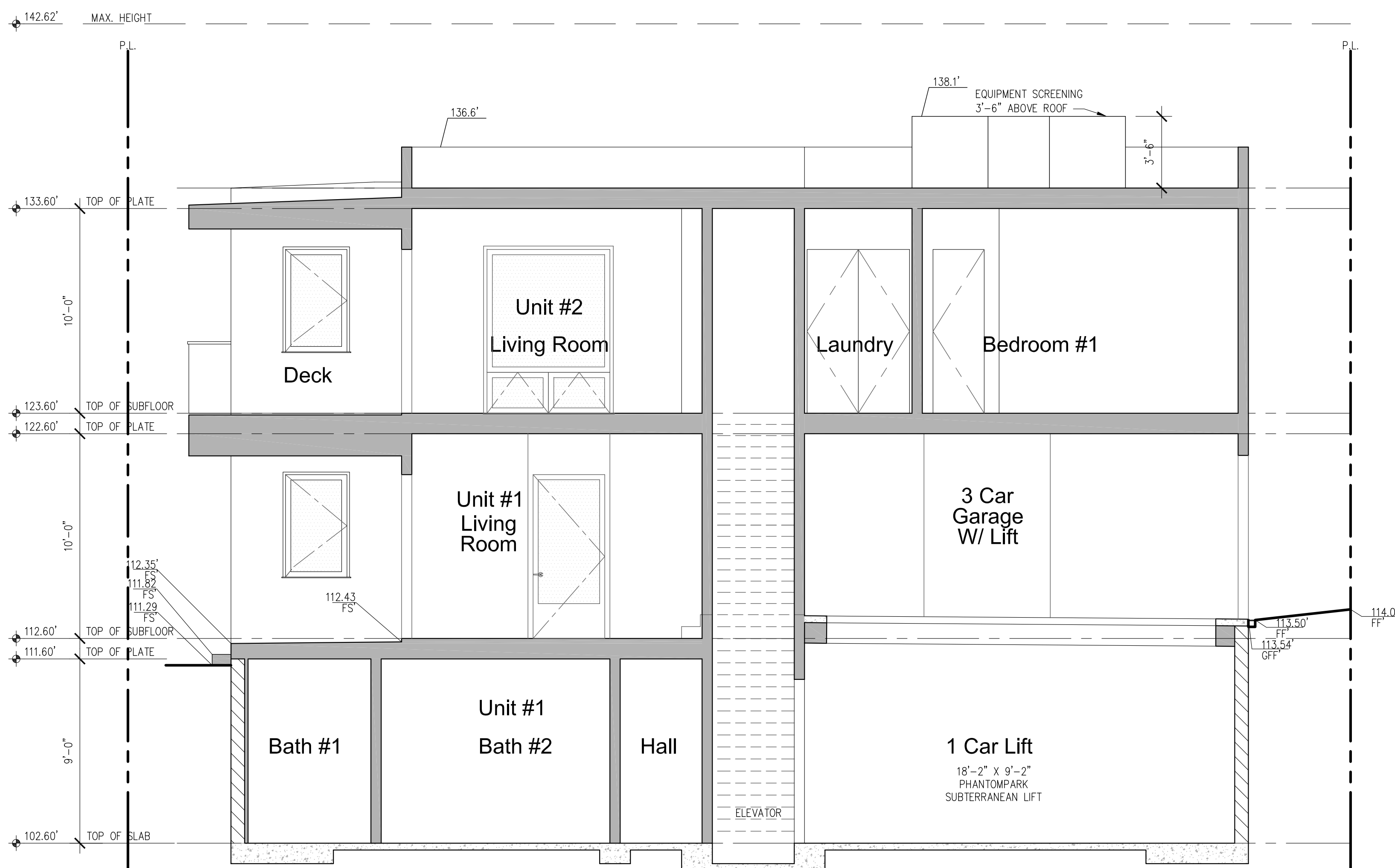
Isometric View

NOT TO SCALE



