



manhattan beach



OUTDOOR DINING

OUTDOOR DINING TASK FORCE MEETING

MAY 28, 2024



AGENDA

- Roll Call
- Approval of Minutes
- 2ND Floor Outdoor Dining Regulations
- Vehicle Loading
- Administrative Process
- Public Comments
- Task Force Discussions



2FL OUTDOOR DINING REGULATIONS

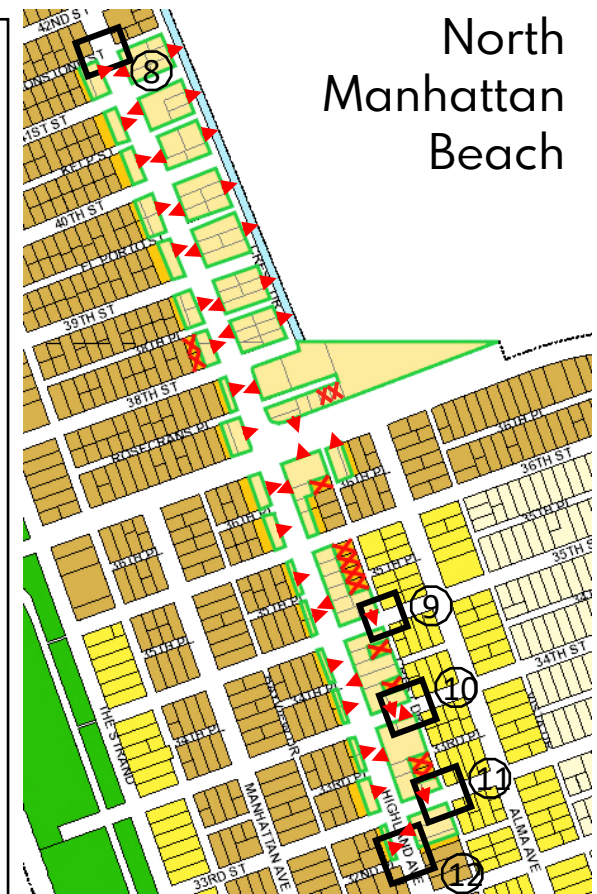
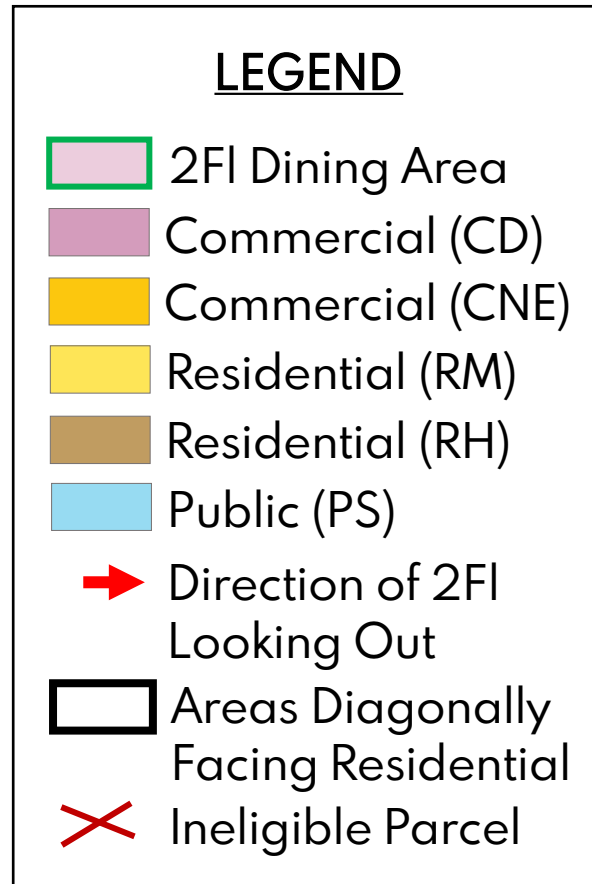
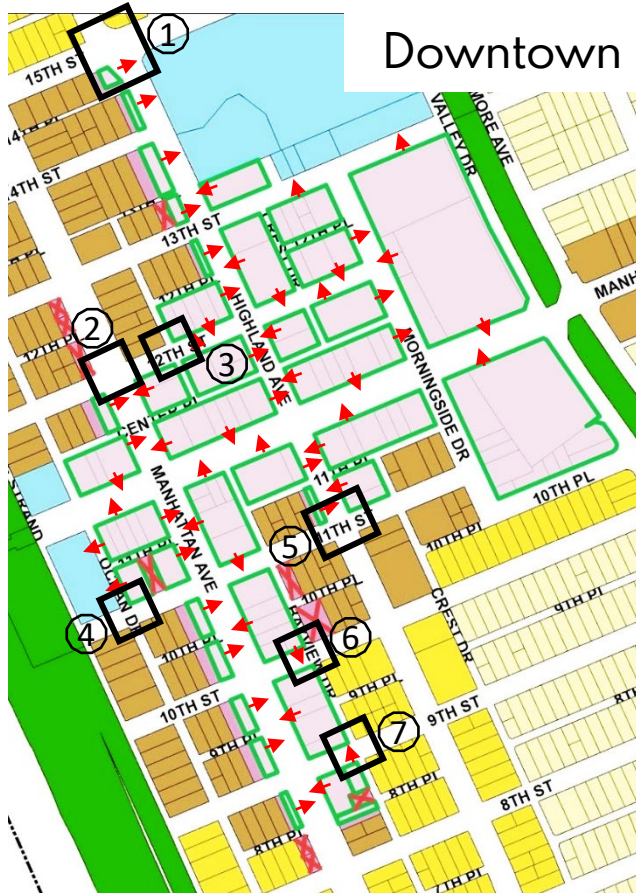
Task Force Recommendations

