



Begg Pool Modernization Study Findings and Conceptual Designs City Council

May 07, 2024



Note: This PowerPoint presentation is intended solely as a visual aid to an oral staff presentation of an agenda report topic. In the event of any differences between the presentation and the agenda report, the information in the agenda report prevails.

Modernization Study Summary

- Study
 - Started August 2023
 - Concluded April 2024
- Tasks
 - Site Analysis
 - Community Engagement
 - Needs Assessment
 - Conceptual Design
 - Final Report and Cost Estimates



Community Engagement



Community Outreach Results

Musts:

- More Water
- Larger Pool/Pools
- Upgrade Bathrooms
- Upgrade Locker Rooms

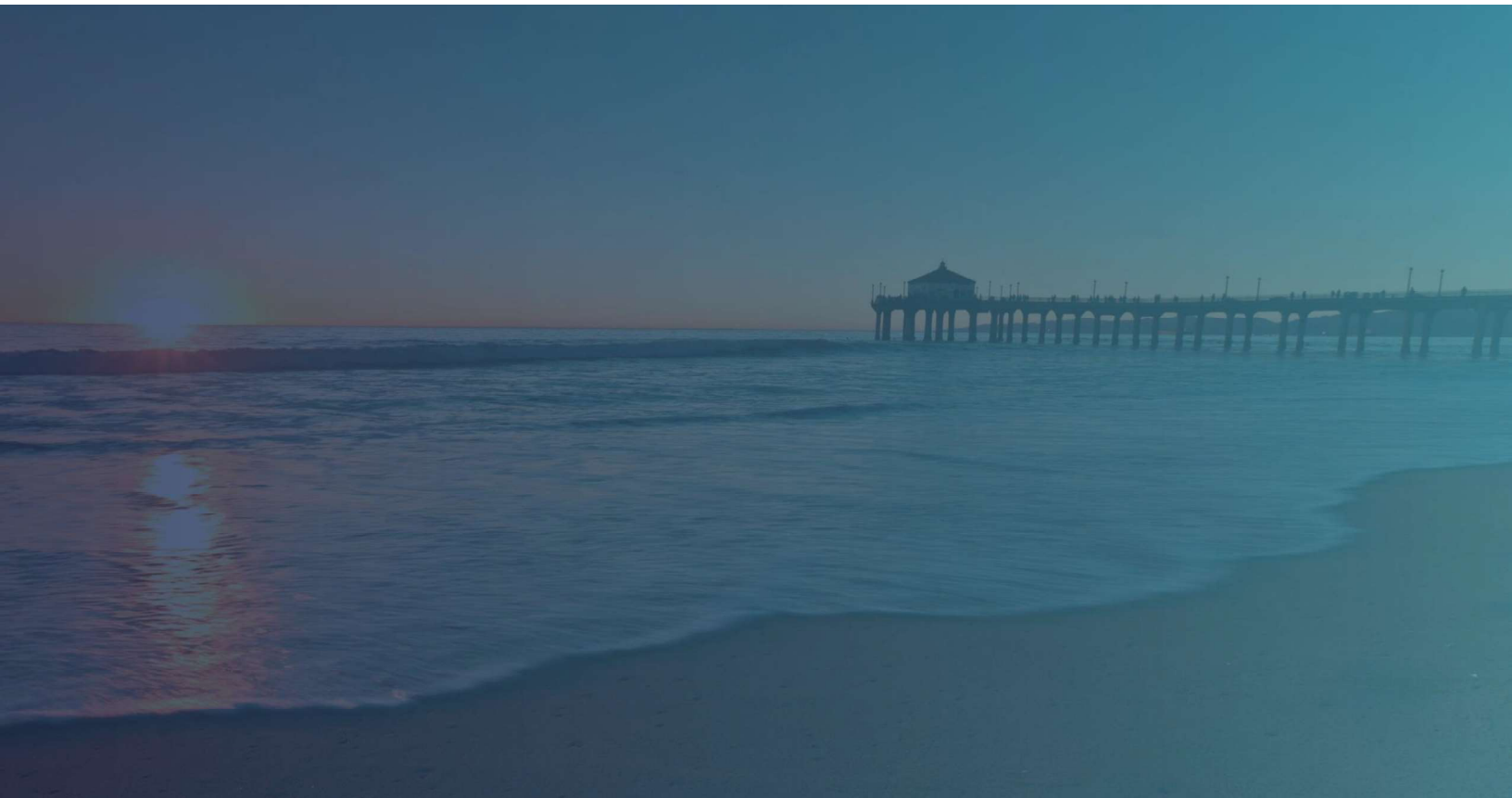
Concerns:

- Pool Access During Construction
- Parking
- Neighborhood Impacts
- Funding

Desires:

- Increased Pool Availability
- More Recreation Programming
- Outdoor Showers & Other Deck Improvements
- More Seating & Shade
- Water Safety Training





Needs Assessment

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Existing Conditions



Option 1:

- Modernize Existing Pool and Building

Option 2:

- New Construction of Two Pools and Building



Project Program Highlights

Site Program

Increased Pool Area
(Opt 2)