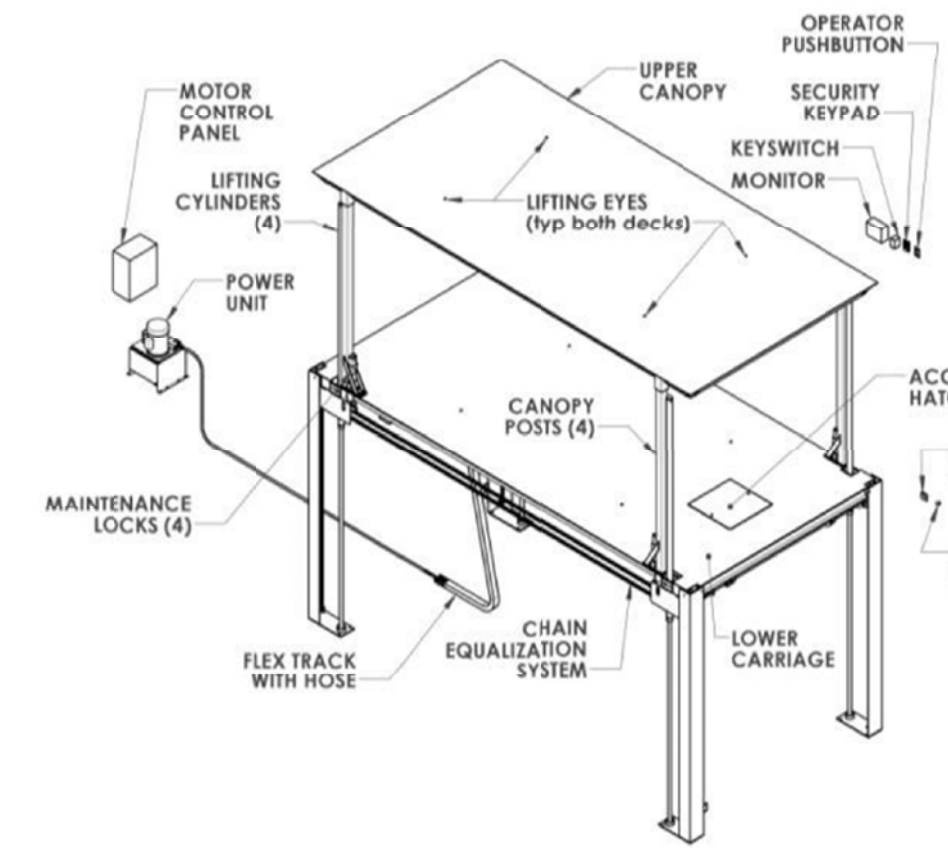
Section A

SCALE: 1/4" = 1'-0"