- Require barriers/walls when abutting residential uses.
- Require noise-mitigation measures in their design.
- Prohibit live outdoor entertainment and music, including 2nd floor indoor dining areas with open walls to the deck; no exceptions.
- Limit hours to 10 pm (i.e., stop service) and clear area by 10:30 pm.
- Continue to prohibit balconies over the public right-of-way.
- Create an administrative permit process, including alcohol license revisions.
- Require a Use Permit, if deviating from these standards.
- Allow in commercial zones with a sliding scale buffer (incl. a min. setback) from residential uses >> **Is 50% of lot depth with min. 15ft acceptable?**
- Prohibit in areas facing residential uses, including those across the street >> **How about diagonally facing?**

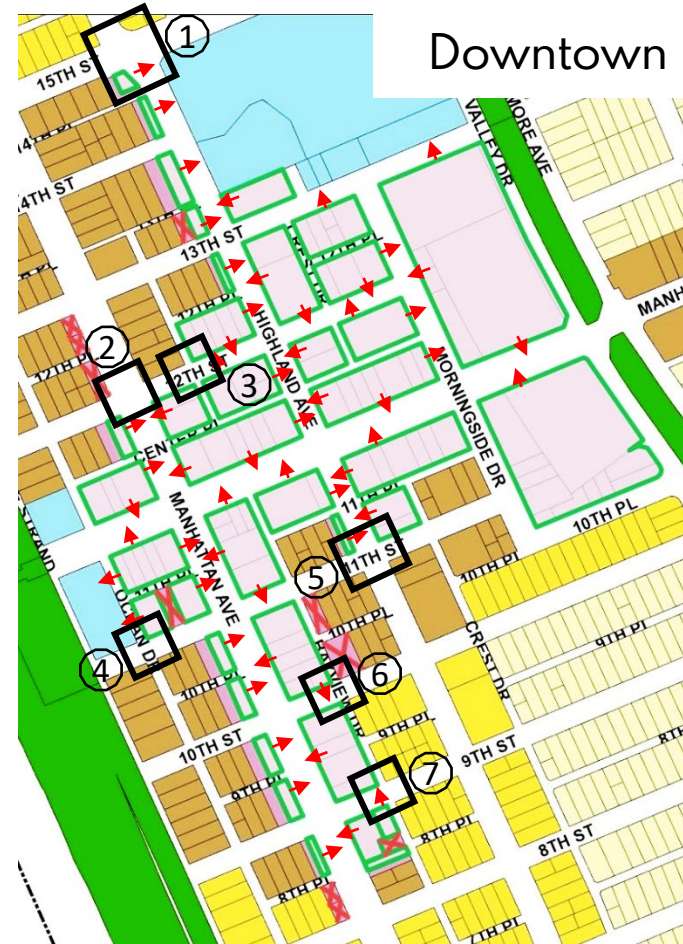


2FL OUTDOOR DINING REGULATIONS

2 nd Fl Outdoor Dining	Downtown	North Manhattan Beach
Eligible Parcels	109	98
Ineligible Parcels	8	13
Total	117	111