Flexible Deck Space

Bleacher & Terraced Seating

Lawn Area

Parking & Drop-Off Upgrades

Comprehensive Site Upgrades

Building Program

Community Locker Rooms

Lifeguard & MBUSD Office Space

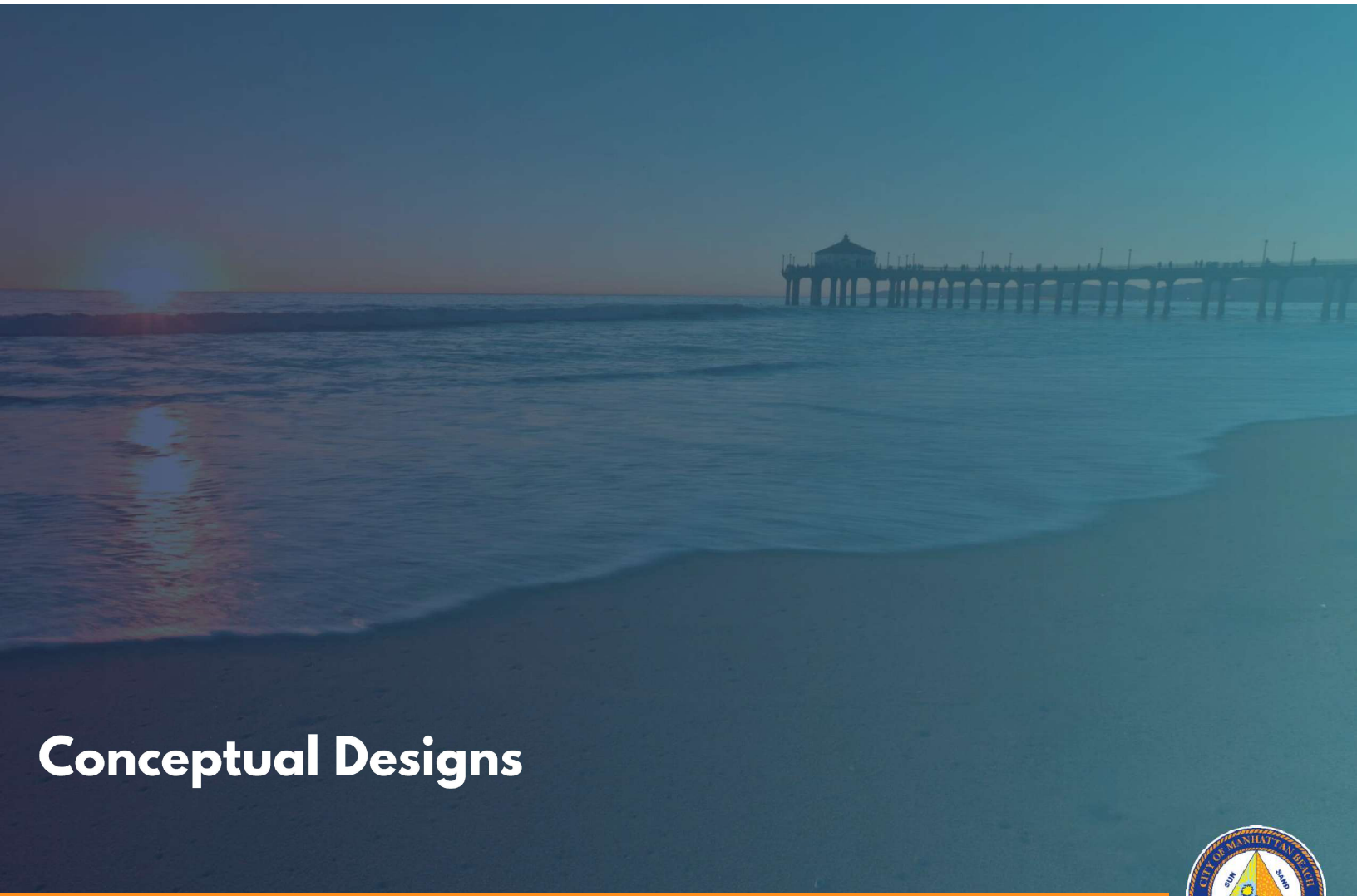
Flexible Training Space

Lobby & Check-In

Pool Support Space

Comprehensive Building Upgrades
(Opt 1)





