



2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM
#TOMAROARCHITECTURE
@TOMAROARCHITECTURE

NEW THREE STORY RESIDENCE

SHANE RESIDENCE

225 36TH STREET

MANHATTAN BEACH, CA 90266

GENERAL NOTES

- 2022 CBC, 2022 CRC, 2022 CMC, 2022 CPC, 2022 CEC, 2022 CGS, AND THE CITY OF MANHATTAN BEACH
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFR, FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- ENTIRE BUILDING TO BE FULLY SPRINKLERED 2 - SEPARATE SPRINKLER SYSTEMS. EACH UNIT SHALL BE PROTECTED BY INDIVIDUAL FIRE SPRINKLER SYSTEM.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- WPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUBS/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC, SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM. A227-21) OR OIL-TEMPERED WIRE (ASTM. A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC. 1211)
- DESIGN STANDARDS. MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC. 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC. 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC. 1211.4)
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

LIST OF BMP's (BEST MANAGEMENT PRACTICES)

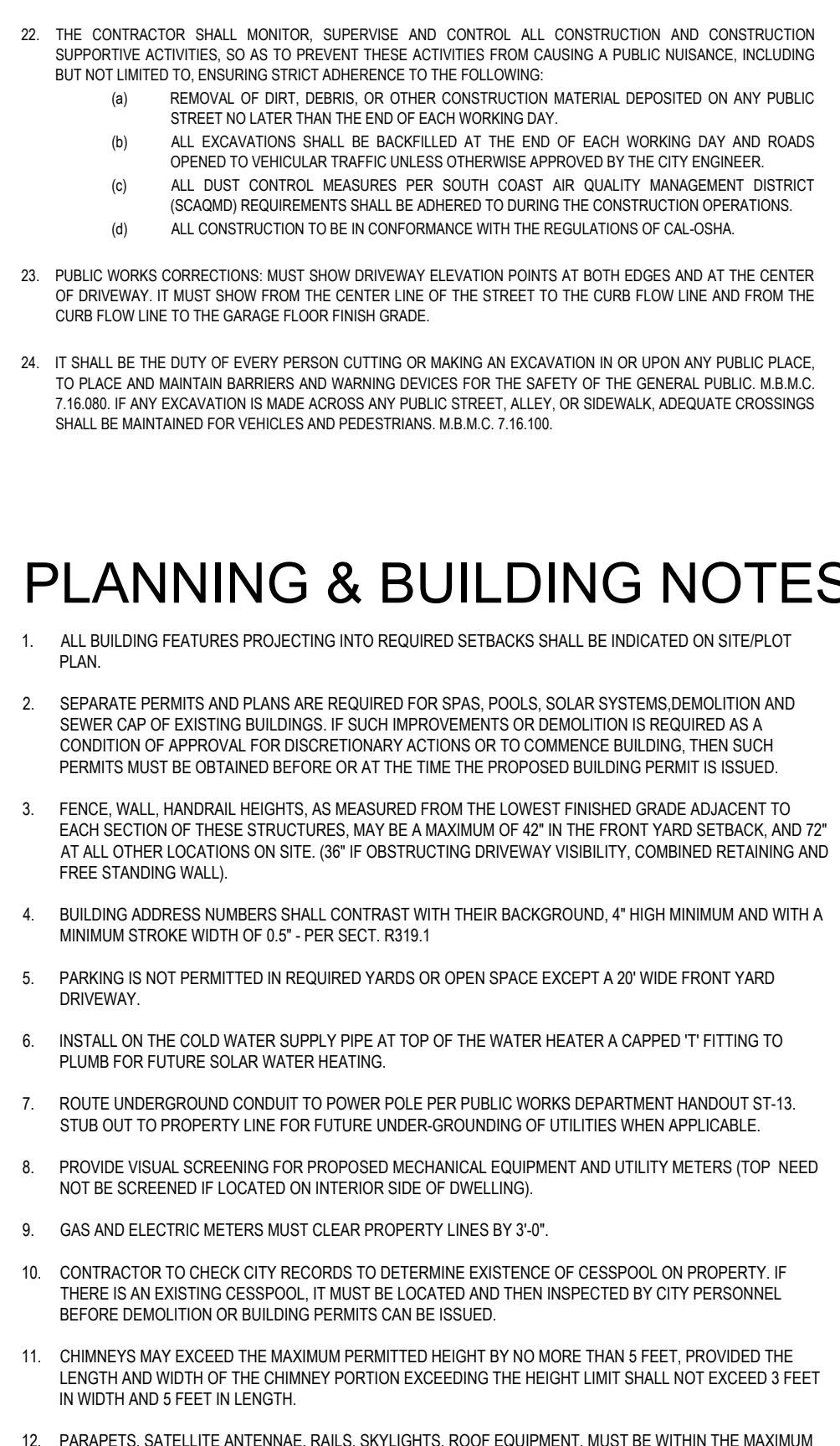
BMP'S WILL BE UTILIZED IN THE GRADING, BUILDING AND FINAL CONSTRUCTION PHASES OF THE PROJECT

- CA1 DEWATERING OPERATIONS - REMOVE SEDIMENTS FROM GROUND WATER
- CA2 PAVING OPERATIONS - REDUCE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS
- CA3 STRUCTURE CONSTRUCTION AND PAINTING - PREVENT & REDUCE DISCHARGE FROM CONSTRUCTION SITES & PAINTING PROJECTS
- CA10 MATERIAL DELIVERY AND STORAGE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY & STORAGE
- CA11 MATERIAL USE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE
- CA12 SPILL PREVENTION AND CONTROL - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING
- CA20 SOLID WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION
- CA21 HAZARDOUS WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS
- CA22 CONTAMINATED SOIL MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL
- CA23 CONCRETE WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE
- CA24 SANITARY/SEPTIC WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY & SEPTIC SYSTEMS
- CA30 VEHICLE AND EQUIPMENT CLEANING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND EQUIPMENT
- CA31 VEHICLE AND EQUIPMENT FUELING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES & EQUIPMENT
- CA32 VEHICLE AND EQUIPMENT MAINTENANCE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES & EQUIPMENT

PUBLIC WORKS NOTES

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS (STRASH) LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION, RECYCLING ORDINANCE.
- EROSION AND SEDIMENT CONTROL DEVICES (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF 3" CAST IRON PIPE AND LABELED ON THE SITE PLAN. DRAIN LINES MUST BE SHOWN ON THE PLANS. CONNECTING ON-SITE DRAINAGE LINE TO SEWER LATERAL IS STRICTLY PROHIBITED.
- ALL CONCENTRATED RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO THROUGH THE DRAIN LINES AND MUST BE SHOWN ON THE PLANS WITH ALL REQUIRED OUTLET FLOW LINE ELEVATIONS AT THE DISCHARGE POINT.
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.
- SIDEWALK, DRIVEWAY, CURB, AND GUTTER CONSTRUCTION, REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, ST-3 AND ST-10. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (%) OF SLOPE ON DRIVEWAY, AND DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15% CITY RECOMMENDS THAT GARAGE FINISH FLOOR ELEVATION PER DESIGN PLANS BE HIGHER THAN EXISTING STREET GRADES. IN ORDER TO MINIMIZE POSSIBILITY OF ANY FLOODING (FROM THE GARAGE), CITY PLANNERS MUST SHOW ELEVATIONS FOR EACH ADJACENT PROPERTY. NO DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES SHALL EXCEED MORE THAN 1'.
- DRIVEWAY PROFILES EXCEEDING 10% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 15% ARE NOT PERMITTED.
- THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.78.030 THE DRIVEWAY APRON ON _____ MUST BE IMPROVED PER CITY STANDARD PLANS.
- PRIVATE USE OF THE PUBLIC RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT PER M.B.M.C. 1.36. A MINIMUM SETBACK OF TWO FEET IS REQUIRED BEHIND EXISTING OR REQUIRED STREET IMPROVEMENTS, AND MUST INCLUDE LOWSCAPE IMPROVEMENTS INCLUDING HARDSCAPE FLATWORK OR LANDSCAPE GROUNDCOVER.
- CONTRACTOR TO PROTECT IN PLACE ALL EXISTING PROPERTY CORNERS DURING CONSTRUCTION. IF ANY OF THE PROPERTY CORNERS ARE REMOVED OR DESTROYED DURING CONSTRUCTION, IT WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THEM.
- ALL EXISTING OR CONSTRUCTION RELATED DAMAGES OR DISPLACED CURBS/GUTTER, SIDEWALK, DRIVEWAY APPROACH OR STREET MUST BE REPLACED AND SHOWN ON THE PLANS. ADDITIONAL PUBLIC IMPROVEMENTS MAY BE REQUIRED DURING AND/OR NEAR THE COMPLETION OF CONSTRUCTION PER M.B.M.C. 9.72 AS DETERMINED BY THE PUBLIC WORKS INSPECTOR BASED ON CONDITIONS OF PUBLIC IMPROVEMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, WALLS/FENCES, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIERS.
- NEW 6" VCP SEWER LATERAL WILL BE INSTALLED IF THE EXISTING LATERAL IS LESS THAN 6" IN DIAMETER PER M.B.M.C. 5.36. SEWER CLEANOUT SHOULD BE LOCATED WITHIN PRIVATE PROPERTY LINES. A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL. IF THE DISCHARGES FROM FIXTURES WITH FLOOD LEVEL RISERS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER (PER CITY STANDARD PLAN ST-34).
- IF ANY EXISTING SEWER LATERAL (6" MINIMUM) IS USED, IT MUST BE TELEVIEWED TO CHECK ITS STRUCTURAL INTEGRITY PRIOR TO ANY DEMOLITION WORK. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT AND MUST SHOW PROOF OF THE LOCATION OF WHERE IT WAS SHOT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY SEWER LATERAL NEEDS REPAIRING, REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION. VIDEOING OF LATERAL MUST BE IN ITS ORIGINAL STATE. NO CLEANING, FLUSHING OR ALTERING PRIOR TO VIDEOING IS PERMITTED.
- IF A NEW SEWER LATERAL IS TO BE INSTALLED AT A DIFFERENT LOCATION ON THE SEWER MAIN LINE, THE OLD LATERAL MUST BE CAPPED AT THE PROPERTY LINE AND AT THE MAIN LINE. PRIOR TO STRUCTURE DEMOLITION A SEWER CAP VERIFICATION AND APPROVAL FROM PUBLIC WORKS INSPECTOR IS REQUIRED.
- WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON THE PLANS. SEE CITY STANDARD PLAN ST-15. FOR EXISTING WATER SERVICE RELOCATIONS AND/OR ABANDONMENT, WATER SERVICE MUST BE CAPPED AT THE MAIN AND AT THE METER.
- RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-12 OR C-34 LICENSE FOR ALL TREMCHING AND PAVING OR A CLASS C-08 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK CONSTRUCTED IN CONJUNCTION WITH A SINGLE-FAMILY RESIDENTIAL STRUCTURE. A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.

SYMBOL LEGEND



ABBREVIATION

A.H.	ACTUAL HEIGHT	HT.	HEIGHT
A.W.	AWNING WINDOW	LAND.	LANDING
B.O.W.	BOTTOM OF WALL	LT.WT.	LIGHT WEIGHT CONCRETE
C.H.	CRITICAL HEIGHT	MAX.	MAXIMUM
CLG.	CEILING	MIN.	MINIMUM
CLR.	CLEAR	OP.	OPERABLE
COL.	COLUMN	PLINE.	PROPERTY LINE
CONC.	CONCRETE	REQ.	REQUIRED
C.W.	CASEMENT WINDOW	SECT.	SECTION
DIM.	DIMENSION	S.F.E.	SUB FLOOR ELEVATION
DN.	DOWN	SHT.	SHEET
ELEV.	ELEVATION	SK.	SKEWED
F.A.	FROM ABOVE	SL.	SLOPED
FLR.	FLOOR	T.O.W.	TOP OF WALL
FX.	FIXED		
HORZ.	HORIZONTAL		

MAXIMUM HEIGHT NOTE

PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

SEPARATE PERMIT

CONTRACTOR TO SUBMIT SEPARATE PERMIT APPLICATIONS FOR SHORING, FIRE SPRINKLER SYSTEM, SWIMMING POOL & ENCROACHMENT, SOLAR PANELS.

PLANNING & BUILDING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLANS PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (30" IF OBSTRUCTING DRIVEWAY VISIBILITY, COMBINED RETAINING AND FREE STANDING WALL).
- BUILDING ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.5" - PER SECT. R31-1
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDER-GROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MBC1012.12.030).
- A TREE REMOVAL PERMIT OR TREE PROTECTION PLAN IS REQUIRED FOR THE REMOVAL OR PRESERVATION OF TREES WITHIN THE FRONT YARD (RESIDENTIAL ZONES, AREA DISTRICT II, WEST OF SEPULVEDA BOULEVARD-MBMC 10.52.120).
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: CBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCROACH INTO THE REQUIRED PARKING OR VEHICLE MANUEVERING AREA.)

PROJECT DATA

PROPERTY OWNERS

JEFF SHANE
221 36TH STREET
MANHATTAN BEACH, CA.
(310) 913 2320
SHANELTD1@GMAIL.COM

LEGAL DESCRIPTION

PORTION LOT 14
BLOCK 40
PECK'S MANHATTAN BEACH TRACT 2
M.B. 10-37
APN 4175-025-020

OCCUPANCY AND ZONING

OCCUPANCY: R3U
ZONING: RH
CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLERED

AREA DISTRICT: III
NO. OF UNITS: 1
NO. OF STORIES: 3
SPRINKLERED: YES

CITY, STATE, NATIONALLY APPLICABLE CODES

2022 CRC, 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, STATE OF CALIFORNIA, AND THE CITY OF MANHATTAN BEACH

HEIGHT CALCULATIONS

119.56 + 124.49 + 120.73 + 123.57 = 488.35 / 4 = 122.09' + 30' = 152.09'
MAXIMUM ALLOWABLE HEIGHT = 152.09'

ACTUAL HEIGHT = 152.05'

AREA CALCULATIONS

LOT AREA = 1,348 S.F.

FIRST FLOOR	393 S.F.
SECOND FLOOR	816 S.F.
THIRD FLOOR	705 S.F.
TOTAL (LIVING)	1,914 S.F.
GARAGE	369 S.F.
BALCONY AREA	161 S.F.
COVERED FRONT PORCH AREA	55 S.F.

BUILDABLE FLOOR AREA CALC.

ALLOWED B.F.A = 1,348 X 1.70 = 2,292 S.F.

FIRST FLOOR	393 S.F.
SECOND FLOOR	816 S.F.
THIRD FLOOR	705 S.F.
TOTAL	1,914 S.F.

OPEN SPACE CALCULATION

TOTAL BUILDING FLOOR AREA	1,914 S.F.
REQUIRED OPEN SPACE @ 15% OF BFA	300 S.F.
PROVIDED:	
FIRST FLOOR	204 S.F.
SECOND FLOOR	0
THIRD FLOOR	96 S.F.
TOTAL	300 S.F.