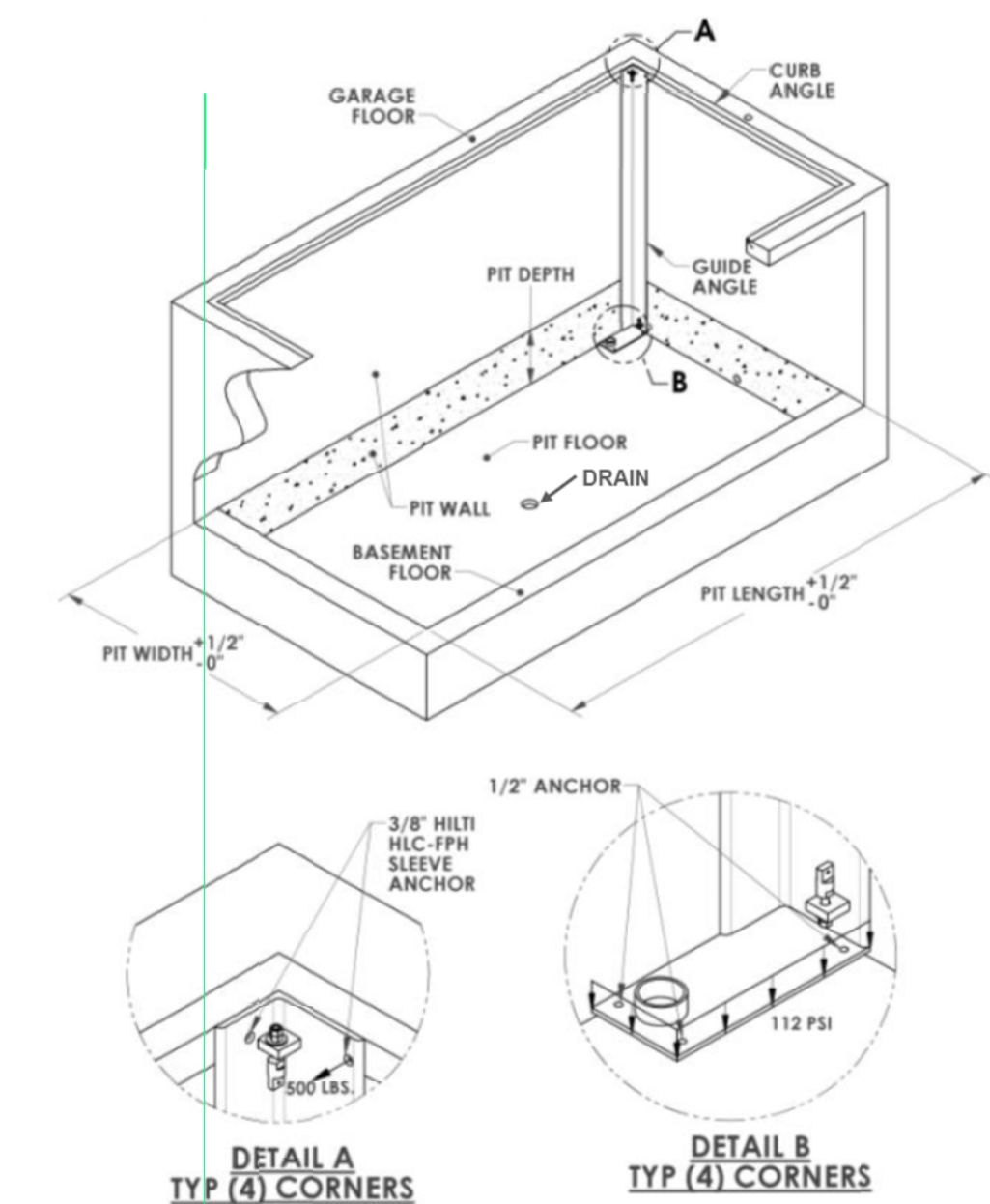
Section B

SCALE: 1/4" = 1'-0"