Conceptual Designs

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Concept Inspiration



SWIMMING



WAVES



WATER



DUNES

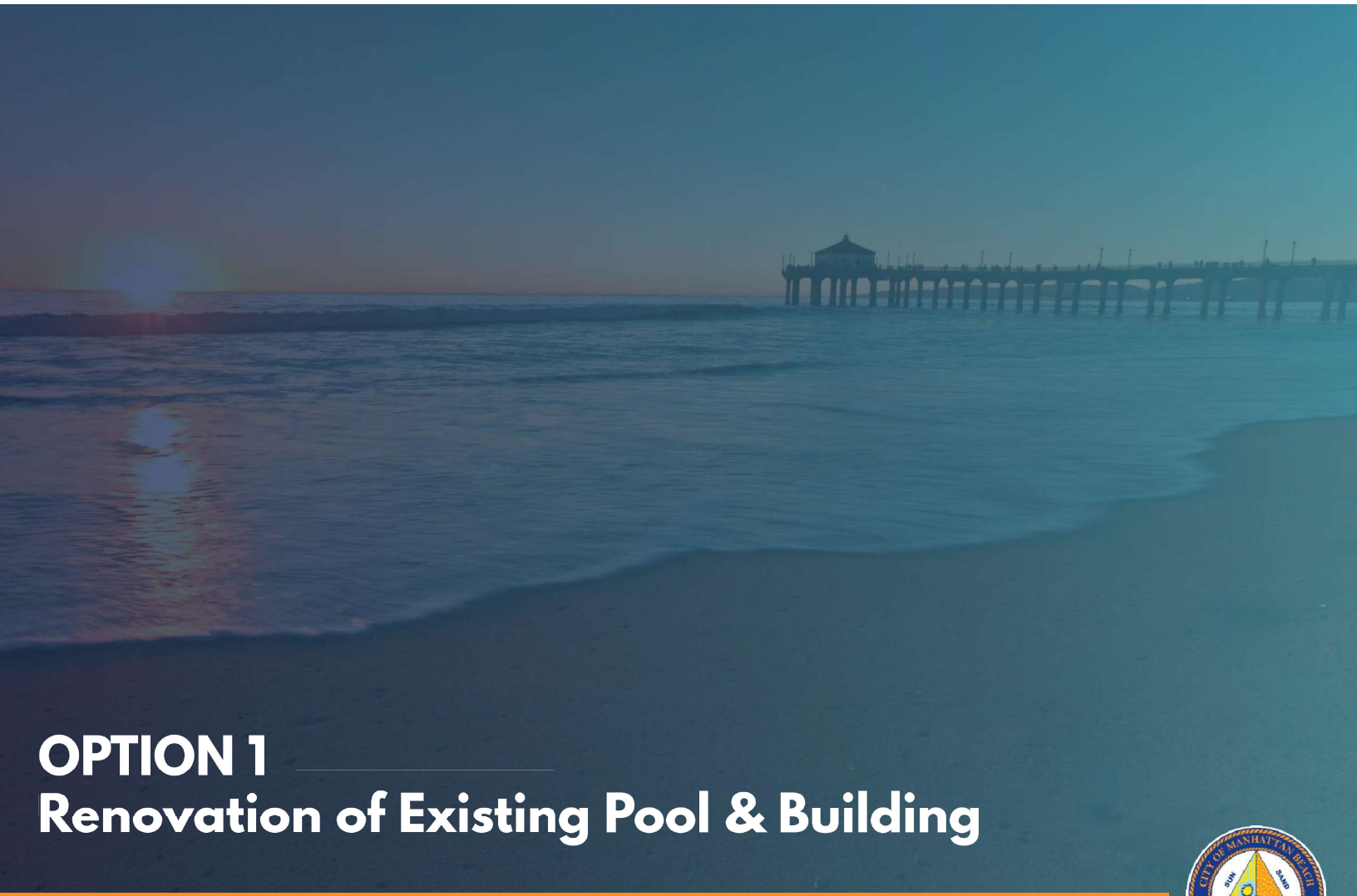


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FINDINGS & CONCEPTUAL DESIGNS
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OPTION 1

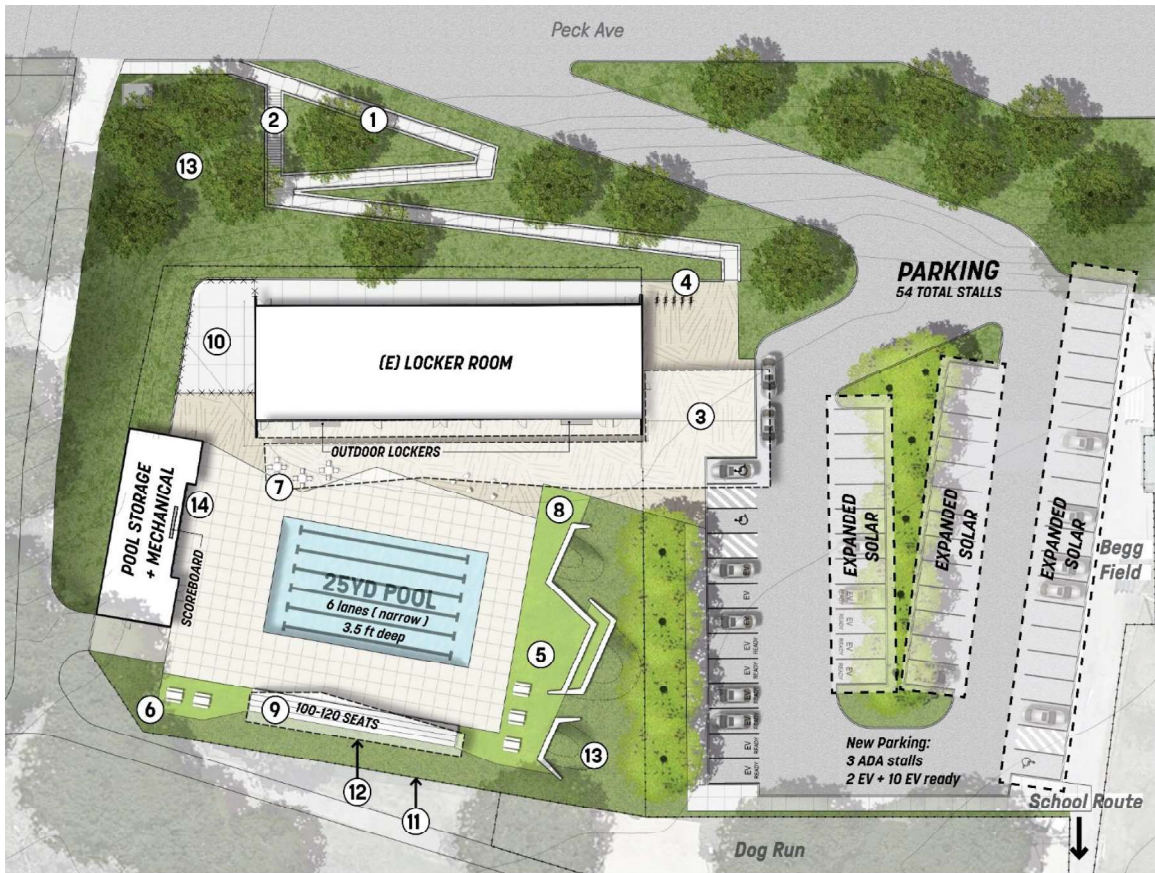
Renovation of Existing Pool & Building

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Site Plan Option 1

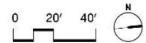


SITE PLAN OPTION 1

LEGEND

- ① Accessible Ramp
- ② Entry Stairs
- ③ Entry Plaza
- ④ Bike Parking
- ⑤ Huddle
Flexible Lawn + Seating
- ⑥ Picnic Area
- ⑦ Pool Deck Seating
- ⑧ Artificial Turf
- ⑨ Bleachers
- ⑩ Outdoor Storage
- ⑪ Perimeter Fence
- ⑫ Shade Canopy
- ⑬ Planting Area
- ⑭ Outdoor Showers (11)