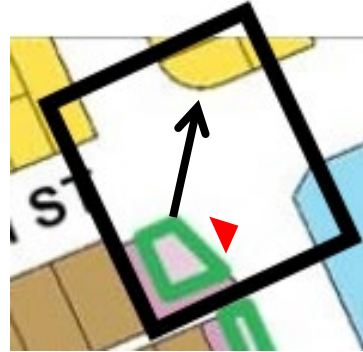


2FL OUTDOOR DINING REGULATIONS

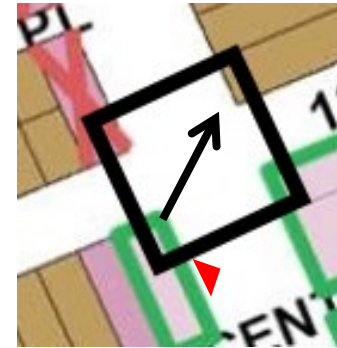


Downtown

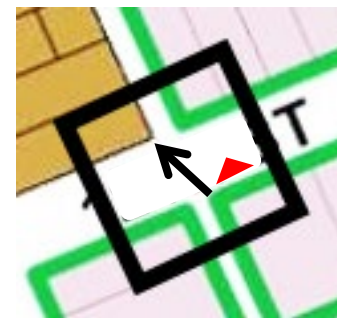
①
15th St /
Highland
Ave



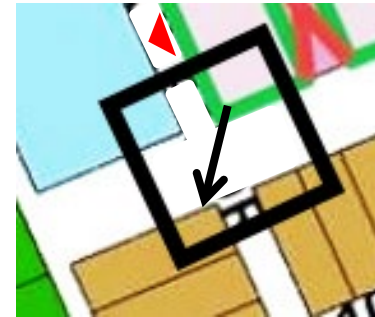
②
12th St /
Manhattan
Ave



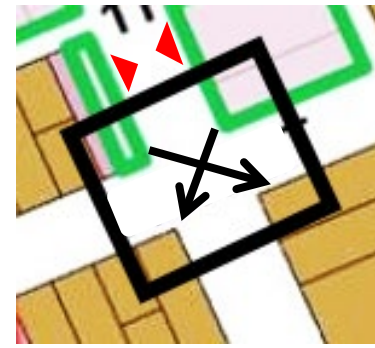
③
12th St /
Bayview Dr



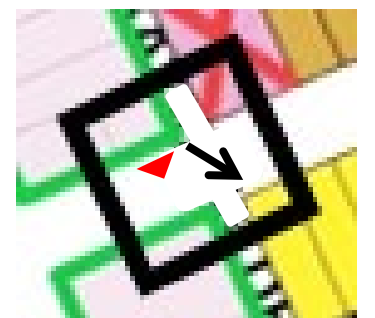
④
11th St /
Ocean Dr



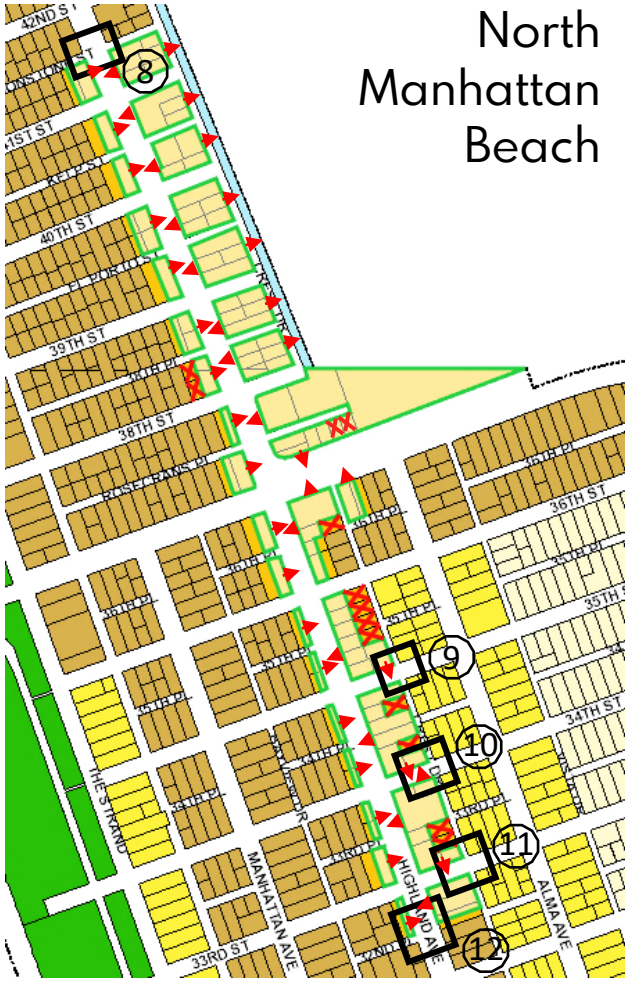
⑤
11th St /
Highland
Ave



⑥
10th St /
Bayview Dr



2FL OUTDOOR DINING REGULATIONS



North
Manhattan
Beach

⑦
9th St /
Bayview
Dr

Downtown

⑩
34th St /
Crest Dr

⑧
Moonstone
St /
Highland
Ave

⑪
33rd St /
Crest Dr