SHEET INDEX

G.00	PROJECT INFORMATION
C.01	SURVEY
A.00	AREA CALCULATION SHEET
A.01	SITE PLAN
A.02	FIRST FLOOR AND SECOND FLOOR PLANS
A.03	THIRD FLOOR PLAN AND ROOF PLAN
A.04	ELEVATIONS
A.05	ELEVATIONS
A.06	ELEVATIONS
A.07	SECTIONS
L.01	SUSTAINABLE LANDSCAPE PLAN

PROJECT

SHANE RESIDENCE
225 36TH STREET
MANHATTAN BEACH
CALIFORNIA 90266

STAMP



PROJECT NUMBER

23032

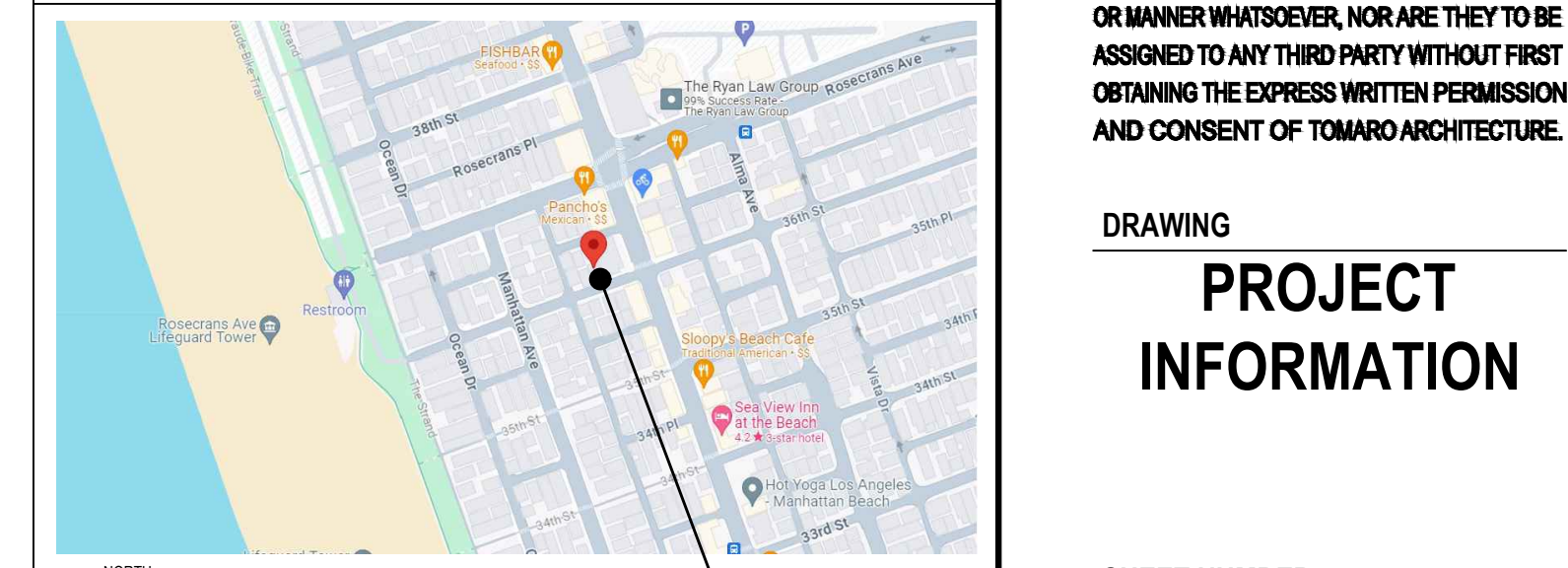
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REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE
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VICINITY MAP



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DRAWING

PROJECT INFORMATION

SHEET NUMBER

G.01

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR
JEFF SHANE
221 36TH STREET
MANHATTAN BEACH, CA 90266
310-913-2320

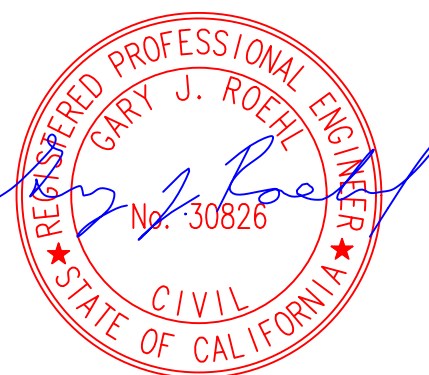
JOB ADDRESS

225 36TH STREET
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION

PORTION LOT 14, BLOCK 40
PECK'S MANHATTAN BEACH TRACT 2
M.B. 10-37
APN 4175-025-020

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS
OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY MW/KW CHECK BY TS

DRAWN ON NOVEMBER 20, 2015

REVISIONS
SETBACK DIMENSIONS DECEMBER 8, 2015
SURVEY UPDATE NOVEMBER 15, 2023

LEGEND

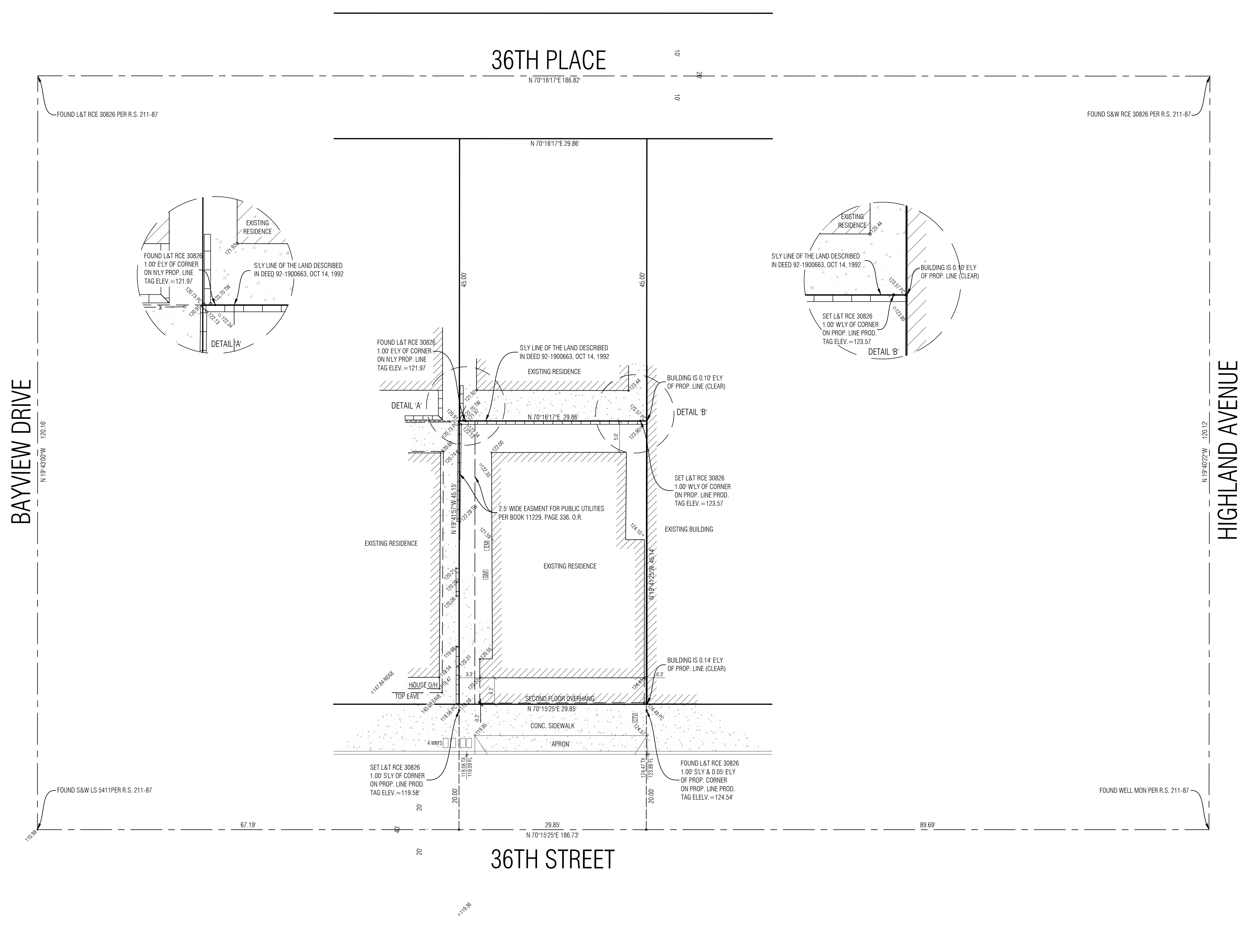
	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+106.76	EXISTING ELEVATION		EXISTING CONTOUR
7'0"	EXISTING BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN	CL	CENTERLINE
C.L.F.	CHAIN-LINK	ELY	EASTERLY
EM	ELECTRIC METER	FD	FOUND
FE	FENCE	FF	FINISH FLOOR
FF	FIRE HYDRANT	FL	FLOW LINE
GFF	GARAGE FINISH FLOOR	GM	GAS METER
GM	GAS METER	GW	GUY WIRE
L&T	LEAD AND TAG	MH	MANHOLE
NLY	NORTHERLY	PC	PROPERTY CORNER / PROP. CORNER
PL, P.A.	PROPERTY LINE / PROP. LINE	PP	POWER POLE
PPI	PARAPET	S&W	SPIKE AND WASHER
S&W	SPIKE AND WASHER	SLY	SOUTHERLY
SPK	SPIKE	SSO	SANITARY SEWER CLEAN OUT
SSO	SANITARY SEWER CLEAN OUT	SSMH	SANITARY SEWER MANHOLE
STK	STAKE	STL	STREET LIGHT
TC	TOP OF CURB	TW	TOP OF WALL / T.O.W.
TX	TOP OF DRIVEWAY APRON	WLY	WESTERLY
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THE PLANS FOR OFFSET
DISTANCES. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION AT:
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

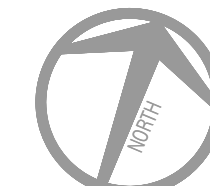
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CONSENT OF DENN ENGINEERS SHALL BE THE RESPONSIBILITY OF DENN ENGINEERS FROM ANY
LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR
MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN
ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

LAWYERS TITLE COMPANY
ORDER NO. 123040261
DATED OCTOBER 31, 2023



SCALE 1" = 8'

C.01

SHEET 1 OF 1
JOB NO. 15-594B



ARCHITECTURE

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MANHATTAN BEACH, CA 90266
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PROJECT