Note:
Current parking has 69 stalls

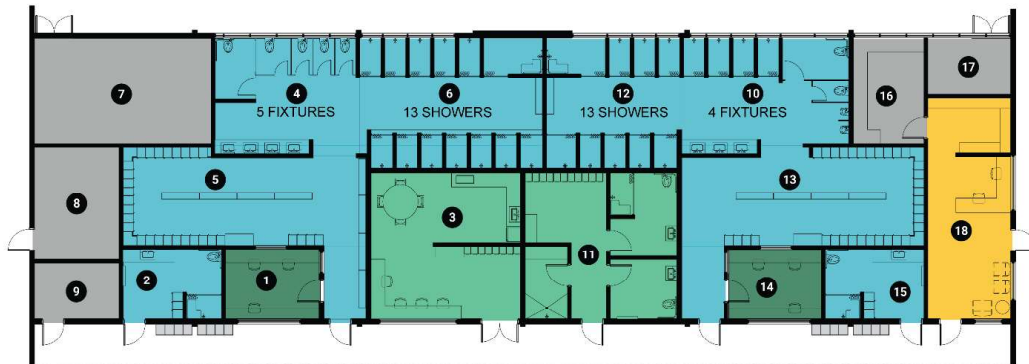


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Floor Plan – Option 1



MAIN BUILDING

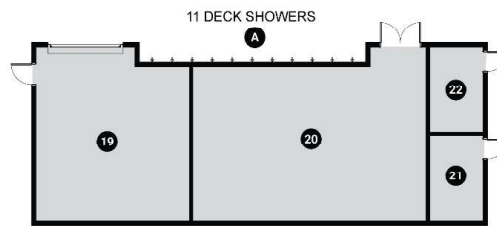
	(SF)		(SF)
1 STAFF OFFICE #1	135	10 MEN'S RESTROOM	330
2 FAMILY DRESSING #1	140	11 STAFF DRESSING	450
3 BREAKROOM	435	12 MEN'S SHOWERS	400
4 WOMEN'S RESTROOM	330	13 MEN'S LOCKERS	520
5 WOMEN'S LOCKERS	515	14 STAFF OFFICE #2	135
6 SHOWERS	440	15 FAMILY DRESSING #2	140
7 MECHANICAL	375	16 STORAGE	150
8 ELECTRICAL	190	17 DATA	95
9 CUSTODIAL	95	18 LOBBY / CHECK-IN	365

MECHANICAL

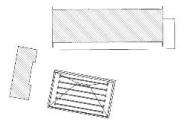
	(SF)		(SF)
19 POOL STORAGE	505	22 POOL CHEMICAL #2	115
20 POOL MECHANICAL	625	A DECK SHOWERS	
21 POOL CHEMICAL #1	90		