⑨
35th St /
Crest Dr

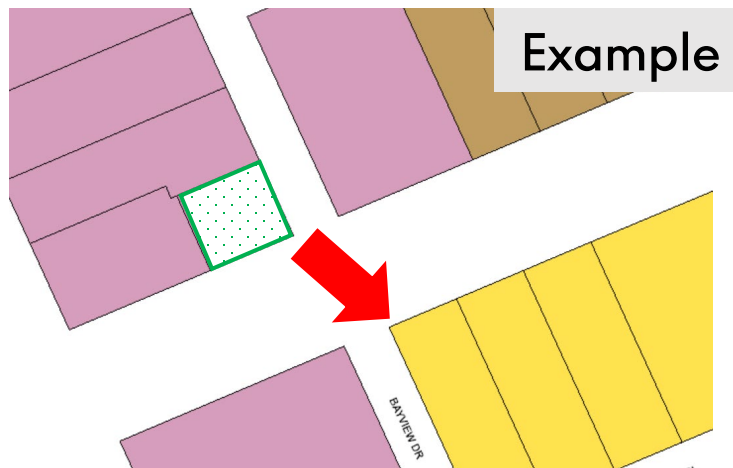
⑫
32nd Pl /
Highland
Ave

2FL OUTDOOR DINING REGULATIONS

To Not Directly Face Residential

When diagonally facing residential,

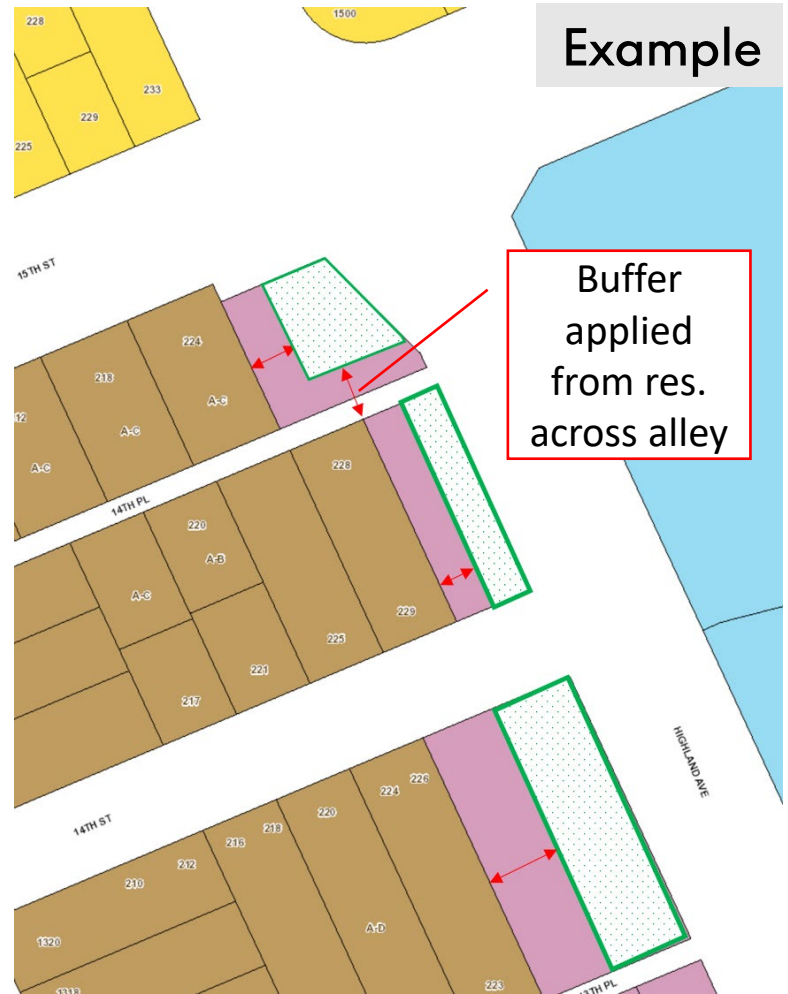
- Option 1: Allowed; however, must be X ft away
- Option 2: Prohibited









2FL OUTDOOR DINING REGULATIONS

Sliding Scale Buffer

50% of lot depth or 15 ft, whichever is more, from the property line of the abutting residential use, inclusive of properties across the alley



- | | |
|--|---|
|  Residential (RM) |  Commercial (CD) |
|  Residential (RH) |  Public (PS) |
|  2FL Dining Area |  Buffer (Min. 15 ft) |