SHANE RESIDENCE
225 36TH STREET
MANHATTAN BEACH
CALIFORNIA 90266

STAMP



PROJECT NUMBER

23032

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REVISIONS

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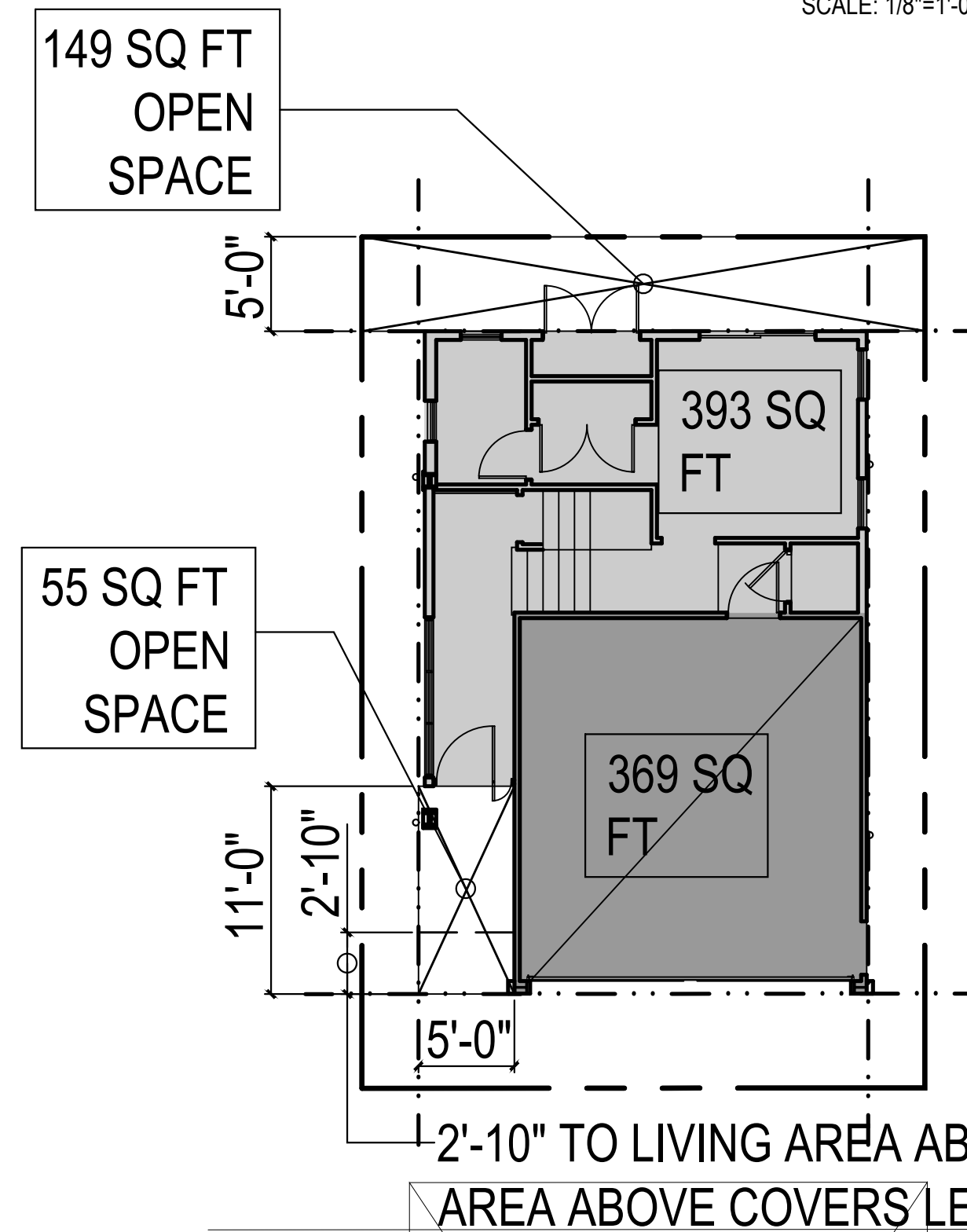
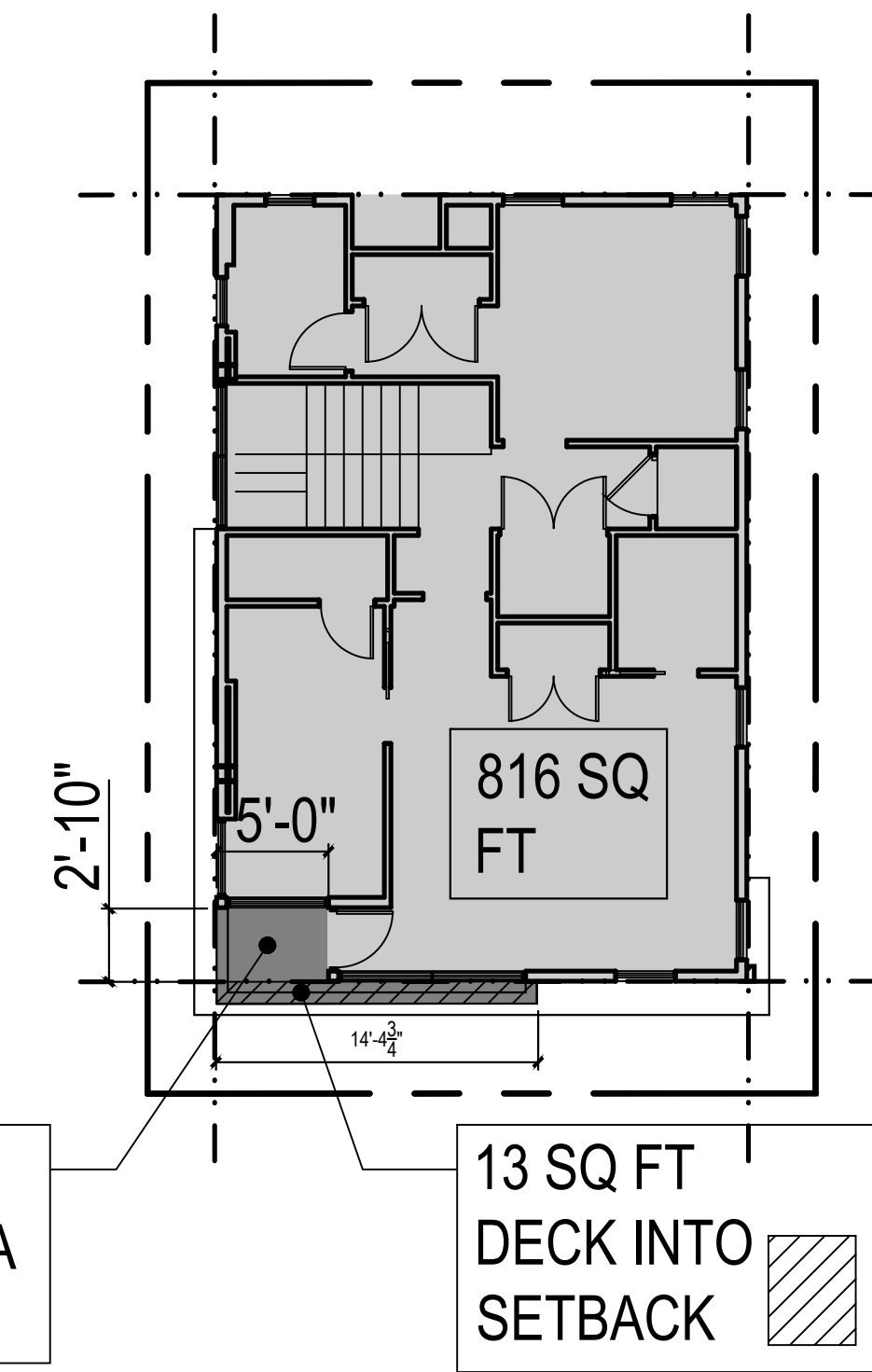
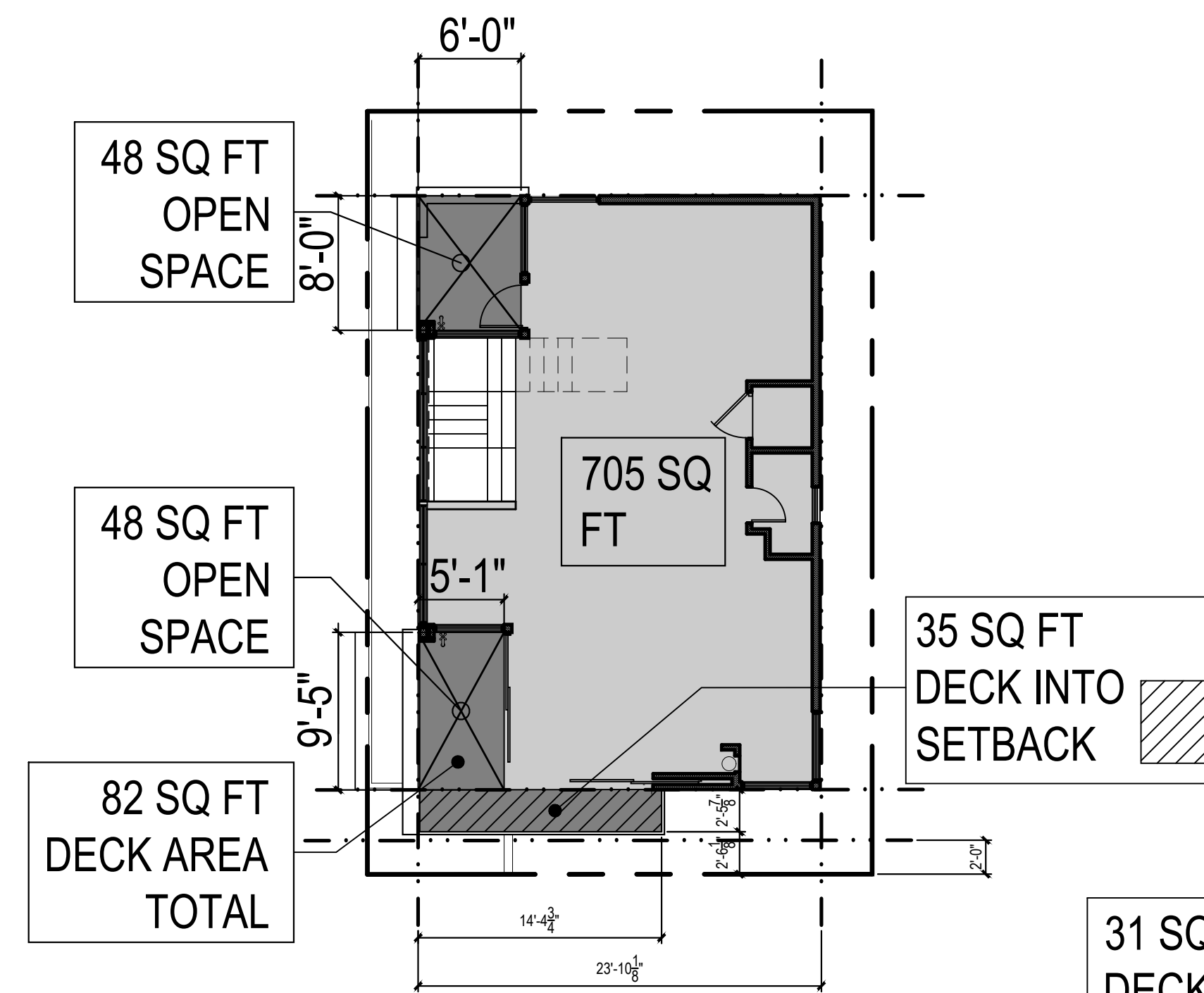
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DRAWING

AREA AND LOT CALCULATIONS

SHEET NUMBER

A.00



DECK AREA FRONT SETBACK

- BALCONY AREA INTO FRONT SETBACK = 2/3 BUILDABLE WIDTH OF LOT X 3'-0" = 15.9 X 3 = 48 S.F.
- BALCONY AREA IN FRONT SETBACK
MASTER DECK = 13 S.F.
GREAT ROOM DECK = 35 S.F.
TOTAL = 48 S.F.

AGGREGATE LENGTHS OF BALCONIES:
AGGREGATE LENGTH ALLOWED IN SETBACK
2/3 OF B.W. ~ 0.67 x 23.84 = 15.97'

- THIRD FLOOR DECK LENGTH = 14.39'
- SECOND FLOOR DECK LENGTH = 14.39'

AREA CALC

LOT SIZE = 1348 S.F.

LIVING AREA CALCCS:
FIRST FLOOR = 393 S.F.
SECOND FLOOR = 816 S.F.
THIRD FLOOR = 705 S.F.
TOTAL LIVING = 1914 S.F.

GARAGE AREA = 369 S.F.
BALCONY AREA = 31 + 48 + 82 = 161 S.F.
COVERED FRONT PORCH AREA = 55 S.F.

B.F.A. CALCULATION

MAX ALLOWABLE B.F.A.: 1348 S.F. X 1.7 = 2292 S.F.

FIRST FLOOR = 393 S.F.
SECOND FLOOR = 816 S.F.
THIRD FLOOR = 705 S.F.
TOTAL B.F.A. = 1914 S.F.

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED:
393 + 816 + 705 = 1914 X .15 = 287 S.F. REQUIRED (300 S.F. MIN. REQ'D)

OPEN SPACE PROVIDED:
FIRST FLOOR = 204 S.F. (55 + 149)
THIRD FLOOR = 96 S.F. (48 + 48)
TOTAL = 300 S.F.

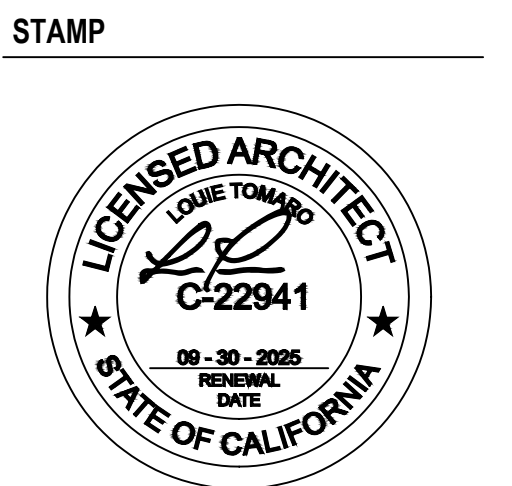
LEGEND

	GARAGE AREA
	DECK INTO SETBACK
	LIVING AREA
	BALCONY/PATIO



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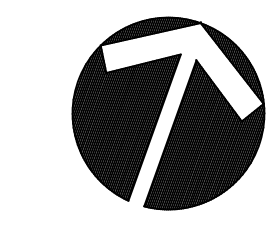
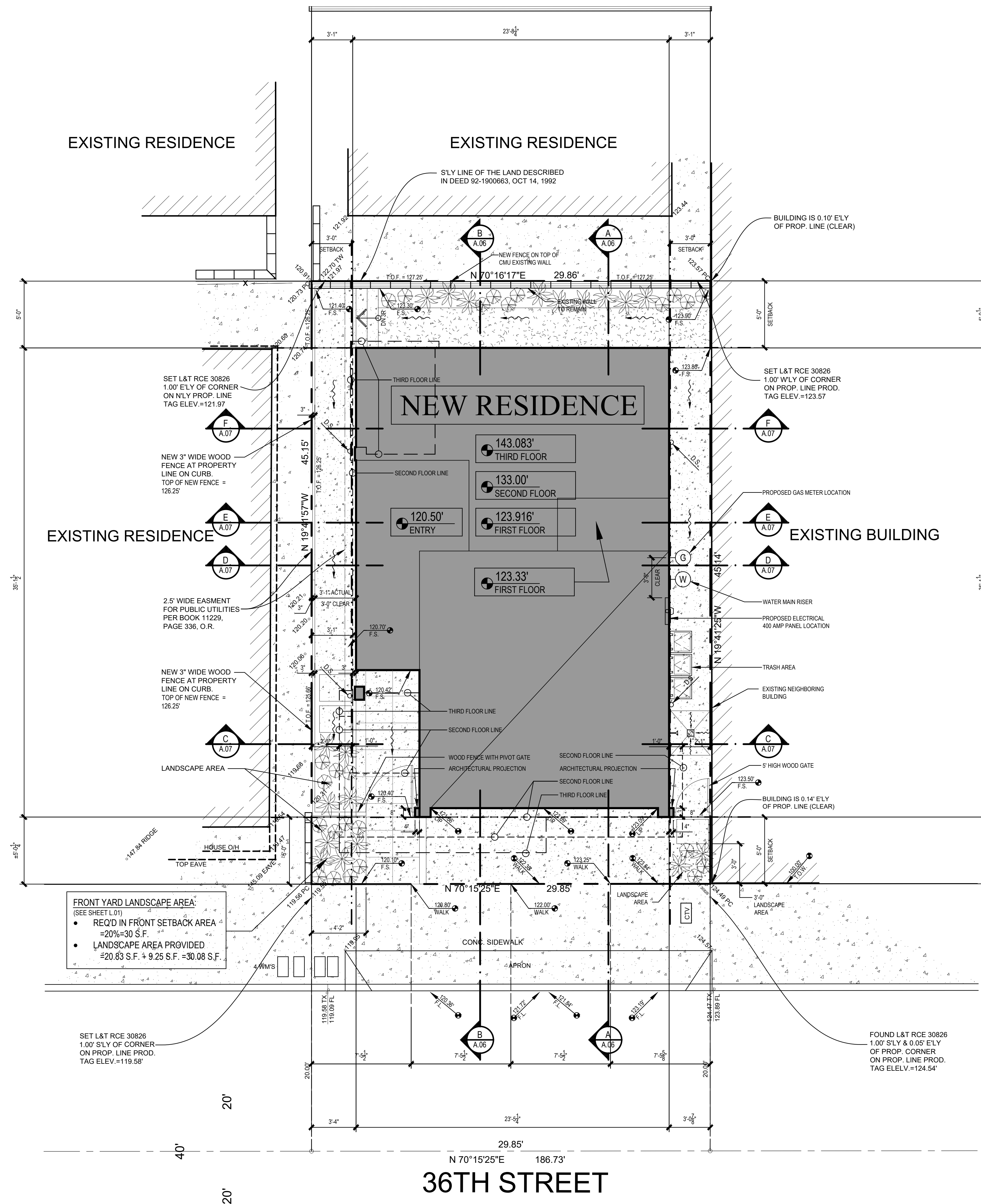
REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE

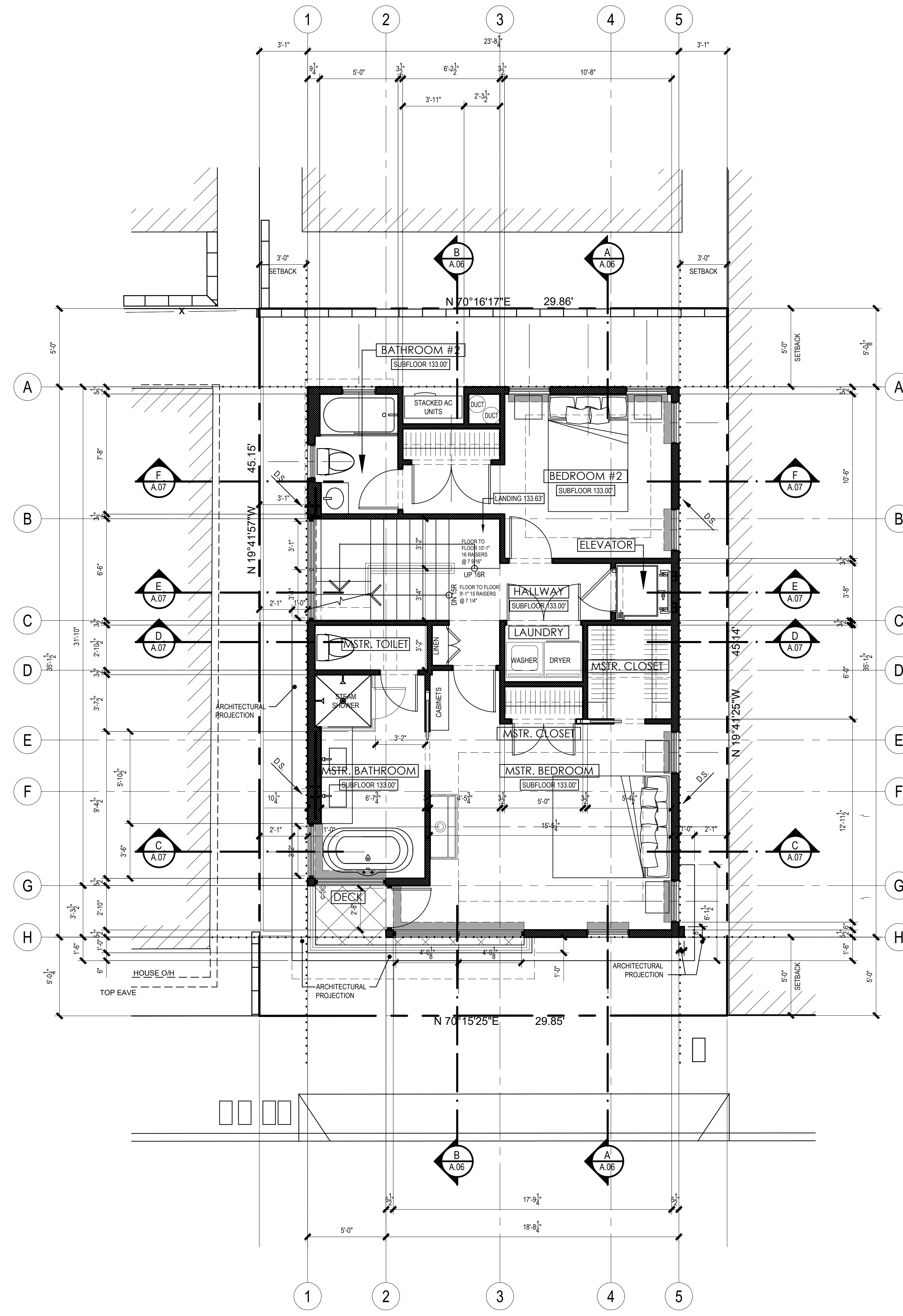
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DRAWING
SITE PLAN