LEGEND

- RESTROOM/LOCKERS
- FACULTY OFFICES
- ADMINISTRATION
- BUILDING SERVICES
- POOL EQUIPMENT
- COMMON SPACE



KEY PLAN



Design Concept Imagery Option 1



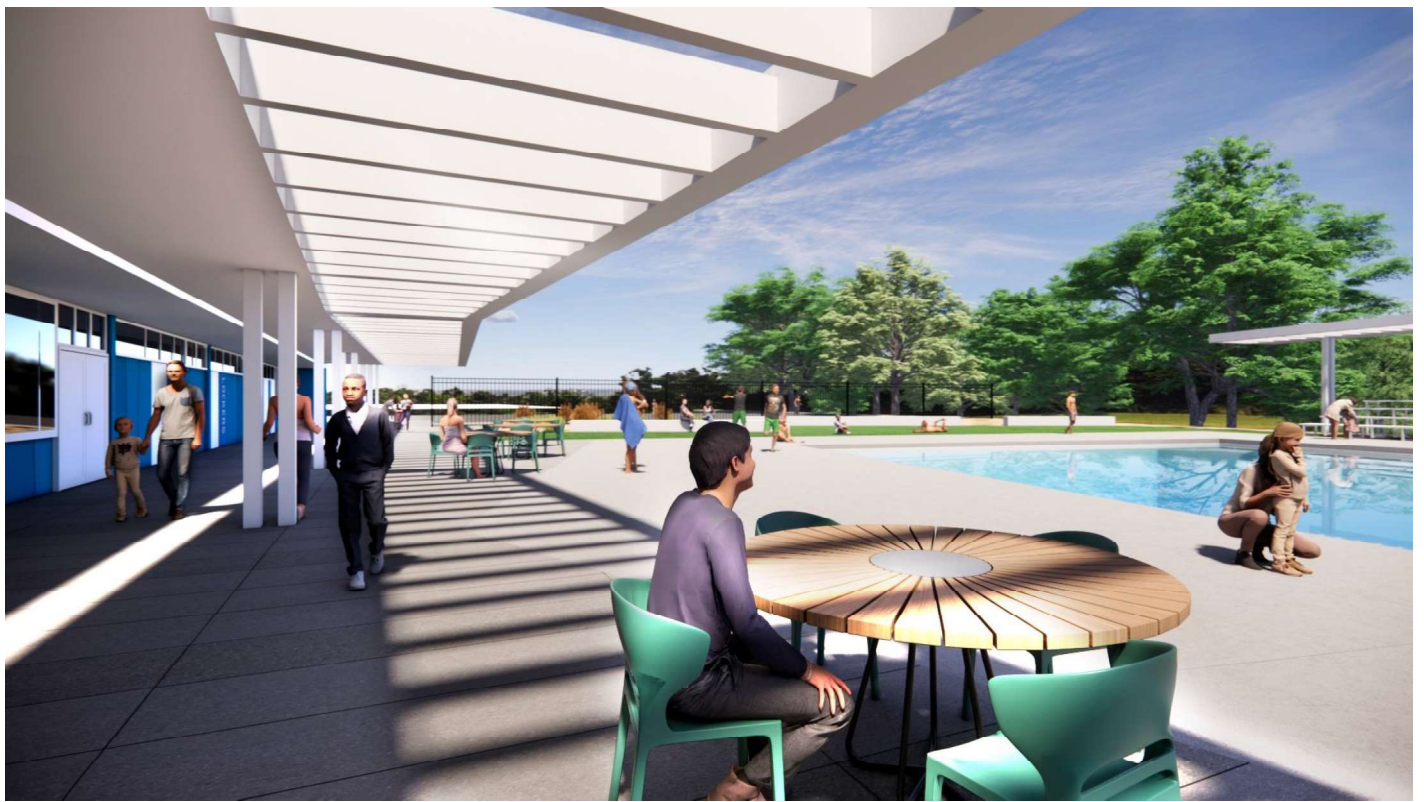
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Design Concept Imagery Option 1



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Design Concept Imagery Option 1



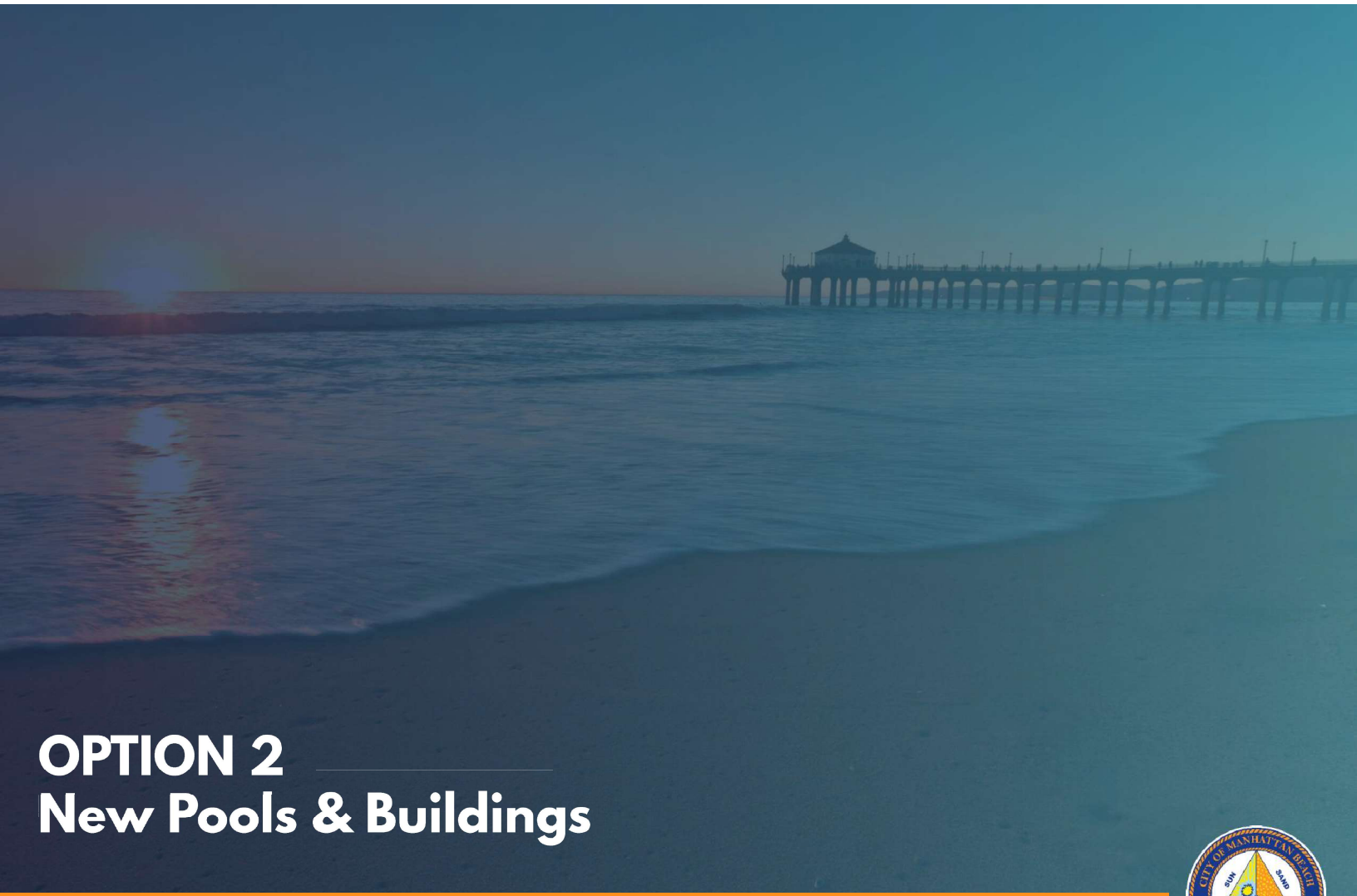
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Design Concept Imagery Option 1