2FL OUTDOOR DINING REGULATIONS

Sound Attenuation - Overview

- Ambient noise is a function of multiple sources
- Common building materials (incl. glass) have the effect of reducing noise by 15-50 dbA
- The higher the barrier (min. 3ft above table), the better
- Landscaping is not an effective barrier
- Reflective material surfaces (e.g., tiles, smooth concrete finishes, etc) increase general background noise and shall be avoided



2FL OUTDOOR DINING REGULATIONS

Sound Attenuation – Design Guidelines

- **1st Priority: Minimize the amount of sound generated**
 - >> Limit where operations occur
 - >> Add features that absorb sound energy
- **2nd Priority: Minimize direct transmission of sound**
 - >> Require perimeter walls/barriers
- **3rd Priority: Minimize the potential for sound to pass over perimeter walls/barriers**
 - >> Add overhead structures



2FL OUTDOOR DINING REGULATIONS

Sound Attenuation – Design Guidelines

Preferred Materials

- **Flooring:**
Wood flooring or decking; foam or rubber base
- **Wall and overhead structures:**
Glass, plastic, wood panel or siding, vinyl or other plastic panel or siding, gypsum board, or stucco (solid metal only for overhead)
- **Furniture:**
Upholstered/cushioned or wooden seating and tables



2FL OUTDOOR DINING REGULATIONS

Sound Attenuation – Design Guidelines

Discouraged Materials

- Hard, reflective finished surfaces such as poured concrete, marble, brick, and glazed tile
- Temporary tents, umbrellas, and cloth-only features, including acoustic sails



2FL OUTDOOR DINING REGULATIONS

Task Force Discussion:

1. Sliding scale buffer:

50% of lot depth or min. 15ft

2. Areas diagonally facing residential:

Prohibit or allow at certain distance away

3. Other related discussions



VEHICLE LOADING

Provision for Vehicle Loading Hours

Hours *allowed* in other jurisdictions:

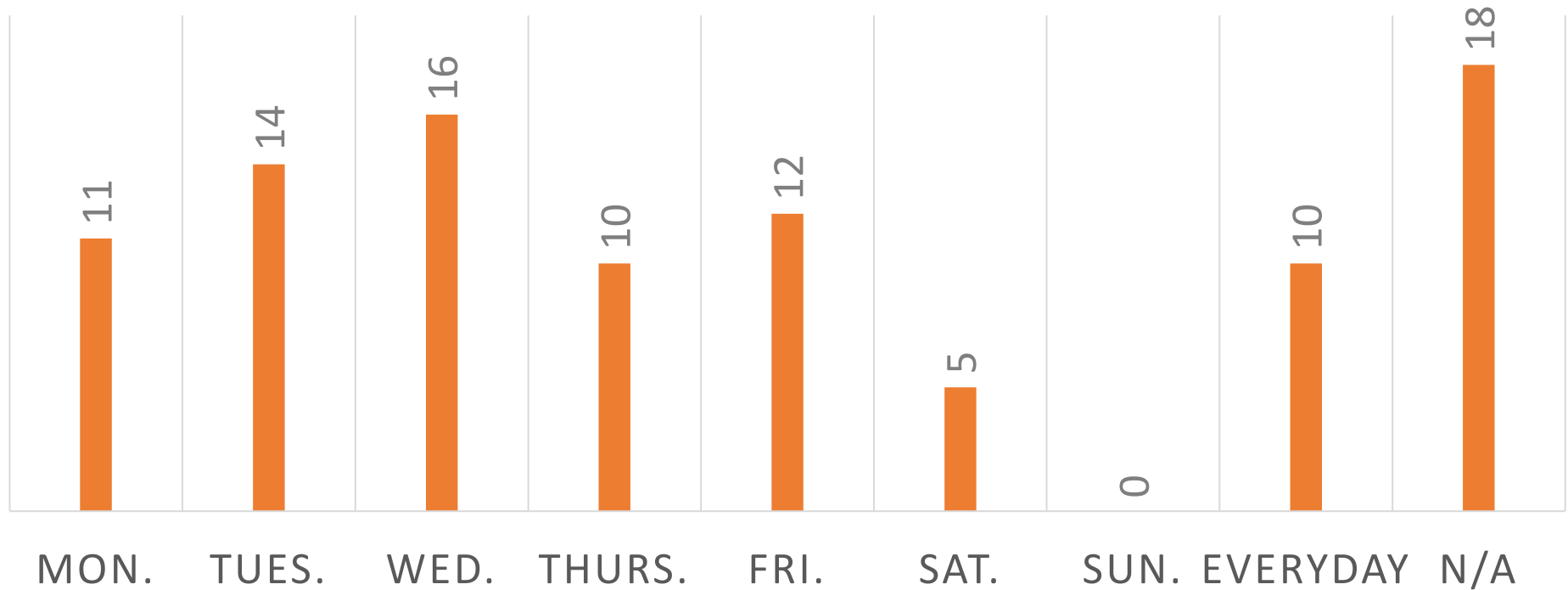
7am - 10pm	Malibu, El Segundo, San Clemente
7am - 9pm Mon-Fri	•Pasadena* (within 300 feet of a residential zoning district)
8am - 10pm	Hermosa Beach (Same as the Use Permit condition for The Strand House in MB)