SHEET NUMBER
A.01

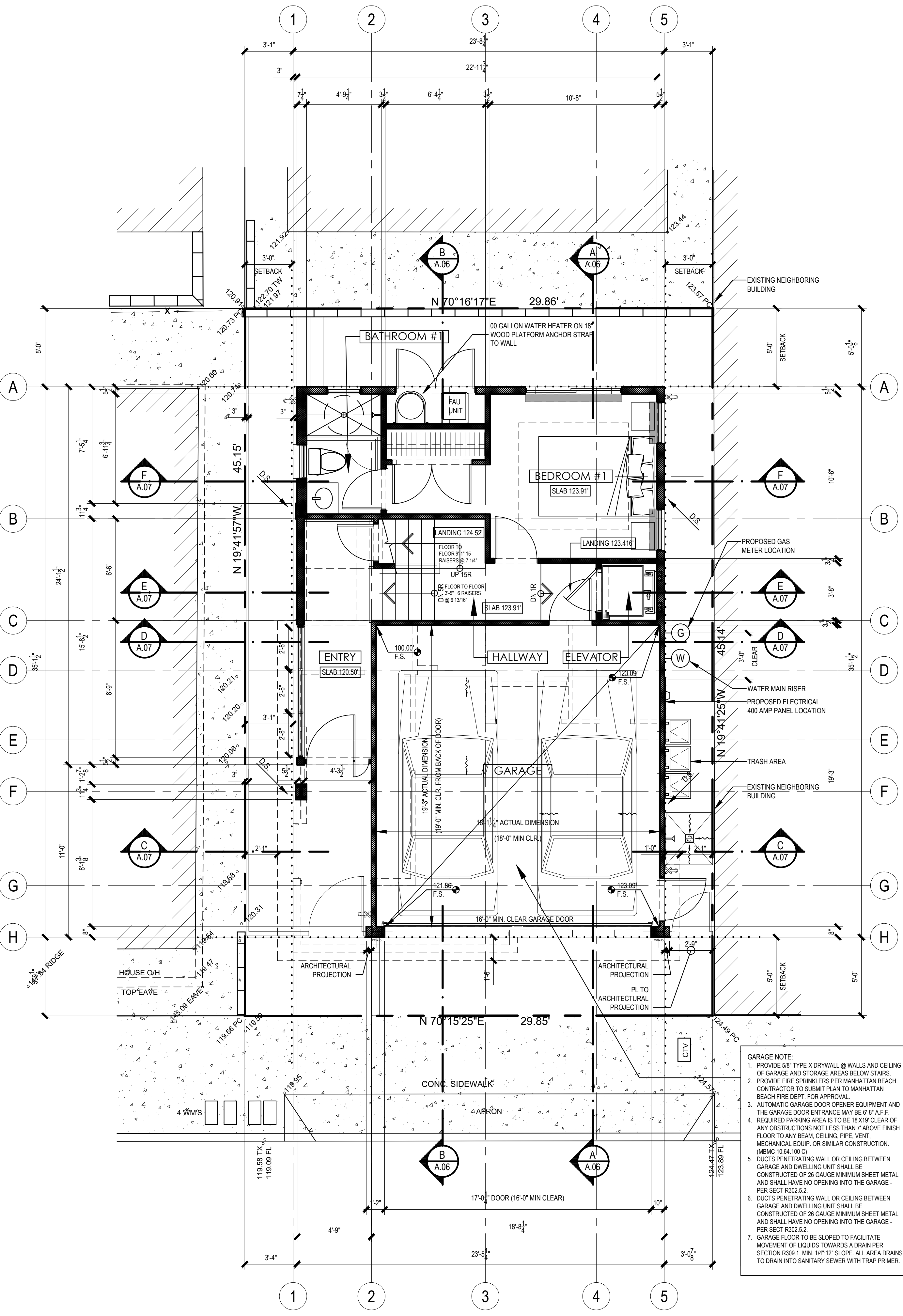


SITE PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

- FLOOR PLAN KEY NOTES**
- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY. DRAIN TO CONNECT TO SANITARY SEWER. PROVIDE TRAP PRIMER AS REQ'D FOR DRAIN.
 - LAUNDRY SINK - SEE INT. DESIGN DRAWINGS.
 - VENT DRYER EXHAUST TO OUTSIDE W/ 1/4" FLEXIBLE DUCT. 14' MAX. LENGTH, W/ MAX. TWO BENDS.
 - UNDER STAIRS TO BE PROTECTED W/ 1 HOUR CONSTRUCTION. PROVIDE 5/8" TYPE-X DRYWALL AT WALLS AND CEILING.
 - MOTORIZED SHADE, PROVIDE POWER.
 - PROVIDE DECK DRAIN W/ 3" DIA. DRAIN LINE TO TIE INTO SITE DRAINAGE THROUGH POSITIVE FLOW. SEE DETAIL.
 - DECK TO HAVE 1/2" SLOPE AND PROVIDE STONE TILE APPLIED WITH THINSET OVER FLOAT BED OVER DEK-O-TEX ICC # ESR-1757 WATERPROOF WALKING DECK SYSTEM (TYPICAL ALL DECKS).
 - PROVIDE 4"x4" SHOWER CURB (CERAMIC TILE FINISH ON CEMENT MORTAR OR THINSET).
 - CERAMIC WALL TILES AT SHOWER WALLS (70" HIGH MINIMUM).
 - FRAMELESS 1/2" THK. TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES.
 - PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS.
 - 30" DIAMETER - MINIMUM INTERIOR CLEAR AT SHOWER AREA.
 - 24"x30" CLEAR AREA IN FRONT OF TOILET.
 - LINE OF SOFFIT (SEE REFLECTED CEILING PLAN).
 - LINE OF SKYLIGHT ABOVE.
 - LINE OF FLOOR ABOVE.
 - SINGLE POLE & SHELF.
 - LINE OF CABINETS ABOVE.
 - BUILT-IN CABINETS.
 - FAUJ FURNACE.
 - 20 MIN. DOOR, SELF-CLOSING, SELF-LATCHING.
 - DISH WASHER.
 - TRASH COMPACTOR.
 - 48" REFR. COMBO.
 - RANGE WITH HOOD ABOVE (GAS).
 - KITCHEN SINK.
 - 36" STONE SLAB COUNTER.
 - FLOOR DRAIN.
 - OVER FLOW DRAIN 2" ABOVE LOWEST POINT OF DECK.
 - TANK TYPE WATER HEATER. SEE SHEETS T24-A AND T24-B FOR SPECIFICATIONS.
 - ELEVATOR-SEE DETAIL (D.O.).
 - ELEVATOR SHAFT TO BE A 1 HOUR FIRE ENCLOSURE. PROVIDE 5/8" TYPE-X DRYWALL ON BOTH SIDES OF WALLS & CLG. ELEVATOR DOORS SHALL BE 1-HOUR FIRE RATED PER IBC SECTION 711.
 - POOL-EQUIPMENT.
 - SEWAGE EJECTOR WITH DUAL PUMP AND WITH ALTERNATE PANEL AND ALARM (SEE SHEET M-01 & CIVIL PLANS).
 - SUMP PUMP - SEE CIVIL PLANS.
 - 42" HIGH RAILING. SEE DETAIL (D.O.).
 - GAS BURNING FIREPLACE BY FLARE FIREPLACES (D.O.).
 - 400 AMP ELECTRIC SERVICE PANEL (D.O.).
 - TRASH AREA W/ CONCRETE BASE (D.O.).
 - ELECTRIC VEHICLE CHARGING SYSTEMS AND TEMPORARY STORAGE IMPROVEMENTS (WALL MOUNTED SHELVES OR CABINETS) MAY ENCRUCH INTO THE VERTICAL CLEARANCE, PROVIDED A MINIMUM 4.5 FEET VERTICAL CLEARANCE IS MAINTAINED ABOVE THE FINISHED FLOOR OF THE GARAGE WITHIN THE FRONT 5 FEET OF A PARKING SPACE. (MIMC 10.64.100 C, NOT REQUIRED FOR STORAGE).
 - 30"x30" ATTIC ACCESS.
 - 1"x6" SPANISH CEDAR EXTERIOR SIDING.