OPTION 2

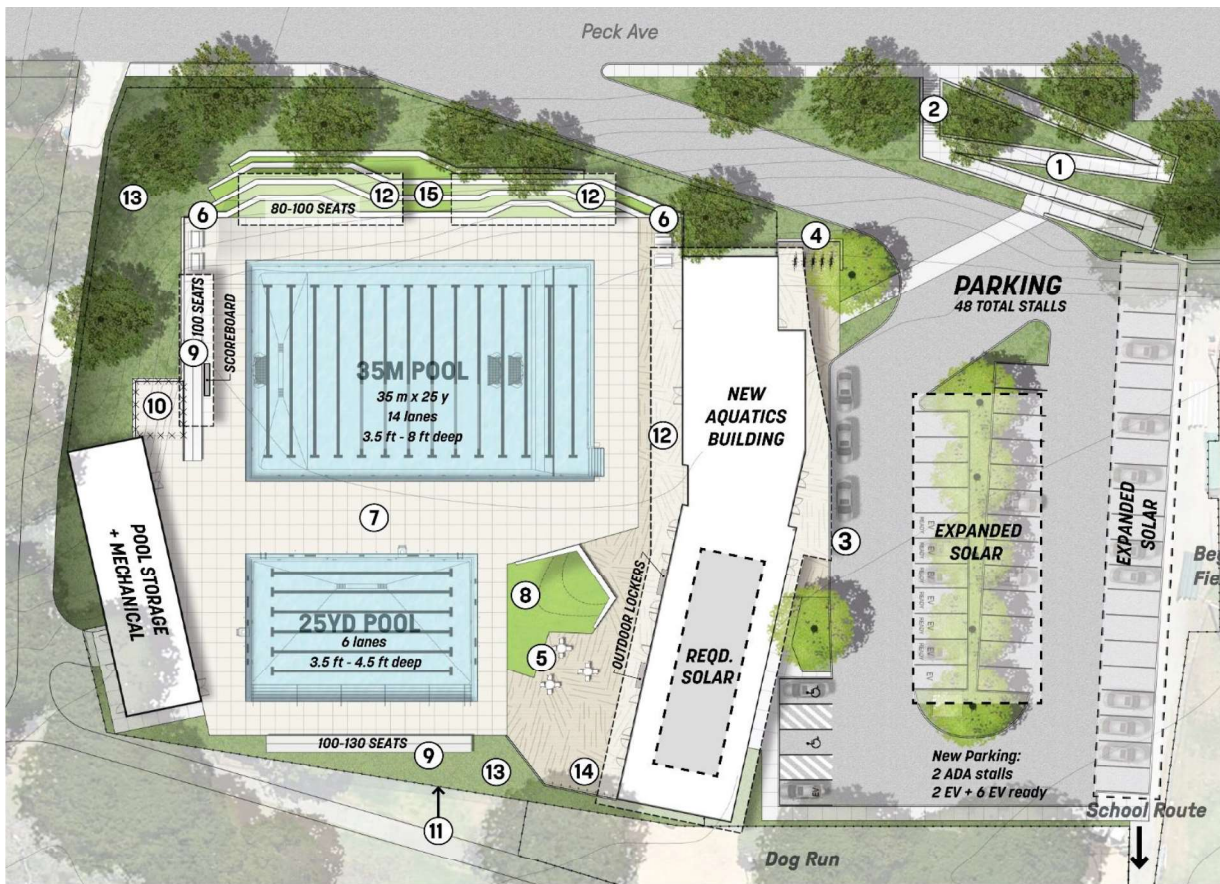
New Pools & Buildings

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Site Plan – Option 2

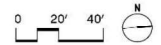


SITE PLAN OPTION 2

LEGEND

- ① Accessible Ramp
- ② Entry Stairs
- ③ Entry Drop Off
- ④ Bike Parking
- ⑤ The Huddle
Flexible Lawn + Seating
- ⑥ Seating Area
- ⑦ Pool Deck
- ⑧ Artificial Turf
- ⑨ Bleachers
- ⑩ Outdoor Storage
- ⑪ Perimeter Fence
- ⑫ Shade Canopy
- ⑬ Planting Area
- ⑭ Outdoor Showers (8)
- ⑮ The Bluff
Terraced Lawn + Seating

Note:
Current parking has 69 stalls



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Floor Plan – Option 2



MAIN BUILDING

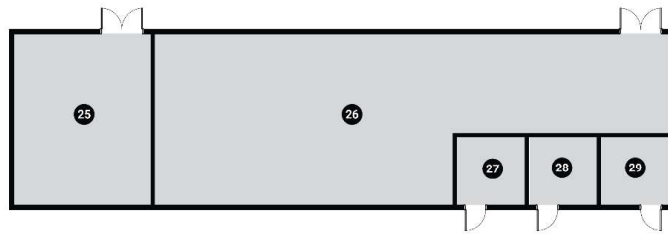
	(SF)		(SF)
1 LOBBY / CHECK-IN	500	14 WOMEN'S LOCKERS	655
2 TRIAGE	100	15 WOMEN'S SHOWERS	320
3 BREAKROOM	280	16 OFFICE #1	105
4 OBSERVATION	380	17 OFFICE #2	105
5 STAFF DRESSING	445	18 FAMILY DRESSING #1	100
6 STORAGE	70	19 FAMILY DRESSING #2	100
7 OFFICE	325	20 STORAGE #1	140
8 LIFEGUARD TRAINING ROOM	800	21 STORAGE #2	140
9 MECHANICAL	280	22 MEN'S SHOWERS	320
10 ELECTRICAL	105	23 MEN'S LOCKERS	650
11 CUSTODIAL	100	24 MEN'S RESTROOM	300
12 DATA	135	A DECK SHOWERS	
13 WOMEN'S RESTROOM	295		