- Refuse vehicles allowed from 7:30am – 6pm
- Comments received from stakeholder interviews



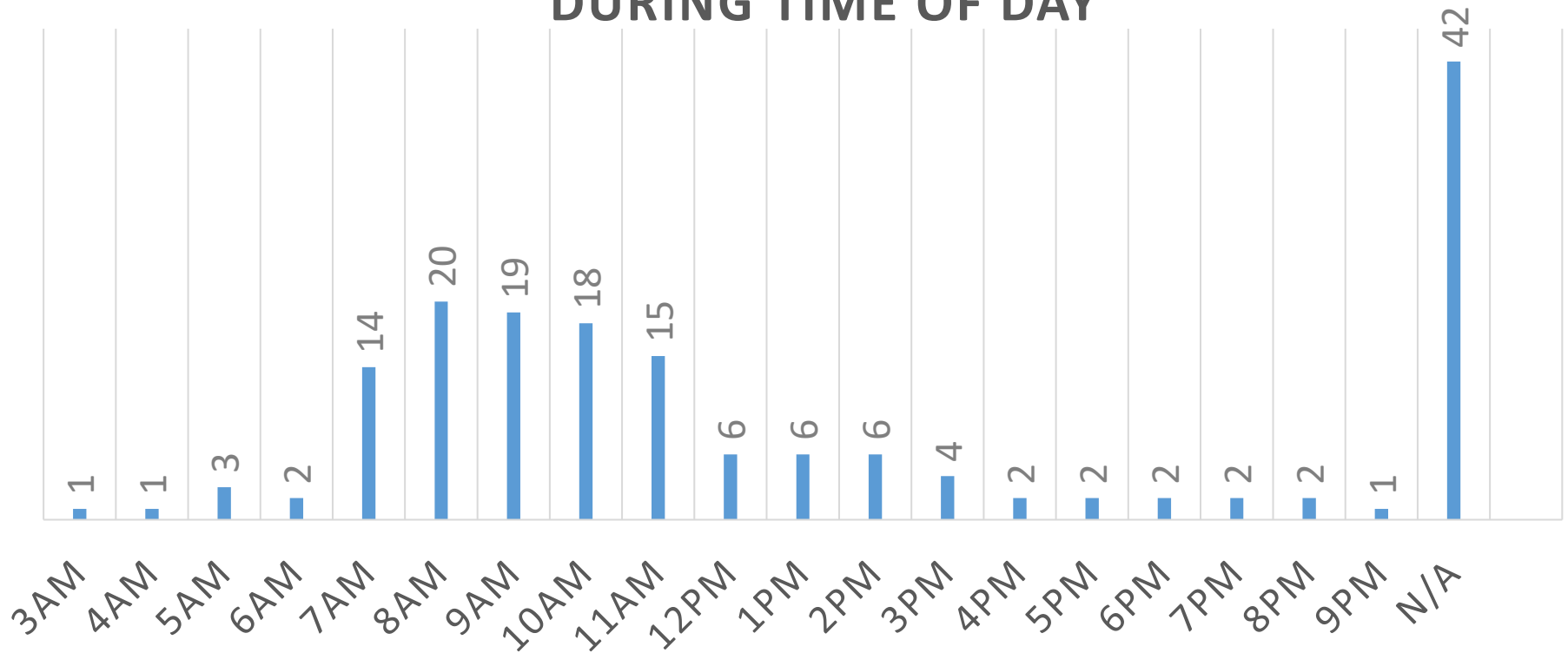
VEHICLE LOADING

FREQUENCY OF DELIVERIES DURING THE WEEK



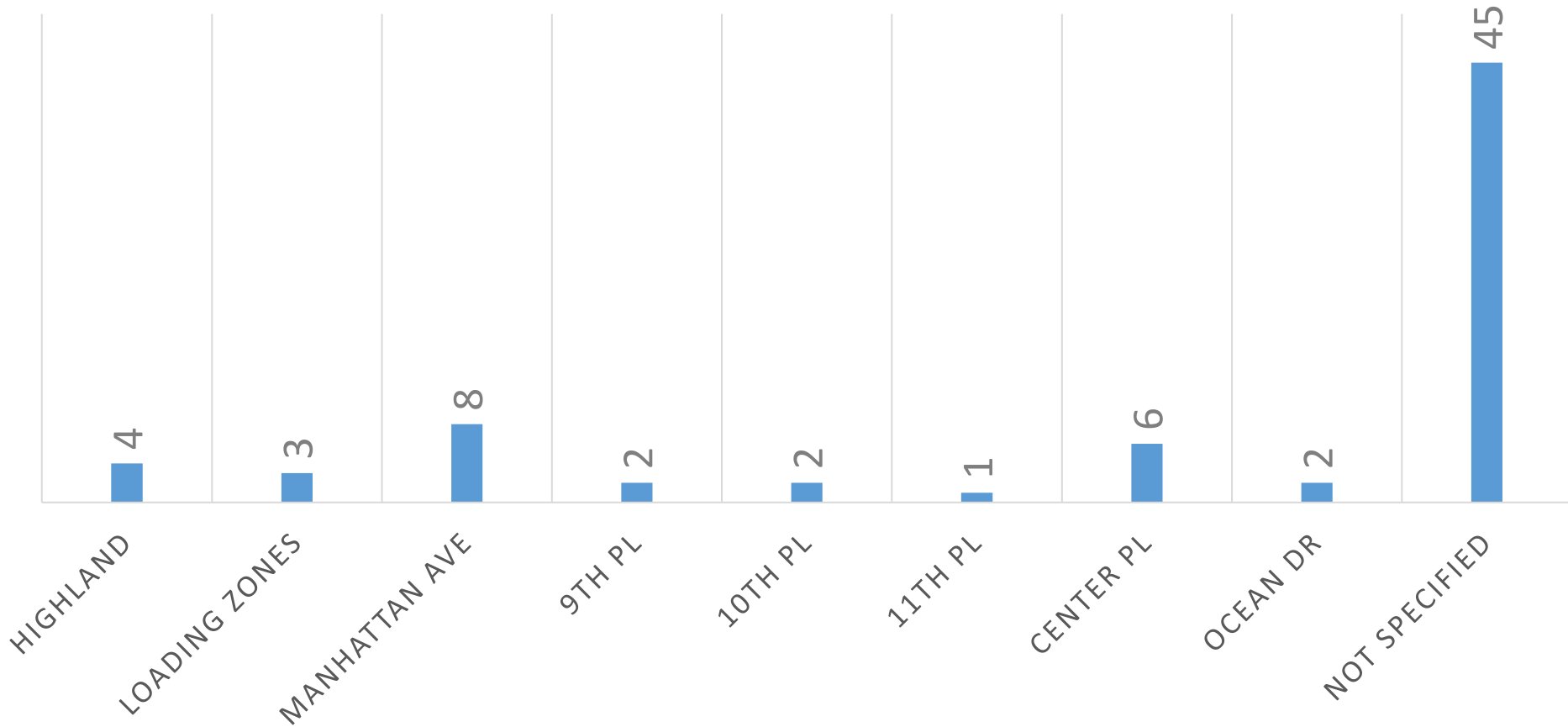
VEHICLE LOADING

FREQUENCY OF DELIVERIES DURING TIME OF DAY



VEHICLE LOADING

FREQUENCY OF DELIVERIES BY LOCATION






VEHICLE LOADING

Vehicle Loading by Location

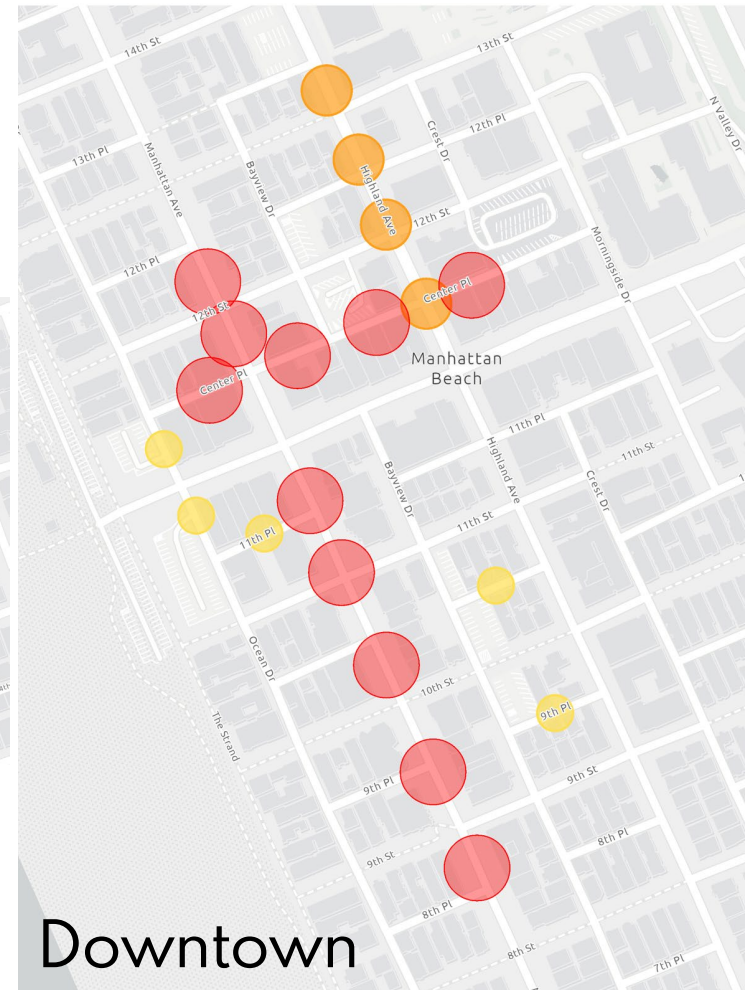
Legend

No. of businesses
using such location
for loading

	7-9
	4-6
	1-3



North
Manhattan
Beach



Downtown

VEHICLE LOADING

Restrictions for CD and CNE vehicle loading

1. Do you support prohibition of overnight commercial loading (e.g., 10pm to 6am)?
2. Do you support customized loading times adjacent to commercial uses?
3. Do you support prohibitions on certain streets?