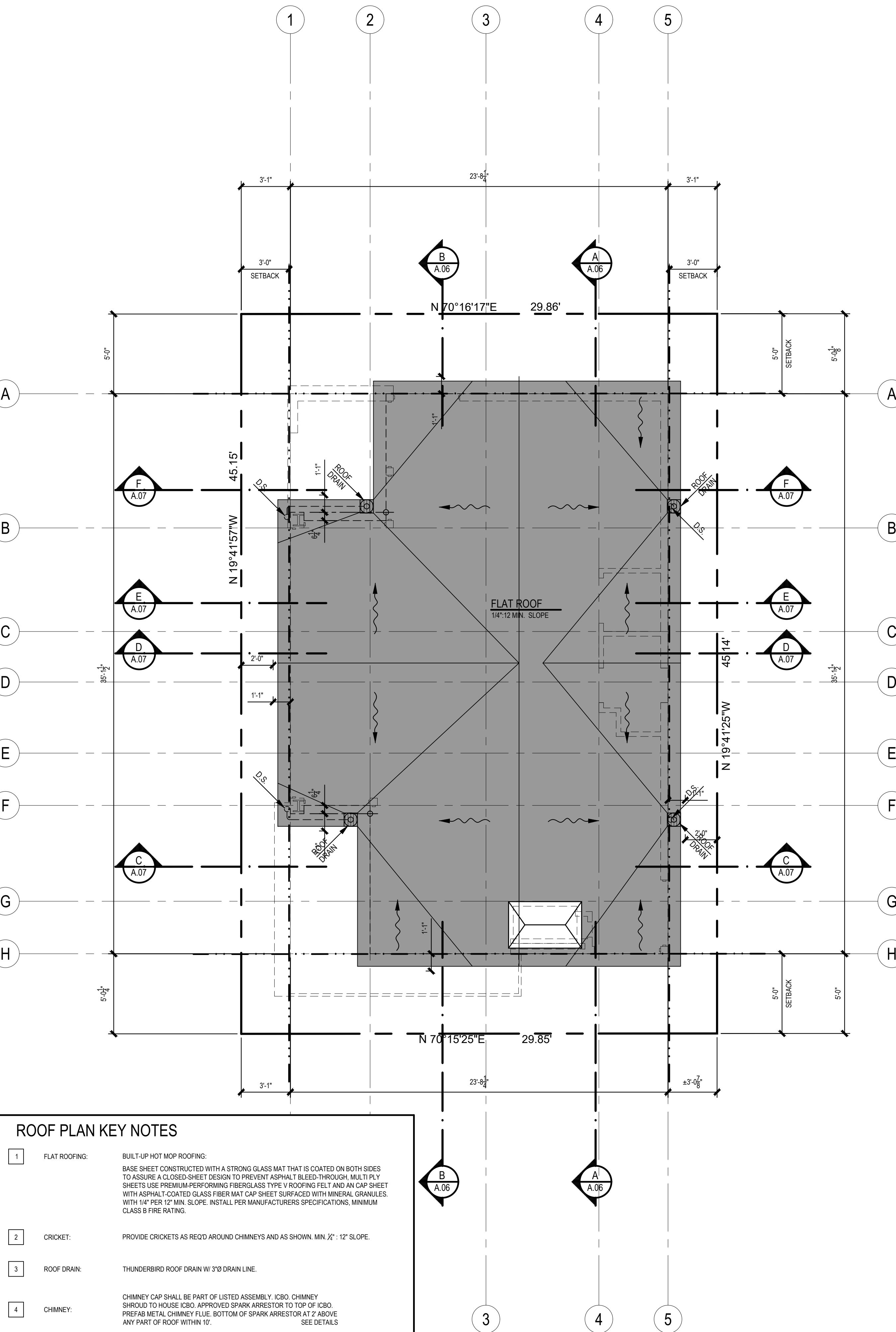


FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



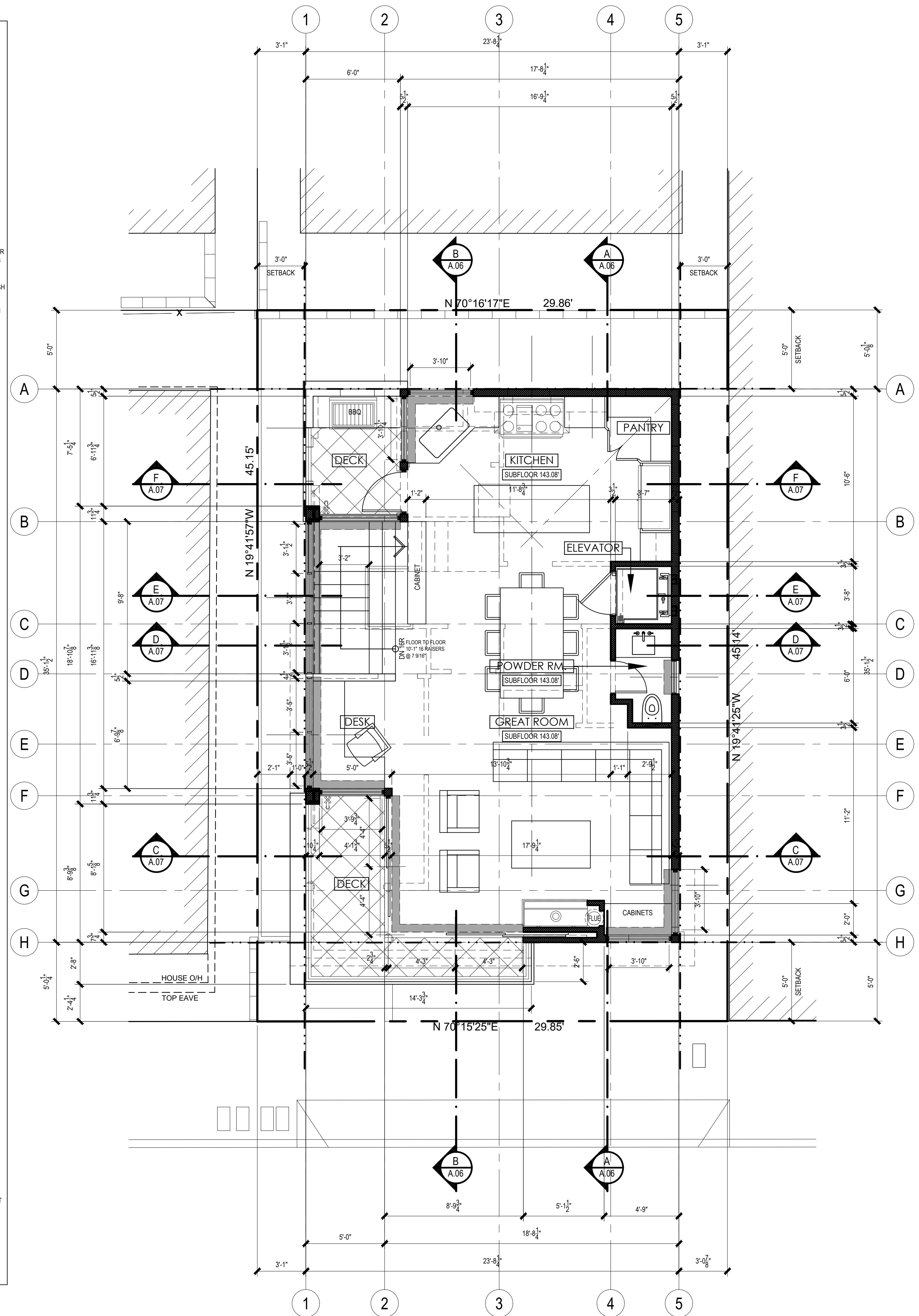
FLOOR PLAN KEY NOTES

- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY. DRAIN TO CONNECT TO SANITARY SEWER. PROVIDE TRAP PRIMER AS REQ'D FOR DRAIN.
- LAUNDRY SINK - SEE INT. DESIGN DRAWINGS
- VENT DRYER EXHAUST TO OUTSIDE W/ 1/4" FLEXIBLE DUCT. 14" MAX. LENGTH, W/ MAX. TWO BENDS.
- UNDER STAIRS TO BE PROTECTED W/ 1 HOUR CONSTRUCTION. PROVIDE 5/8" TYPE-X DRYWALL AT WALLS AND CEILING.
- MOTORIZED SHADE, PROVIDE POWER.
- PROVIDE DECK DRAIN W/ 3" DIA. DRAIN LINE TO TIE INTO SITE DRAINAGE THROUGH POSITIVE FLOW. SEE DETAIL.
- DECK TO HAVE 1/2" SLOPE AND PROVIDE STONE TILE APPLIED WITH THINSET OVER FLOAT BED OVER DEK-O-TEX ICC # ESR-1757 WATERPROOF WALKING DECK SYSTEM. (TYPICAL ALL DECKS).
- PROVIDE 4"x4" SHOWER CURB (CERAMIC TILE FINISH ON CEMENT MORTAR OR THINSET)
- CERAMIC WALL TILES AT SHOWER WALLS (70" HIGH MINIMUM)
- FRAMELESS 1/2" THK. TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES
- PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS
- 30" DIAMETER - MINIMUM INTERIOR CLEAR AT SHOWER AREA
- 24"x30" CLEAR AREA IN FRONT OF TOILET
- LINE OF SOFFIT (SEE REFLECTED CEILING PLAN)
- LINE OF SKYLIGHT ABOVE
- LINE OF FLOOR ABOVE
- SINGLE POLE & SHELF
- LINE OF CABINETRY ABOVE
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- FAUJ FURNACE
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- RANGE WITH HOOD ABOVE (GAS)
- KITCHEN SINK
- 36" STONE SLAB COUNTER
- FLOOR DRAIN
- OVER FLOW DRAIN 2" ABOVE LOWEST POINT OF DECK
- TANK TYPE WATER HEATER. SEE SHEETS T24-A AND T24-B FOR SPECIFICATIONS
- ELEVATOR-SEE DETAIL (D.0)
- ELEVATOR SHAFT TO BE A 1 HOUR FIRE ENCLOSURE. PROVIDE 5/8" TYPE X DRYWALL ON BOTH SIDES OF WALLS & C.L.G. ELEVATOR DOORS SHALL BE 1-HOUR FIRE RATED PER IBC SECTION 711.
- POOL-EQUIPMENT
- SEWAGE EJECTOR WITH DUAL PUMP AND WITH ALTERNATE PANEL AND ALARM (SEE SHEET M-01 & CIVIL PLANS)
- SUMP PUMP - SEE CIVIL PLANS
- 42" HIGH RAILING. SEE DETAIL (D.0)
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- 400 AMP ELECTRIC SERVICE PANEL
- TRASH AREA W/ CONCRETE BASE
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- 30"x30" ATTIC ACCESS
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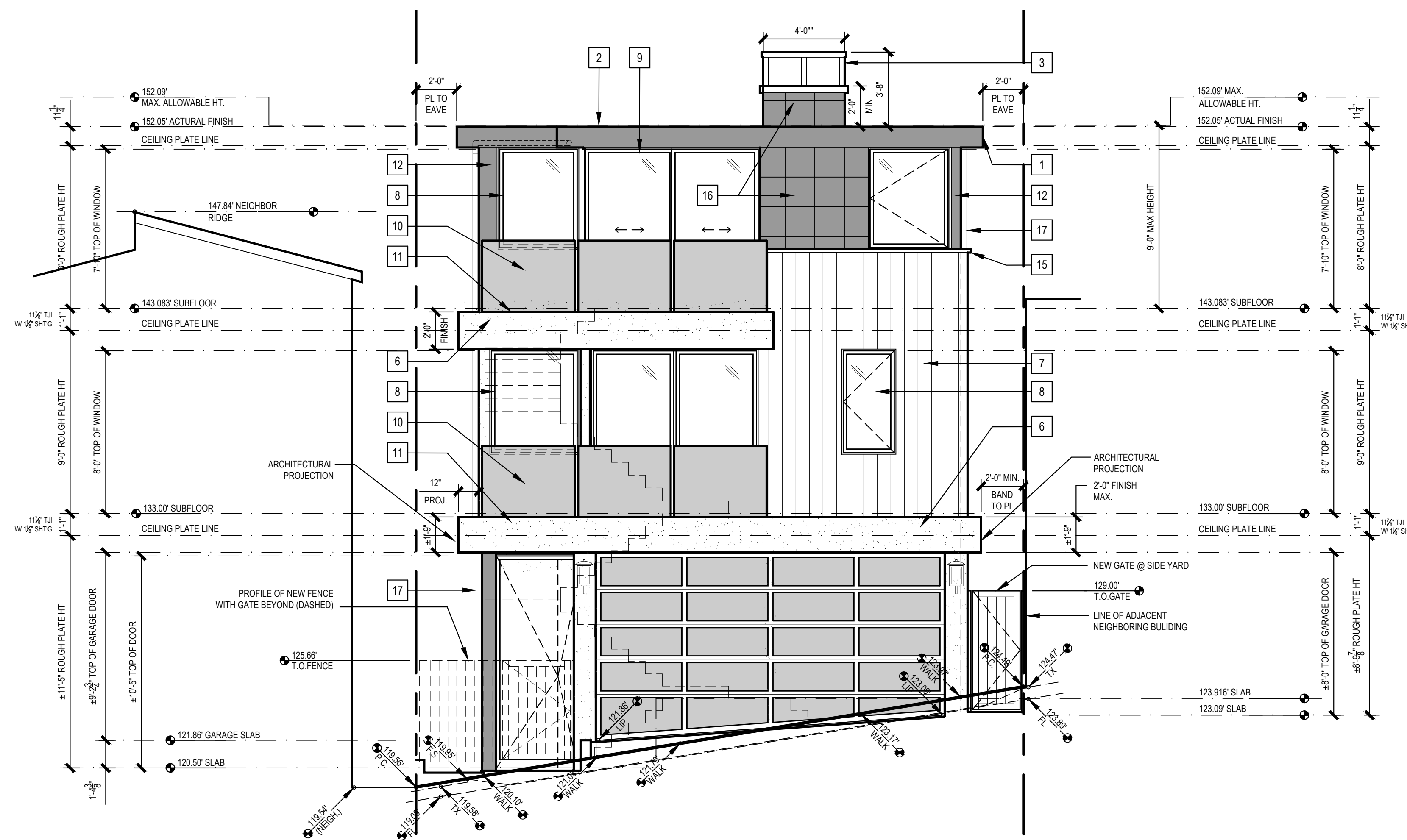


- ROOF PLAN KEY NOTES**
- FLAT ROOFING: BUILT-UP HOT MOP ROOFING. BASE SHEET CONSTRUCTED WITH A STRONG GLASS MAT THAT IS COATED ON BOTH SIDES TO ASSURE A CLOSED-SHEET DESIGN TO PREVENT ASPHALT BLEED-THROUGH. MULTI PLY SHEETS USE PREMIUM-PERFORMING FIBERGLASS TYPE V ROOFING FELT AND AN CAP SHEET WITH ASPHALT-COATED GLASS FIBER MAT CAP SHEET SURFACED WITH MINERAL GRANULES. WITH 1/4" PER 12" MIN. SLOPE. INSTALL PER MANUFACTURERS SPECIFICATIONS. MINIMUM CLASS B FIRE RATING.
 - CRICKET: PROVIDE CRICKETS AS REQ'D AROUND CHIMNEYS AND AS SHOWN. MIN. 1' : 12' SLOPE.
 - ROOF DRAIN: THUNDERBIRD ROOF DRAIN W/ 3" DRAIN LINE.
 - CHIMNEY: CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICBO. CHIMNEY SHROUD TO HOUSE ICBO. APPROVED SPARK ARRESTOR TO TOP OF ICBO. PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2' ABOVE ANY PART OF ROOF WITHIN 10'. SEE DETAILS
- NOTES:
1. ALL ROOF DRAINAGE TO BE CONNECTED INTO SITE DRAINAGE LINE. REFER TO SITE PLAN FOR PERTINENT INFORMATION.

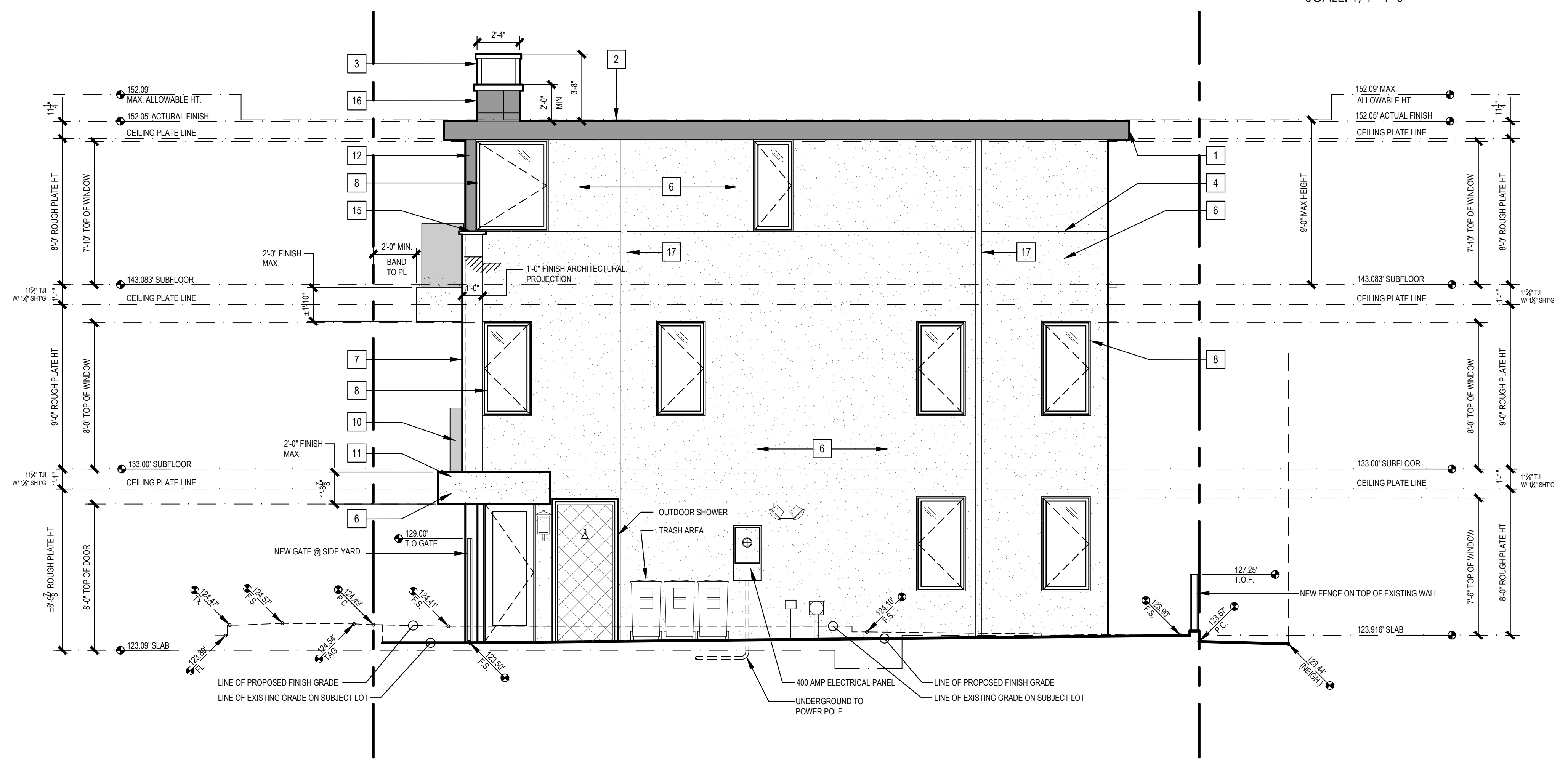
ROOF PLAN
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

MAXIMUM HEIGHT NOTE
1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

EXTERIOR FINISH NOTES

1	EAVES:	BONDERIZED METAL FASCIA (ARCHITECT TO APPROVE COLOR). SEE DETAIL.
2	FLAT ROOFING:	BUILT-UP HOT MOP ROOFING. SEE ROOF PLAN ON SHEET A.0... FOR MORE DETAILS.
3	CHIMNEY:	CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICBO. CHIMNEY SHOULD TO HOUSE 1/2" APPROVED SPARK ARRESTOR TO TOP OF 1/2" PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2' ABOVE ANY PART OF ROOF WITHIN 10'.
4	STUCCO REGLET	STUCCO REVEAL CHANNEL SCAFFED BY FRY REGLET (MODEL PCS-75-1007)
5	STONE VENEER:	STONE VENEER ATTACHED TO STUCCO BROWN COAT SEE DETAIL. (ARCHITECT TO APPROVE SELECTION).
6	STUCCO:	SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #4 COOLER NAILS @ 8" O.C. OWNER TO SELECT COLOR.
7	VERTICAL WOOD SIDING:	TRESPA INTERLOCKING WOOD VENEER INSTALLED OVER MFG. RECOMMENDED RAIN SCREEN. PROVIDE WOOD CORNER OR MITER. ARCHITECT TO APPROVE SAMPLE PRIOR TO INSTALLATION.
8	WINDOWS:	SEE WINDOW SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
9	DOORS:	SEE DOOR SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
10	DECK RAILING:	1/2" LAMINATED GLASS RAILING SET IN OR LAURENCE BASE SHOE (ICC-ES ESR # 3269 AND ESR-3842). SEE DETAIL.
11	DECK SURFACE:	DEXOTEX (ICC-ES ESR # 1757) OR APPROVED EQUAL WATERPROOF-WALKING SURFACE OVER EXTERIOR GRADE PLYWOOD WITH STONE SURFACE OVER.
12	CLAD METAL VENEER:	BONDERIZED METAL VENEER ATTACHED SECURELY TO BUILDING (ARCHITECT TO APPROVE COLOR).
13	LIGHTING:	EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS.
14	FENCE AT PROPERTY LINE	2" STEEL FRAME GATE W/ 1X6 WOOD VENEER OVER. SEE DETAIL.
15	LEDGE:	PRECAST CONCRETE LEDGE WITH TAPER AWAY FROM WALL AND OR DECK.
16	METAL PANELS:	BONDERIZED METAL PANELS (ARCHITECT TO APPROVE COLOR).
17	DOWNSPOUTS:	BONDERIZED METAL DOWNSPOUTS. (ARCHITECT TO APPROVE COLOR).