LEGEND

- RESTROOM/ LOCKERS
- FACULTY OFFICES
- ADMINISTRATION
- BUILDING SERVICES
- POOL EQUIPMENT
- COMMON SPACE

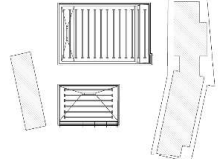
POOL SUPPORT BUILDING

	(SF)		(SF)
25 POOL STORAGE	500	28 POOL CHEMICAL #2	100
26 POOL MECHANICAL	1545	29 POOL CHEMICAL #3	100
27 POOL CHEMICAL #1	100		



8 DECK SHOWERS
A

KEY PLAN



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Design Concept Imagery Option 2



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Design Concept Imagery Option 2



Design Concept Imagery Option 2



Design Concept Imagery Option 2



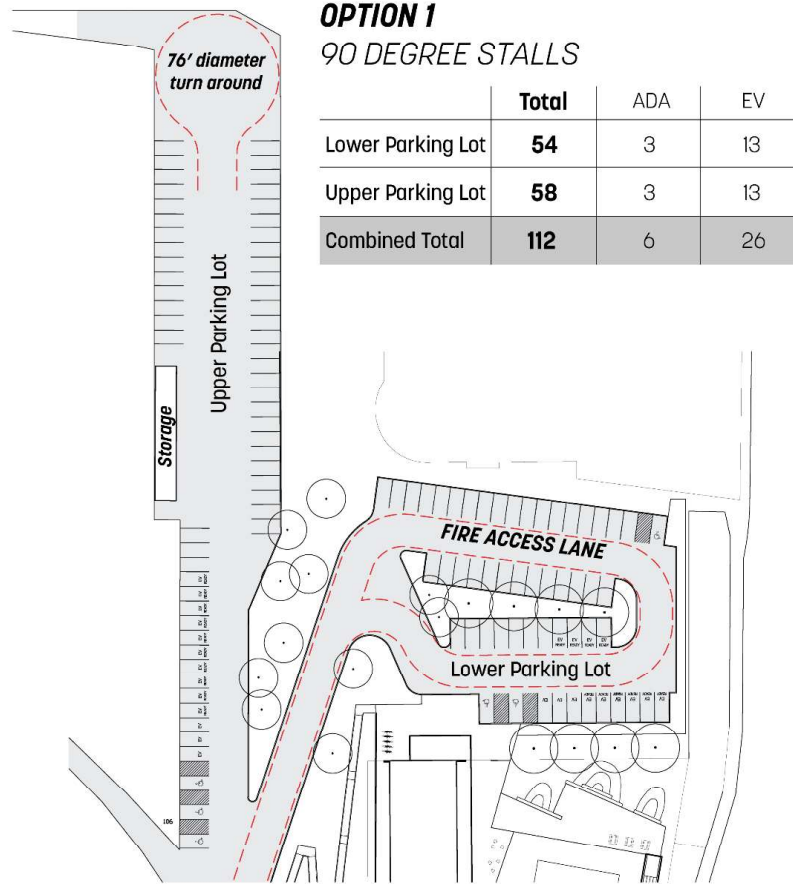
Design Concept Imagery Option 2



Design Concept Imagery Option 2

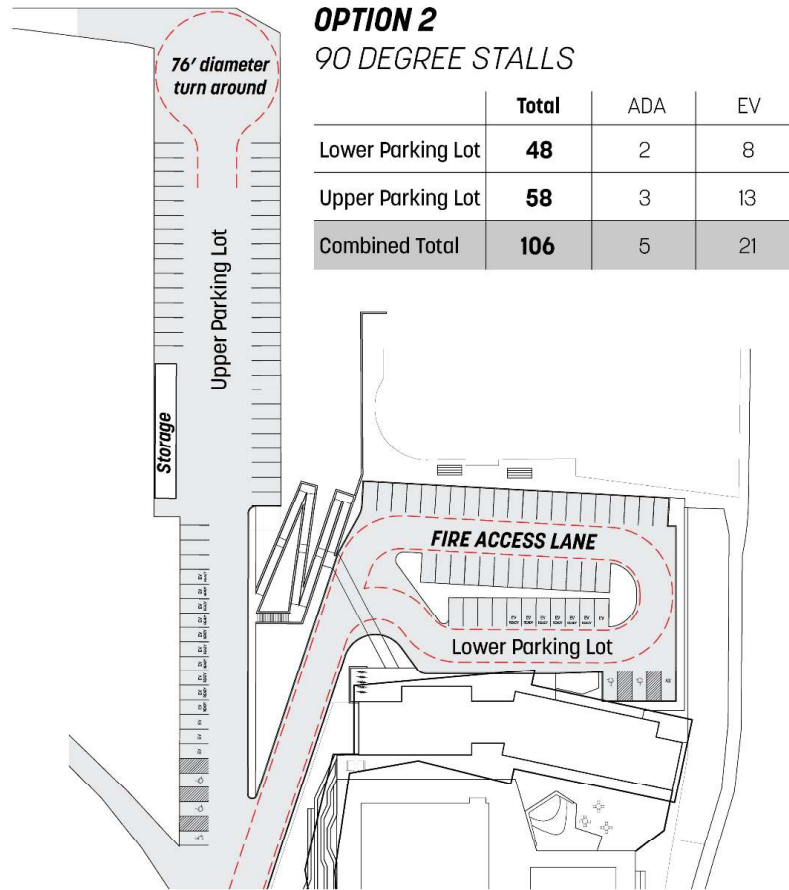


Peck Corridor Parking Study Option 1



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Peck Corridor Parking Study Option 2