Component Identification

NOT TO SCALE

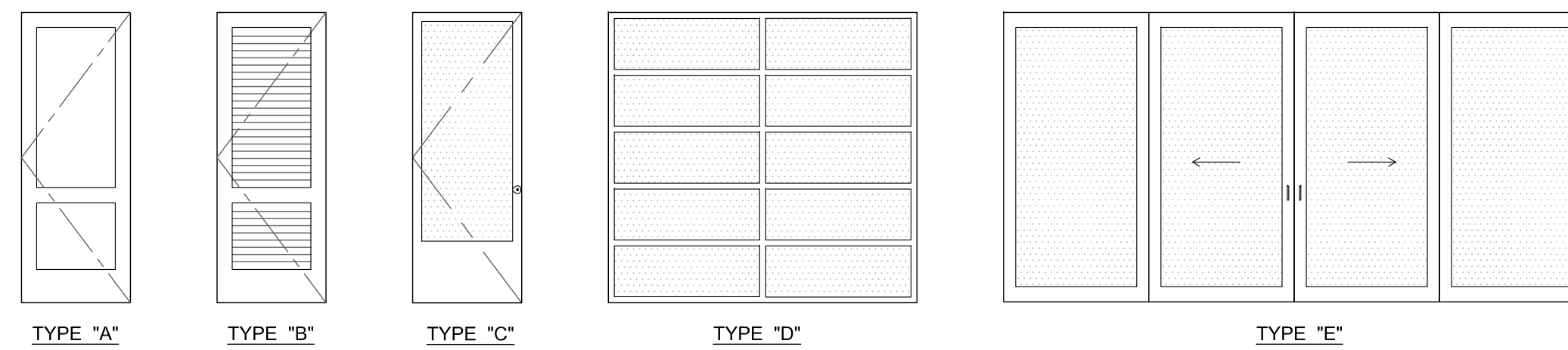


Installation Considerations

NOT TO SCALE

Door schedule Lot B									
	Key	Width	Height	Thick.	Type	Material	Glazing	U/SHGC	Remarks
BASEMENT	1	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	2	PAIR 1'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	3	2'-10"	6'-8"	1 3/4"	A	STAIN GRADE WOOD			
	4	2'-10"	6'-8"	1 3/4"	A	STAIN GRADE WOOD			
	5	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD
	6	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			1-HOUR RATED, SELF-CLOSING w/ SMOKE SEAL & METAL THRESHOLD
	7	2'-10"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			FULL HEIGHT LOUVERED
	8	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	9	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	10	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	11	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	12	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
1st FL.	13	3'-0"	8'-0"	2 1/4"	C	STAIN GRADE WOOD	TEMPERED		
	14	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	15	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD
	16	8'-6"	8'-0"	2 1/4"	D	STAIN GRADE WOOD			ROLL-UP SECTIONAL GARAGE DOOR, PROVIDE AUTOMATIC OPENER
	17	8'-6"	8'-0"	2 1/4"	D	STAIN GRADE WOOD			ROLL-UP SECTIONAL GARAGE DOOR, PROVIDE AUTOMATIC OPENER
	18	8'-6"	8'-0"	2 1/4"	D	STAIN GRADE WOOD			ROLL-UP SECTIONAL GARAGE DOOR, PROVIDE AUTOMATIC OPENER
	19	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD
	20	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			1-HOUR RATED, SELF-CLOSING w/ SMOKE SEAL & METAL THRESHOLD
	21	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			20 MINUTE RATED w/ AUTOMATIC CLOSER, SELF LATCHING, WEATHER STRIPPING & METAL THRESHOLD
	22	16'-0"	8'-0"	1 3/4"	E	STAIN GRADE WOOD	TEMPERED		SLIDER-BY PASS DOORS
	23	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
2nd FLOOR	24	3'-0"	8'-0"	2 1/4"	C	STAIN GRADE WOOD	TEMPERED		
	25	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	26	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	27	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	28	2'-6"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	29	2'-8"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			
	30	PAIR 2'-6"	8'-0"	1 3/4"	B	STAIN GRADE WOOD			FULL HEIGHT LOUVERED
	31	3'-0"	8'-0"	1 3/4"	A	STAIN GRADE WOOD			1-HOUR RATED, SELF-CLOSING w/ SMOKE SEAL & METAL THRESHOLD
	32	16'-0"	8'-0"	1 3/4"	E	STAIN GRADE WOOD	TEMPERED		SLIDER-BY PASS DOORS

DOOR TYPES



TYPE "A"

TYPE "B"

TYPE "C"

TYPE "D"

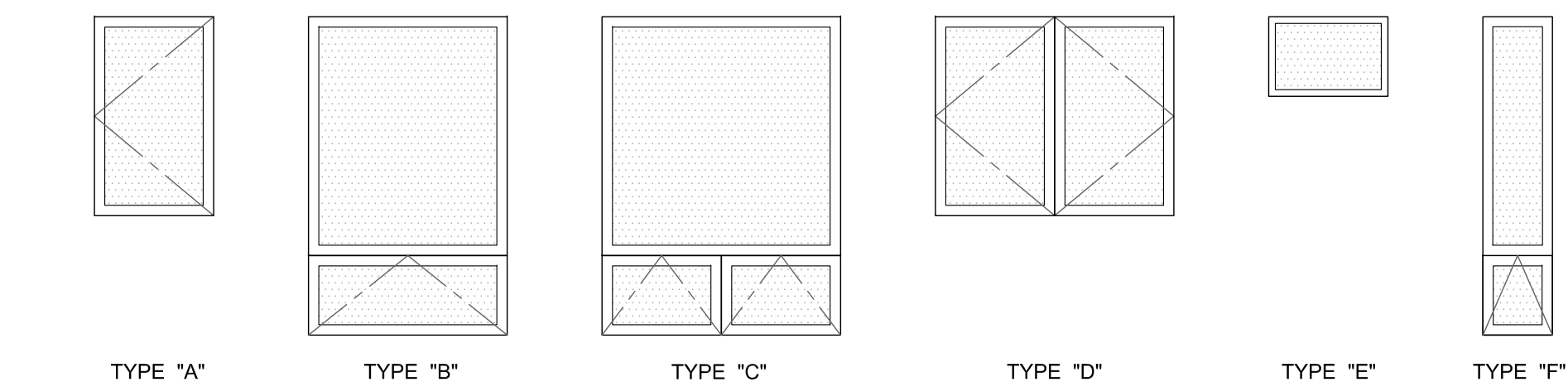
TYPE "E"

DOOR NOTES:

- ALL DOORS TO BE SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCH THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4 INCH THICK.
- BOTTOM OF INTERIOR DOORS TO BE 3/8" ABOVE FIN. FLR.
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS, DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES, 91.6709.2)
- MANUFACTURER: MARVIN
- EGRESS DOORS SHALL BE READILY OPEN FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, BUILDING CODE 1008.1.8
- VEHICLE ACCESS DOORS SHALL BE NONCOMBUSTIBLE.
- EVERY DOOR SHALL HAVE A LEVEL LANDING ON EACH SIDE. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75" FOR SLIDING DOORS OR 0.5" FOR OTHER DOORS. THE THRESHOLD MAY BE 7.75" MAXIMUM WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS AND THE DOOR DOES NOT SWING OVER THE LANDING. EXTERIOR DOORS SHALL HAVE A CONCRETE LANDING (36"X36" MIN.) WITH A MINIMUM SLOPE OF 1/4" PER FOOT FOR DRAINAGE. DETAIL LANDING AND THRESHOLD DROP AT DOORS. [CBC 1008.1.4, 1008.1.6]

Window Schedule Lot B									
	Key	Width	Height	Type	Material	Glazing	Head height from F.F.	Remarks	
BASEMENT	1	3'-0"	4'-0"	A	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	CASEMENT / EGRESS	
	2	2'-0"	3'-0"	A	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	CASEMENT	
	3	2'-10"	4'-0"	A	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	CASEMENT / EGRESS	
	4	2'-6"	4'-0"	A	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	CASEMENT / EGRESS	
1st	5	1'-9"	8'-0"	F	WOOD CLAD EXT./PAINT. INT.		8'-0"	FIXED-AWNING	
	6	2'-0"	3'-0"	A	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	CASEMENT	
	7	4'-0"	6'-6"	B	WOOD CLAD EXT./PAINT. INT.		8'-0"	FIXED-AWNING	
	8	4'-0"	6'-6"	B	WOOD CLAD EXT./PAINT. INT.		8'-0"	FIXED-AWNING	
	9	3'-0"	5'-0"	A	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
	10	PAIR 2'-6"	5'-0"	D	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
	2nd FLOOR	11	6'-0"	8'-0"	C	WOOD CLAD EXT./PAINT. INT.		8'-0"	FIXED-AWNING-AWNING
		12	3'-0"	5'-0"	A	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT
		13	PAIR 3'-0"	5'-0"	D	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT
		14	PAIR 3'-0"	5'-0"	D	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT
15		2'-6"	5'-0"	A	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT / EGRESS	
16		PAIR 3'-0"	5'-0"	D	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
17		3'-0"	5'-0"	A	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
18		4'-0"	6'-6"	B	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	FIXED-AWNING	
19		4'-0"	6'-6"	B	WOOD CLAD EXT./PAINT. INT.	TEMPERED	8'-0"	FIXED-AWNING	
20		3'-0"	5'-0"	A	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
21		PAIR 2'-6"	5'-0"	D	WOOD CLAD EXT./PAINT. INT.		8'-0"	CASEMENT	
ROOF	22	3'-0"	2'-0"	E	VELUX			SKYLIGHT	
	23	3'-0"	2'-0"	E	VELUX			SKYLIGHT	
	24	3'-0"	2'-0"	E	VELUX			SKYLIGHT	
	25	3'-0"	2'-0"	E	VELUX			SKYLIGHT	
	26	3'-0"	2'-0"	E	VELUX			SKYLIGHT	
	27	3'-0"	2'-0"	E	VELUX			SKYLIGHT	

WINDOW TYPES



TYPE "A"

TYPE "B"

TYPE "C"

TYPE "D"

TYPE "E"

TYPE "F"

WINDOW NOTES:

- ALIGN TOP OF WINDOWS WITH TOP OF DOORS SO THAT TOP EDGES OF DOORS AND WINDOWS ALIGN IN A LEVEL PLANE ABOVE FINISH FLOOR.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20" WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FIN. FLR..
- WINDOWS WITH SILLS LESS THAN 5'-0" ABOVE TUB OR SHOWER FLOOR SHALL BE TEMPERED
- ALL WINDOW GLAZING TO BE DUAL GLAZED, LOW "E" AND TINTED GLASS. CONTRACTOR TO PROVIDE TINTED GLASS SAMPLES TO ARCHITECT FOR SELECTION.
- ALLEY FACING WINDOWS AND SLIDING GLASS DOORS SHALL CONSIST OF DUEL PANELS OF 1/8" - 1/4" GLASS TO MINIMIZE NOISE.
- COMPLY WITH SECT. 2406 FOR REQUIRED SAFETY GLAZING
- MANUFACTURER: MARVIN