1. PROVIDE #15 FELT PAPER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.
2. PROVIDE TWO LAYERS OF #15 FELT PAPER OVER ALL EXTERIOR SHEAR WALLS.

TOMARO ARCHITECTURE

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CALIFORNIA 90266



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DRAWING
ELEVATIONS

SHEET NUMBER
A.04

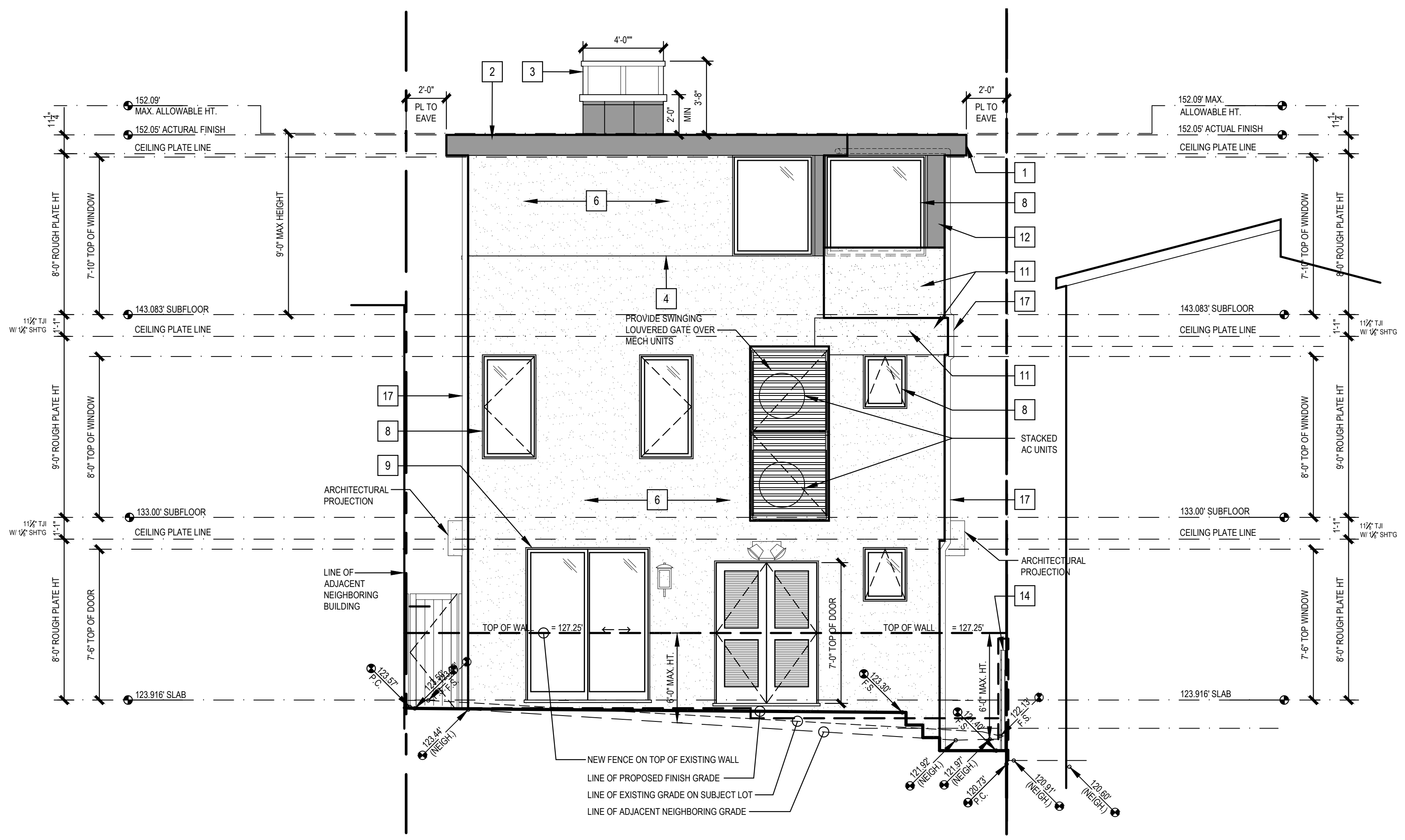
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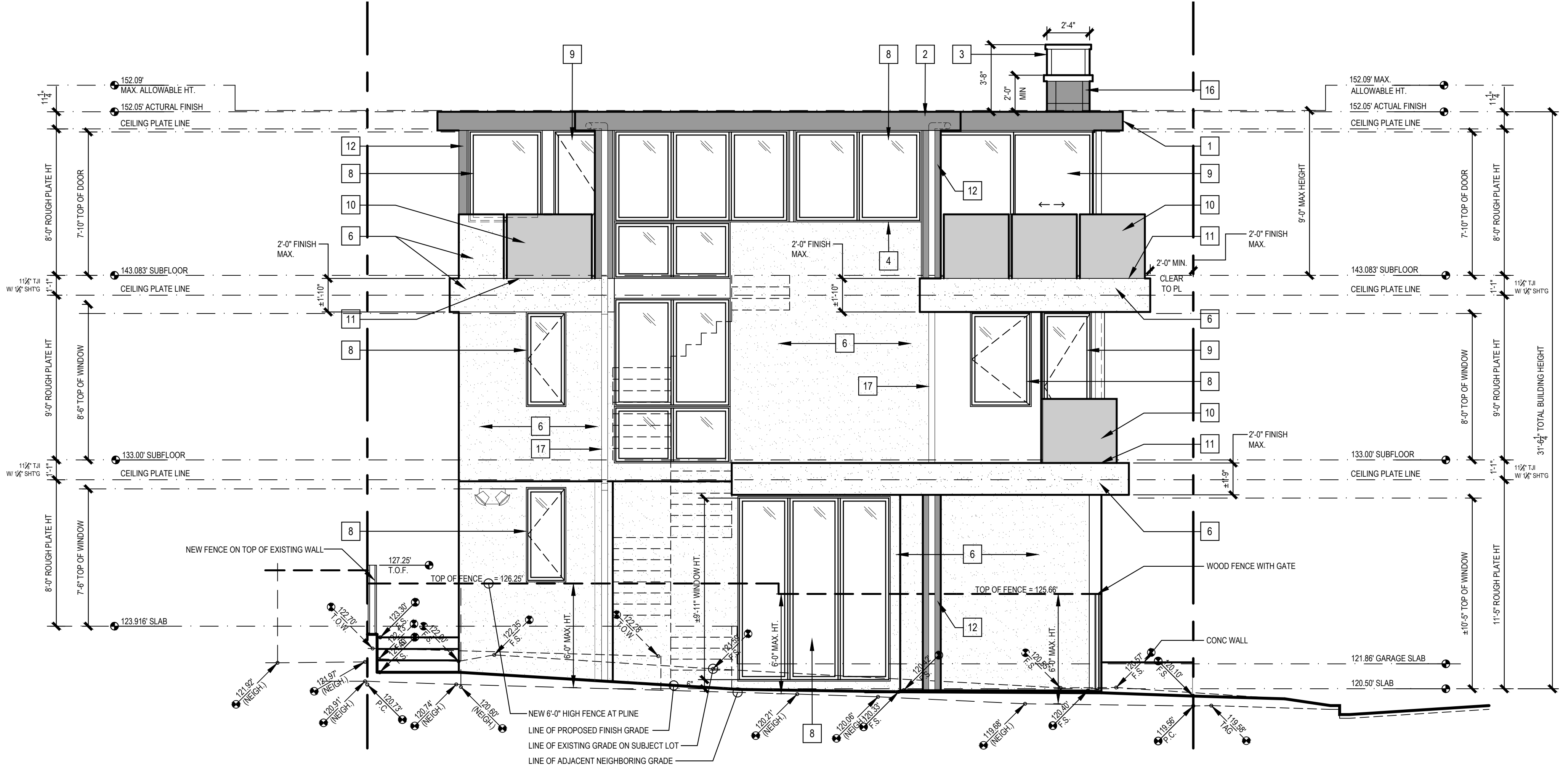
EXTERIOR FINISH NOTES

1	EAVES:	BONDERIZED METAL FASCIA (ARCHITECT TO APPROVE COLOR). SEE DETAIL.
2	FLAT ROOFING:	BUILT-UP HOT MOP ROOFING. SEE ROOF PLAN ON SHEET A.0... FOR MORE DETAILS.
3	CHIMNEY:	CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICBO CHIMNEY SHOULD TO HOUSE ICBO APPROVED SPARK ARRESTOR TO TOP OF ICBO PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2' ABOVE ANY PART OF ROOF WITHIN 10'.
4	STUCCO REGLET	STUCCO REVEAL CHANNEL SCREENED BY FRY REGLET (MODEL PCS-75-1007)
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8	WINDOWS:	SEE WINDOW SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
9	DOORS:	SEE DOOR SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
10	DECK RAILING:	1/2" LAMINATED GLASS RAILING SET IN OR LAURENCE BASE SHOE (ICC-ES ESR # 3269 AND ESR-3842). SEE DETAIL.
11	DECK SURFACE:	DEXOTEX (ICC-ES ESR # 1757) OR APPROVED EQUAL WATERPROOF-WALKING SURFACE OVER EXTERIOR GRADE PLYWOOD WITH STONE SURFACE OVER.
12	CLAD METAL VENEER:	BONDERIZED METAL VENEER ATTACHED SECURELY TO BUILDING (ARCHITECT TO APPROVE COLOR).
13	LIGHTING:	EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS.
14	FENCE AT PROPERTY LINE	2" STEEL FRAME GATE W/ 1/2" WOOD VENEER OVER. SEE DETAIL.
15	LEDGE:	PRECAST CONCRETE LEDGE WITH TAPER AWAY FROM WALL AND OR DECK.
16	METAL PANELS:	BONDERIZED METAL PANELS (ARCHITECT TO APPROVE COLOR).
17	DOWNSPOUTS:	BONDERIZED METAL DOWNSPOUTS. (ARCHITECT TO APPROVE COLOR).

1. PROVIDE #15 FELT PAPER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.
2. PROVIDE TWO LAYERS OF #15 FELT PAPER OVER ALL EXTERIOR SHEAR WALLS.



NORTH ELEVATION
SCALE: 1/4"=1'-0"



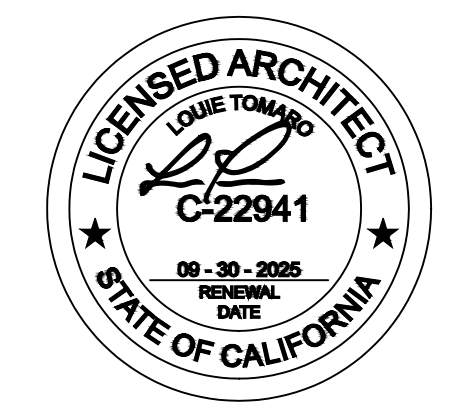
WEST ELEVATION
SCALE: 1/4"=1'-0"

TITLE 24 ENERGY NOTES

1. THE BUILDING DESIGN MEETS THE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 24 PART 6.
2. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.
3. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
4. ALL PARTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
5. DUCTS SHALL BE INSULATED TO A MINIMUM INSTALLED VALUE OF R-4.2.
6. CONTRACTOR SHALL POST THE INSTALLATION CERTIFICATE (CF-6R) FORM AND INSULATION CERTIFICATE (IC-1) FORM IN A CONSPICUOUS LOCATION OF KEPT WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR.
7. CONTRACTOR SHALL PROVIDE COPIES OF THE CALIFORNIA GUIDE TO HOME COMFORT AND ENERGY SAVINGS, CF-1R, MF-1R, CF-6R, AND IC-1 FORMS TO THE BUILDING OWNER.
8. AN APPROVED H.E.R.S. PROVIDER AND CERTIFIED RATER SHALL CONDUCT THE FIELD VERIFICATION AND DIAGNOSTIC TESTING.
9. CONTRACTOR SHALL PROVIDE A CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-4R), SIGNED AND DATED BY THE HERS RATER TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION.

INSULATION NOTES

- 2X4 FLAT STUD WALLS:
- 2X4 EXTERIOR WALLS:
- 2X6 EXTERIOR WALLS:
- 2X FLOOR UNDER DECK:
- TJI FLOOR JOIST:
- TJI ROOF JOIST / RAFTERS:



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DRAWING
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SHEET NUMBER
A.05



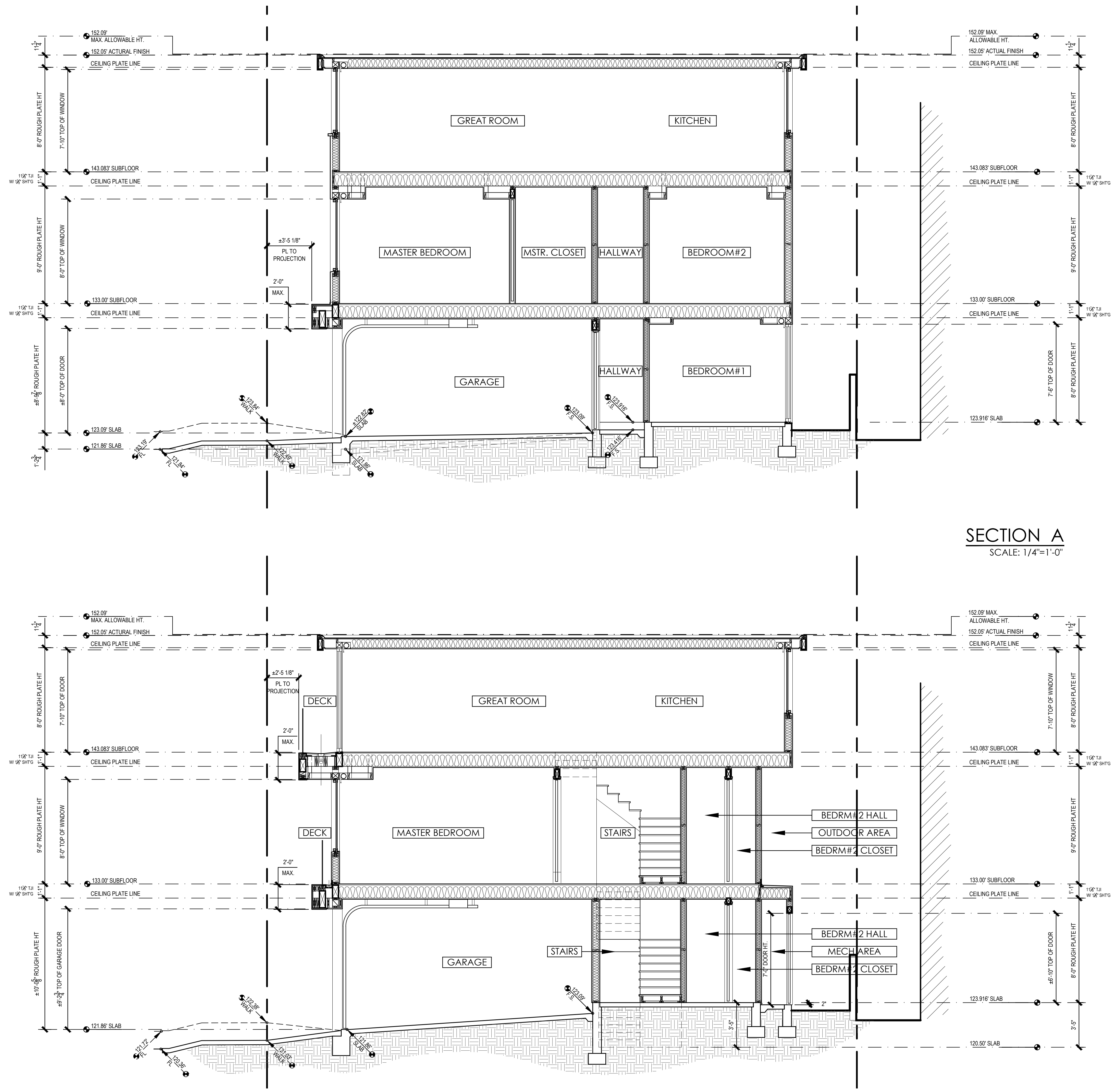
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STAMP