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Cost Estimates

Overall Project Cost Summary (OPT 1)

• Pool (15%)	\$3.0 m
• Buildings (53%)	\$10.5 m
• Site (32%)	\$6.4 m
Construction (100%)	\$19.9 m
Soft	\$8.0 m

Total Project Cost \$27.9 m

Annual Operating Expense \$800,000

Overall Project Cost Summary (OPT 2)

• Pools (33%)	\$9.9 m
• Buildings (45%)	\$13.2 m
• Site (22%)	\$6.6 m
Construction (100%)	\$29.7 m
Soft	\$10.6 m

Total Project Cost \$40.3 m

Annual Operating Expense \$1.8 m



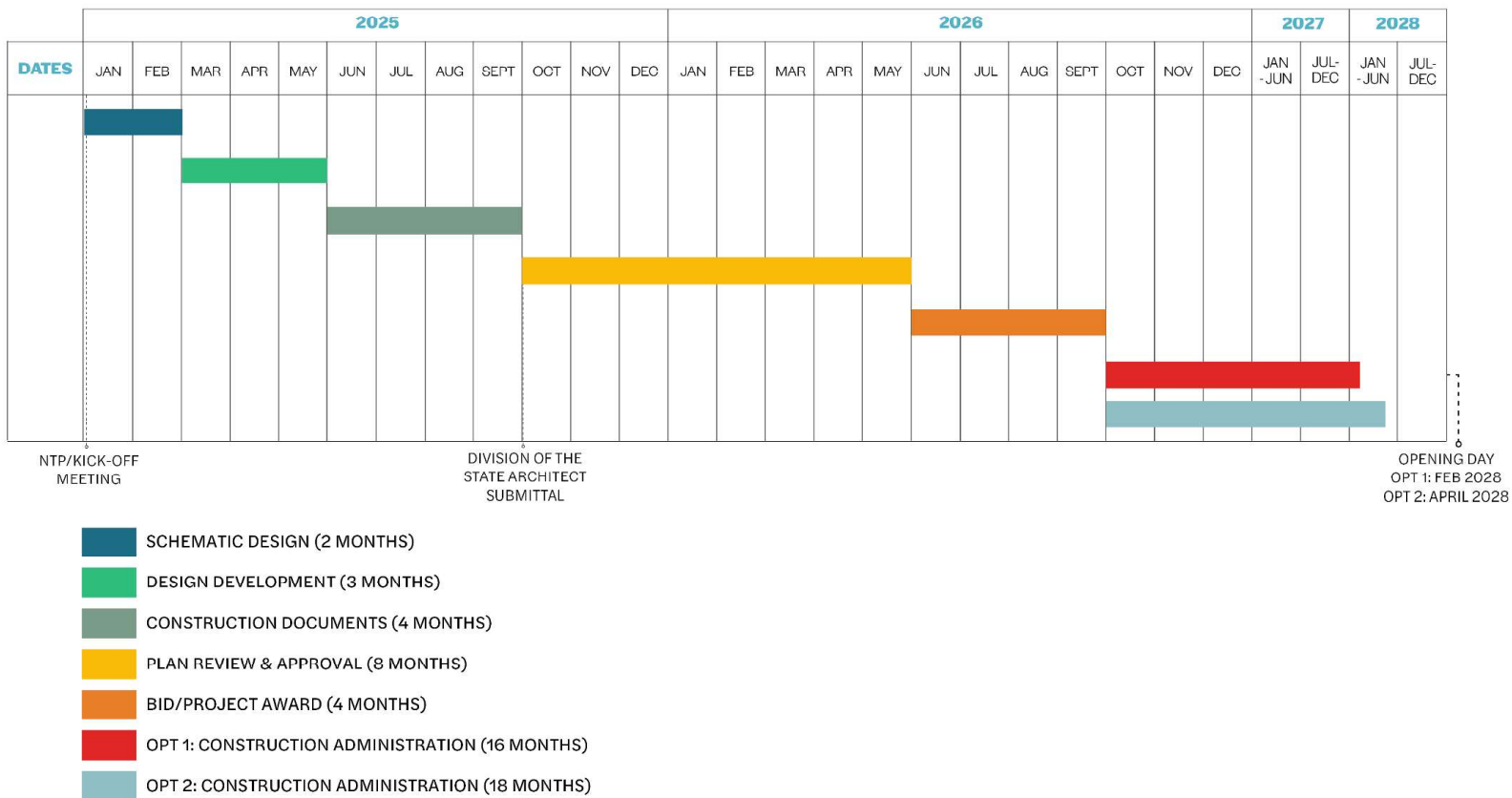
Cost Estimate – Alternates

Optional Add-ons

Peck Avenue Corridor Improvements	\$2.5 m
Expanded Solar	\$1.4 m
Phased Construction (Option 2)	\$5 m



Conceptual Schedule



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Recommendation

- Discuss and Provide Direction