CONSTRUCTION NOTES

- LATH, PLASTER, AND DRYWALL TO CONFORM TO THE REQUIREMENTS OF THE CBC CHAPTER 25.
- ALL EXTERIOR WALLS TO HAVE #15 FELT PAPER UNDER WIRE LATH.
- PROVIDE TWO LAYERS OF #15 FELT UNDER ALL REQUIRED SHEAR WALLS PRIOR TO LATH AND STUCCO, AND ONE LAYER OF #15 FELT UNDER ALL OTHER WALLS PRIOR TO LATH AND STUCCO.
- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
- ALL FIBERGLASS TUB/SHOWER SHALL SHOW IAPMO APPROVAL NUMBER.
- ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE.
- ALL TOILETS TO BE LOW FLOW (1.6 GFLUSH), SHOWERHEADS (2.5 GPM), FAUCETS (2.2 GPM).
- MASONRY AND FACTORY BUILT FIREPLACES SHALL HAVE THE FOLLOWING:
 - TIGHT FITTING GLOUSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX (THIS REQUIREMENT MAY BE OMITTED IF SUCH DOORS WOULD INTERACT WITH DEVICES PERMANENTLY INSTALLED IN THE FIREPLACE WHICH ARE DESIGNED TO INCREASE THE CIRCULATION OF HEAT).
 - TIGHT FITTING FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL. (TITLE 24-2-532(D)).
 - A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST 6 SQ. IN. AREA AND EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT FITTING DAMPER.
- INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING TO BE 3/8" MAX. (SECTION 2505.1-2505.1 CBC).
- SKYLIGHT NOTES:
 - SKYLIGHT TO BE DOUBLE INSULATED LAMINATED GLASS. VELUX OR EQUAL. FIELD VERIFY SLOPE AND SIZE PRIOR TO FABRICATION. PROVIDE GRAY 77% TINT TO SKYLIGHT. UNIT TO BE MULLED TOGETHER BY MANUFACTURER. (IF THE UNIT IS A MULLED UNIT) FRAME TO BE BRONZE ANODIZED ALUMINUM.
- PROVIDE NO LESS THAN 1 S.F. OF ATTIC VENTILATION FOR EVERY 150 S.F. OF ATTIC AREA.
- PROVIDE NO LESS THAN 1 S.F. OF UNDER FLOOR VENTILATION FOR EVERY 150 S.F. OF UNDER FLOOR AREA.
- PROVIDE A WEEP SCREED BELOW FOUNDATION LINE AT 2" ABOVE PAVED AREAS ON EXTERIOR STUD WALLS AND AT 4" ABOVE EARTH. WEEP SCREED TO BE MIN. 26 GAUGE CORROSION RESISTANT.
- ALL SHOWERS OR TUBSHOWERS TO HAVE CERAMIC TILE TO 70" ABOVE SHOWER DRAIN.
- PROVIDE 2" MINIMUM (1" FOR EXTERIOR CHIMNEYS) CLEAR AIR SPACE BETWEEN CHIMNEY AND WOOD CONSTRUCTION.
- FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS SHALL BE PROVIDED WITH AN ACCESS PANEL OR UTILITY SPACE NOT LESS THAN TWELVE (12) INCHES (305 MM) IN ITS LEAST DIMENSION AND SO ARRANGED WITHOUT OBSTRUCTIONS AS TO MAKE SUCH CONNECTIONS ACCESSIBLE FOR INSPECTION AND REPAIR. (CPC 404.2)
- ALL EXTERIOR JOINTS PENETRATIONS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED.
- INSTALLATION OF APPROVED ENERGY EFFICIENT SHOWER HEADS, FAUCETS AND WATER HEATERS ARE REQUIRED.
- PROVIDE A WEEP SCREED BELOW FOUNDATION LINE AT 2" ABOVE PAVED AREAS ON EXTERIOR STUD WALLS AND AT 4" ABOVE EARTH. WEEP SCREED TO BE MIN. 26 GAUGE CORROSION RESISTANT.
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- OSB IS NOT AN ACCEPTABLE SUBSTITUTE FOR CDX PLYWOOD AT EXTERIOR DECKS OR UNDER HARDWOOD VENEER FLOORING.
- 20 CONDUIT UNDER DRIVEWAY OR PARKING LOT TO BE UNDER TWO FT. OF COVER. NEC ARTICLE 300-5 AS IT OCCURS.
- A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS [465.2 UPC].
- EXTERIOR STAIRS AND BALCONIES MUST BE POSITIVELY ATTACHED TO THE STRUCTURE WITHOUT THE USE OF TOENAILS OR NAILS IN WITHDRAWAL.
- ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL. (PERMANENT IF TEMPERED) AS SAFETY GLAZING. GLAZING IN ALL DOORS BATH AND SHOWER ENCLOSURES. ALL GLAZING WITHIN A 24" ARC OF A DOOR EDGE. PANELS OVER 9 S.F. HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE THE FLOOR AND ALL GLAZING IN HAND RAILS.
- PROVIDE 2" CLEAR FROM MASONRY FIREPLACE TO ALL WOOD FRAMING.
- CONTROL VALVES FOR SHOWERS AND TUB-SHOWER SHALL BE OF THE PRESSURE-BALANCE OR THERMOSTATIC-MIXING VALVE TYPE. (CPC SEC 410.7). PROVIDE SOLAR PHOTOVOLTAIC AS REQUIRED BY PRESCRIPTIVE OR PERFORMANCE ENERGY COMPLIANCE. SOLAR PANELS SHALL COMPLY WITH HEIGHT LIMITS PRESCRIBED BY THE ZONING CODE. ADD A NOTE TO THE PLANS THAT SOLAR PHOTOVOLTAIC MUST BE INSTALLED PRIOR TO APPROVAL OF FINAL INSPECTION AND PRIOR TO OCCUPANCY OF THE BUILDING.
- PROVIDE SOLAR PHOTOVOLTAIC AS REQUIRED BY PRESCRIPTIVE OR PERFORMANCE ENERGY COMPLIANCE. SOLAR PANELS SHALL COMPLY WITH HEIGHT LIMITS PRESCRIBED BY THE ZONING CODE. ADD A NOTE TO THE PLANS THAT SOLAR PHOTOVOLTAIC MUST BE INSTALLED PRIOR TO APPROVAL OF FINAL INSPECTION AND PRIOR TO OCCUPANCY OF THE BUILDING.
- UNDERGROUND UTILITIES REQUIRED (MBMC § 12.050). ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEM, AND SIMILAR SERVICE WIRES AND CABLES THAT PROVIDE DIRECT SERVICE TO NEW MAIN BUILDINGS, NEW ACCESSORY BUILDINGS, AND STRUCTURES, SHALL BE INSTALLED UNDERGROUND.
- PROVIDE A 36-INCH DEEP BY EQUIPMENT WIDTH (30-INCH MINIMUM) BY SIX-FOOT SIX-INCH HIGH CLEAR UNOBSTRUCTED WORK AREA FROM THE FACE OF THE ELECTRICAL PANEL TO THE FINISHED SURFACE OF ANY ADJACENT RETAINING WALL/SHOWING PROPERTY LINE WALL OR FENCE. PLEASE BE ADVISED THAT THIS REQUIREMENT MAY REQUIRE A WIDER SIDE YARD SETBACK THAN THE ZONING CODE REQUIRES. (CEC 110.26(A))
- ALL ABOVE-GROUND EXTERIOR CONDUIT MUST BE RIGID GALVANIZED STEEL OR SCHEDULE 80 SUNLIGHT RESISTANT NON-METALLIC CONDUIT. (MBMC § 12.050)
- ALL CONDUCTORS SHALL BE OF COPPER. (MBMC § 12.060)
- PROJECTIONS BEYOND THE EXTERIOR WALL SHALL HAVE A MINIMUM FIRE SEPARATION DISTANCE OF 24 INCHES. PROJECTIONS LESS THAN 3 FEET FIRE SEPARATION DISTANCE SHALL BE 1-HOUR FIRE RATED ON THE UNDERSIDE. (TABLES R302.1(1) & 302.1(2) CRC)
- EGRESS FROM HABITABLE LEVELS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR SHALL BE BY MEANS OF A STAIRWAY OR RAMP OR BOTH. FOR HABITABLE LEVELS OR BASEMENTS MORE THAN ONE STORY ABOVE OR BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM THAT LEVEL SHALL NOT EXCEED 90 FEET. (R311.4 CRC, § 1006.3 CBC)
- THE EGRESS DOOR SHALL BE A SIDE-HINGED SWINGING DOOR AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. (R311.2 CRC, § 1010.1.2 CBC)
- EGRESS DOORS SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING UNIT WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. ADD NOTE TO PLANS. (R311.2 CRC, § 1010.1.9 CBC)
- PROVIDE A FLOOR OR LANDING ON EACH SIDE OF EVERY EXTERIOR DOOR. LANDING SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR DOOR WHICHEVER IS GREATER AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES. (R311.3 CRC, § 1010.1.6 CBC)



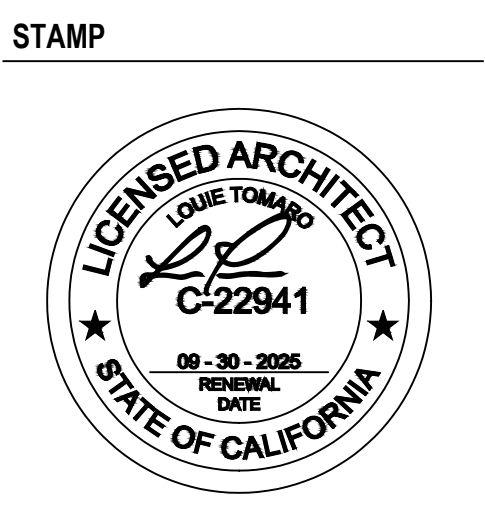
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SECTION B
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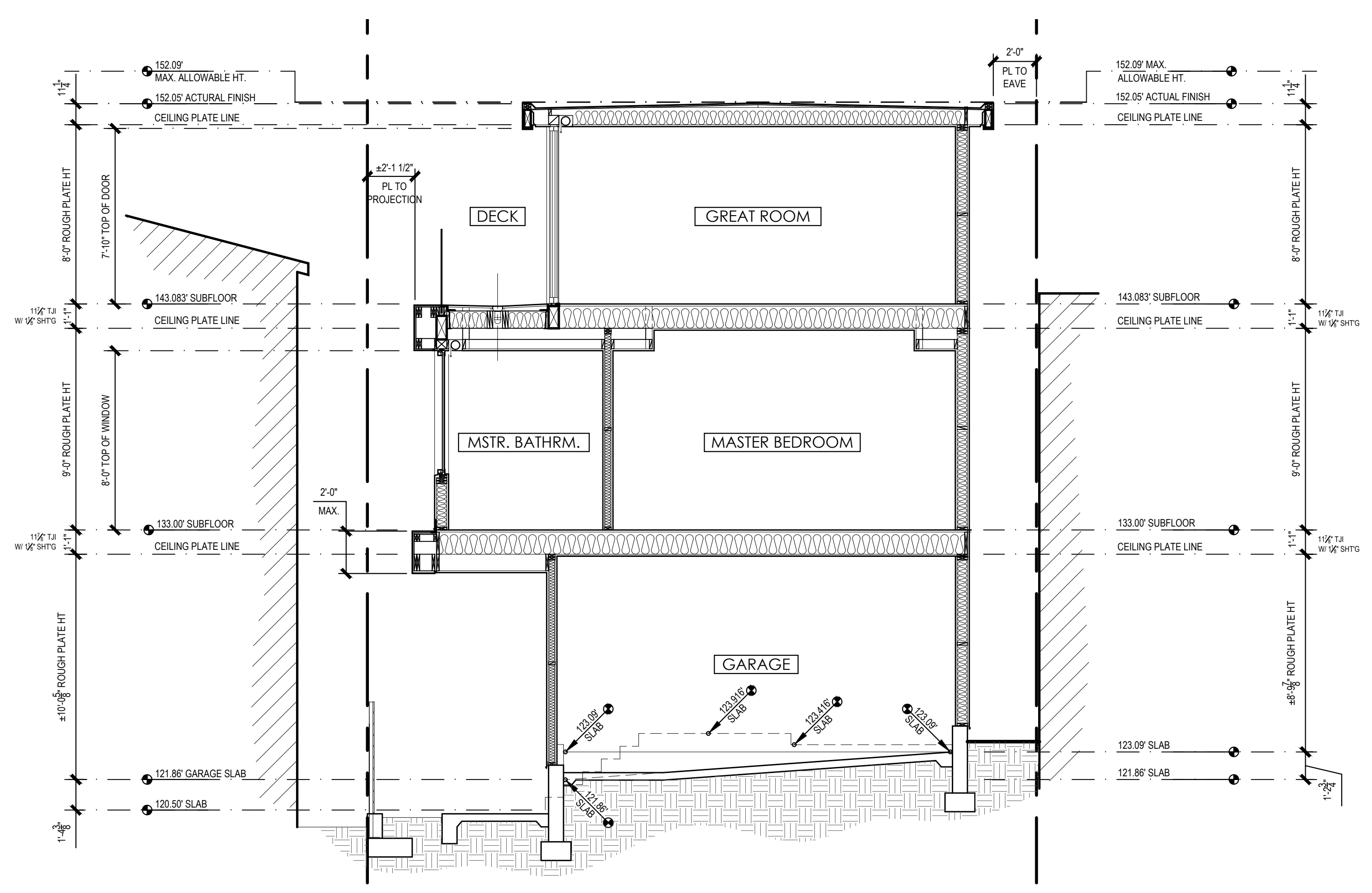
REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE

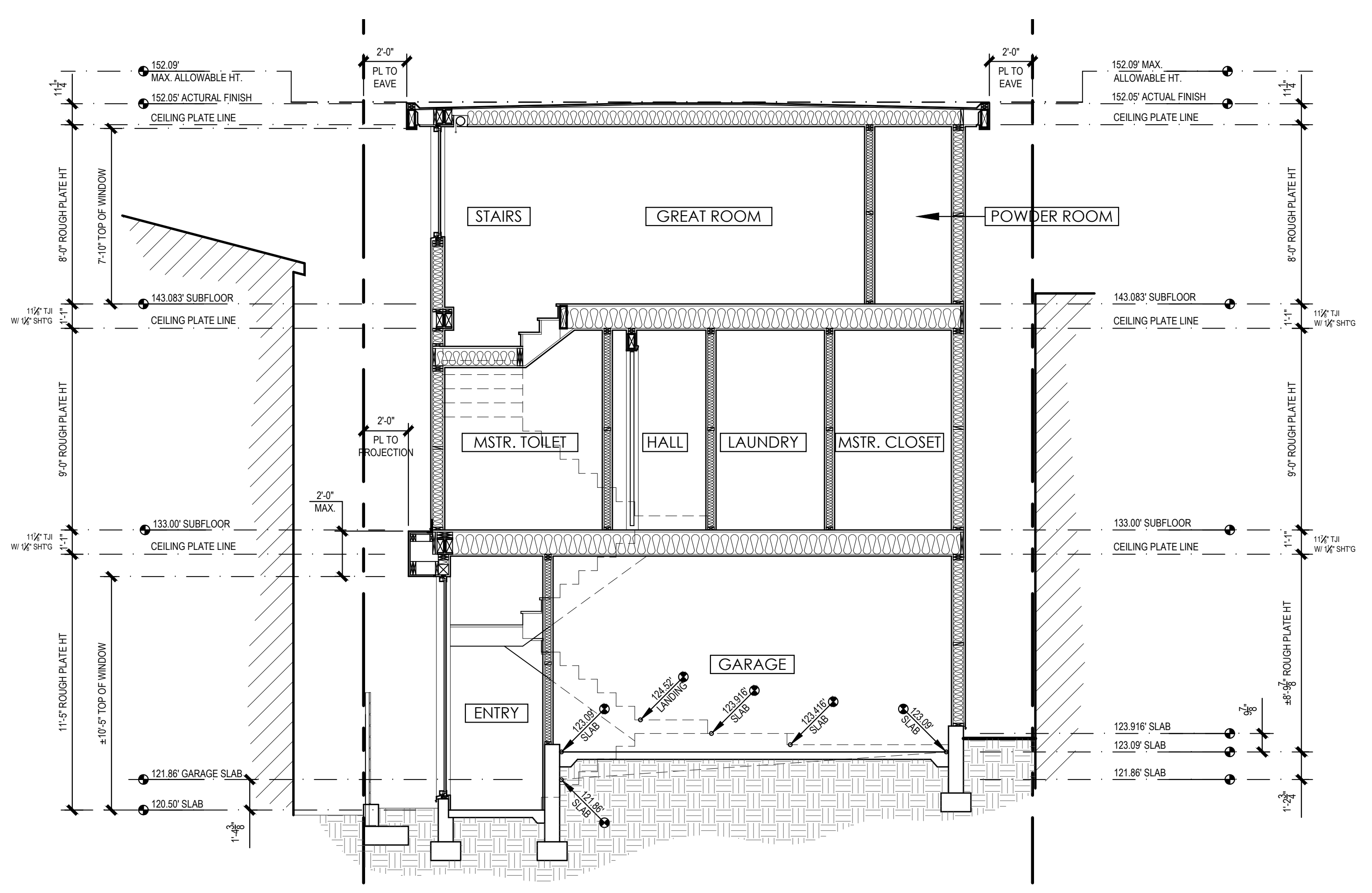
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DRAWING
SECTIONS

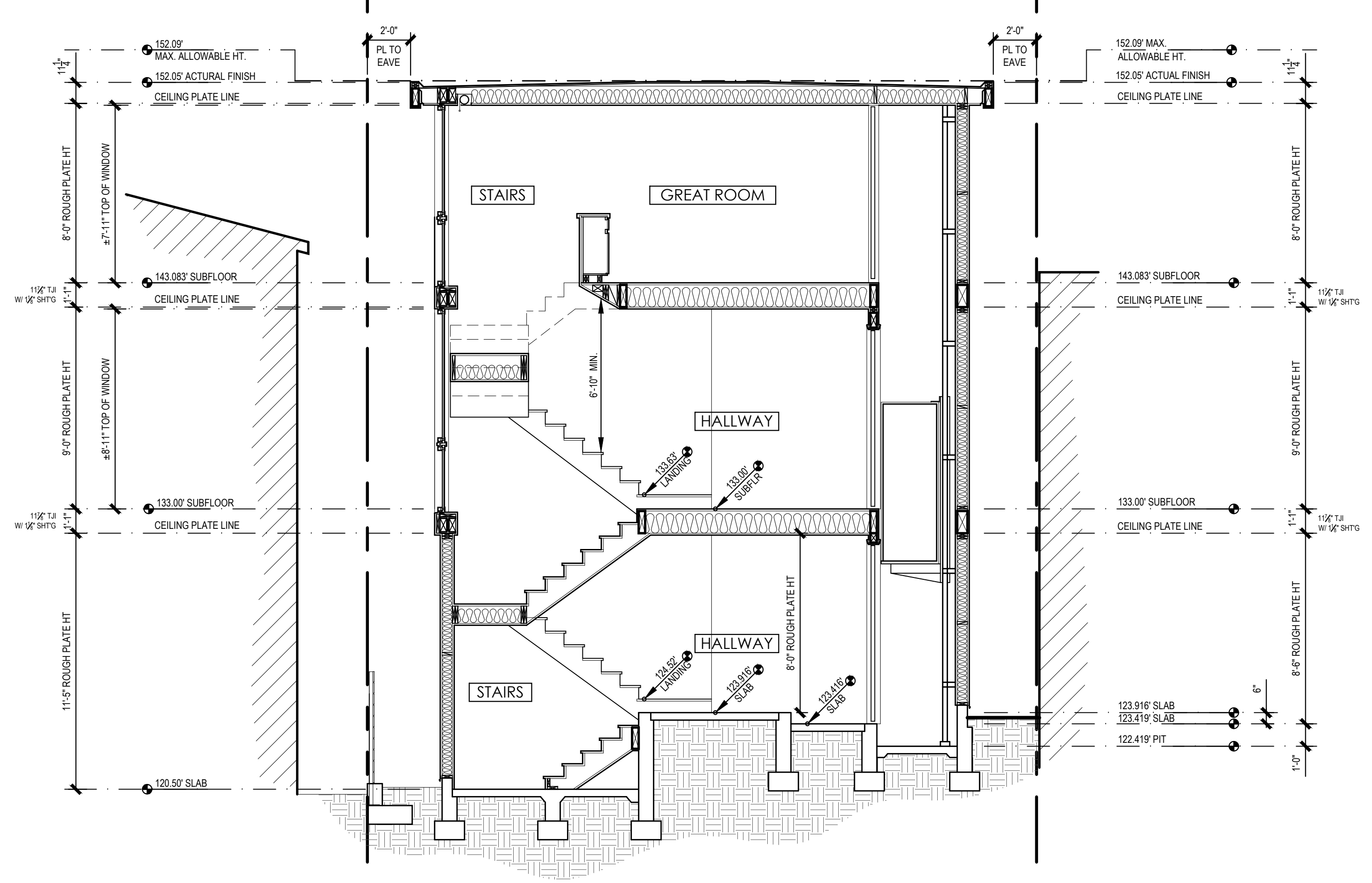
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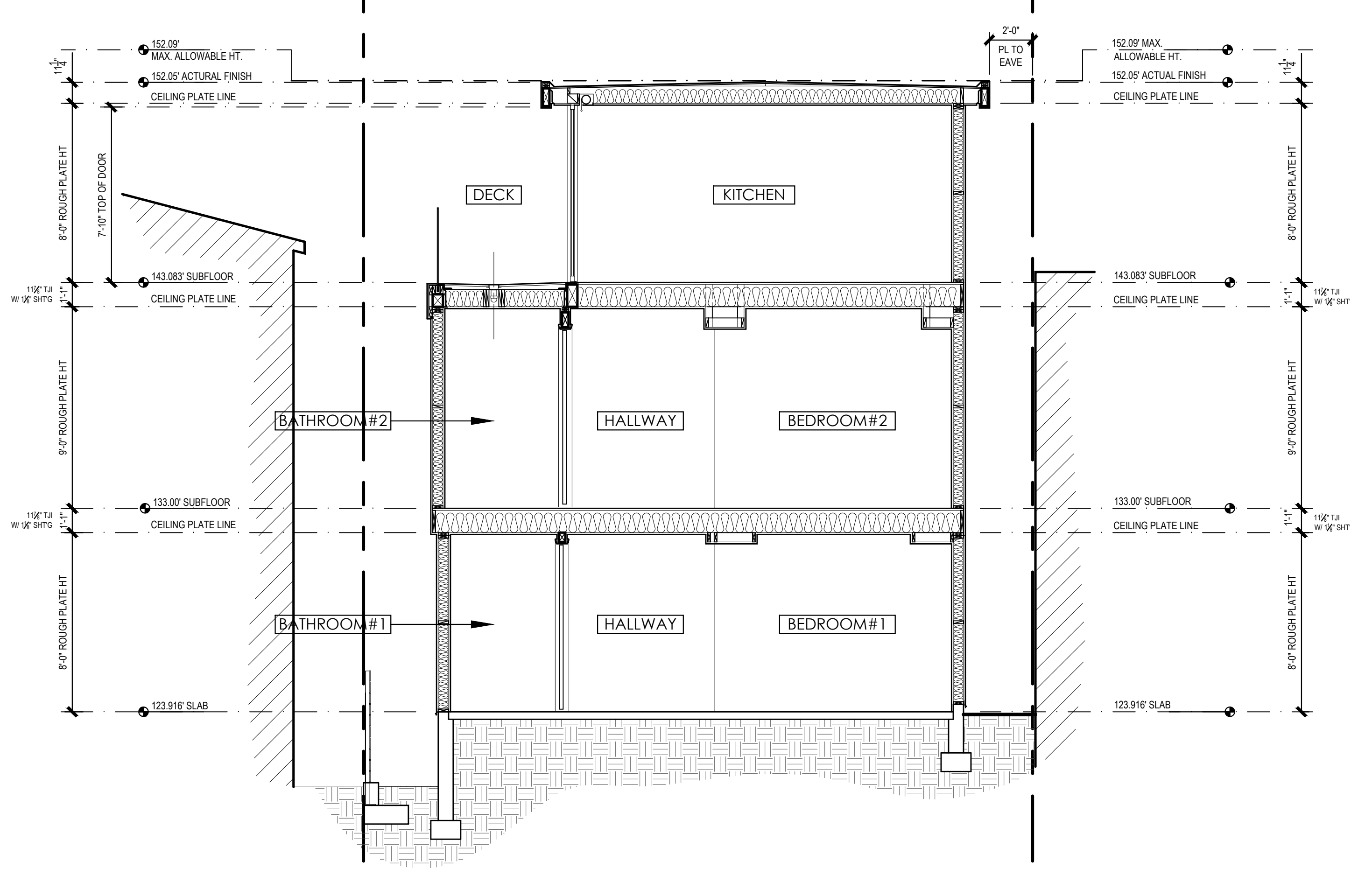
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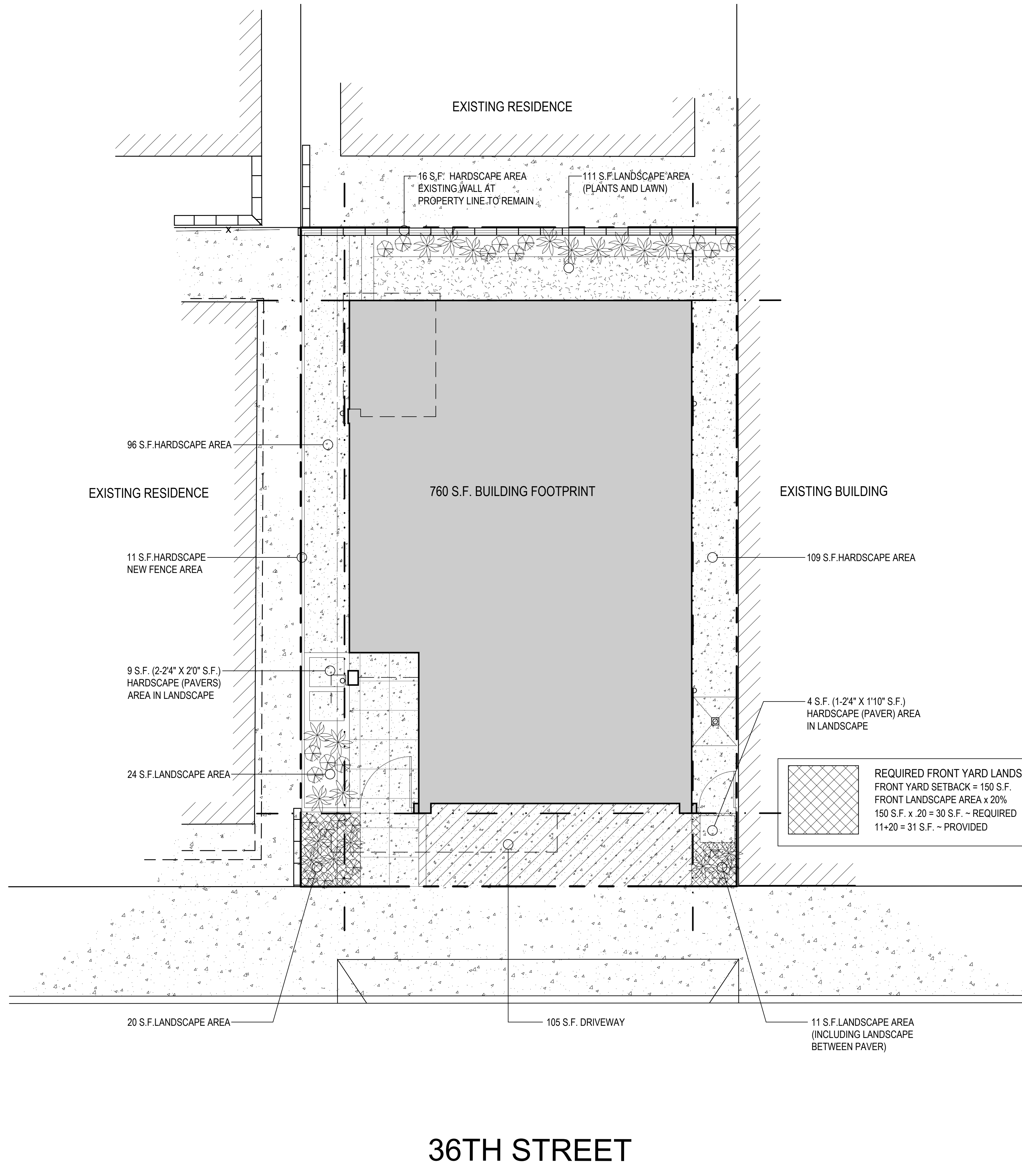
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SECTION E
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SECTION F
SCALE: 1/4"=1'-0"



PLANTING LIST				
SYMBOL	BOTANICAL NAME	QUANTITY	SIZE	WUCOLS CLASS
	KALANCHOE THYRSIFLORA	34	1g	L
	CORDYLINE 'FESTIVAL GRASS'	26	1g	L/M
	ARTIFICIAL TURF	11 S.F.		M
	GRASS	75 S.F.		M

NOTES:

- ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.

LOT SQUARE FOOTAGE: 1348 S.F.
 BUILDING FOOTPRINT: 760 S.F.
 DRIVEWAY: 105 S.F.

HARDSCAPE AREA:
 LOT S.F.-BUILDING FOOTPRINT-DRIVEWAY
 1348-760-105= 483 S.F.

MAX. AREA OF HIGH WATER USE PLANTS:
 = 483 X 20% = 96.6 S.F.

(ALL PLANTS USED ARE LOW OR MEDIUM WATER USE PLANTS)

HARDSCAPE AREA:
 FRONT YARD+SIDES YARD+BACK YARD
 105+4+109+16+96+11+9+72 = 422 S.F.

LANDSCAPE AREA:
 FRONT YARD+SIDES YARD+BACK YARD
 11+20+24+111 = 166 S.F.

	BUILDING FOOTPRINT
	DRIVEWAY AREA
	SCORED CONCRETE
	CONCRETE

REQUIRED FRONT YARD LANDSCAPING
 FRONT YARD SETBACK = 150 S.F.
 FRONT LANDSCAPE AREA x 20%
 150 S.F. x .20 = 30 S.F. - REQUIRED
 11+20 = 31 S.F. - PROVIDED



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DRAWING
SUSTAINABLE LANDSCAPE PLAN

SUSTAINABLE LANDSCAPE PLAN
 SCALE: 1/4"=1'-0"

SHEET NUMBER
L.01