4. Should exceptions be offered to businesses with special needs to supersede the restricted hours or locations?



ADMINISTRATIVE PROCESS

Applications/Permits

All currently ministerial processes, except 2Fl outdoor dining which requires a Use Permit

- **Sidewalk** (Encroachment Permit + \$3/sf/mo. Use Fee)
- **Private property**
 - Outdoor Facilities Permit
 - 2Fl Outdoor Dining



ADMINISTRATIVE PROCESS

Revocation

- Revoked on 4th strike recommended by task force
 - Notice of Violation
 - Followed by three citations >> Permit revoked and no outdoor dining permit allowed for one-year
- City Council direction: Consider revoking on 3rd strike

Permit Period

- Yearly (current practice); or
- Every 2-3 years (per stakeholder interview input)
- Perpetual unless ownership changes or revoked



ADMINISTRATIVE PROCESS

1. In what instances should deviations be allowed (*e.g., Use Permit for 2Fl outdoor dining regulations*) or should deviations be prohibited (*e.g., operation hours, sound equipment in right-of-way*)?
2. Should permits be revoked on the 3rd strike?
3. How long should an outdoor dining permit be valid for?



PUBLIC COMMENTS



TASK FORCE DISCUSSIONS

2FI Outdoor Dining Regulations

1. Sliding scale buffer:

50% of lot depth or min. 15ft

2. Areas diagonally facing residential:

Prohibit or allow at certain distance away

3. Other related discussions



TASK FORCE DISCUSSIONS

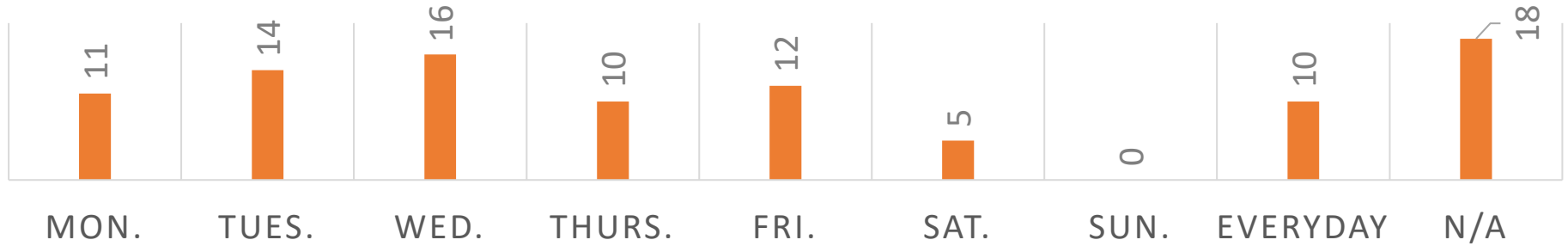
Restrictions for CD and CNE vehicle loading

1. Do you support prohibition of overnight commercial loading (e.g., 10pm to 6am)?
2. Do you support customized loading times adjacent to commercial uses?
3. Do you support prohibitions on certain streets?
4. Should exceptions be offered to businesses with special needs to supersede the restricted hours or locations?

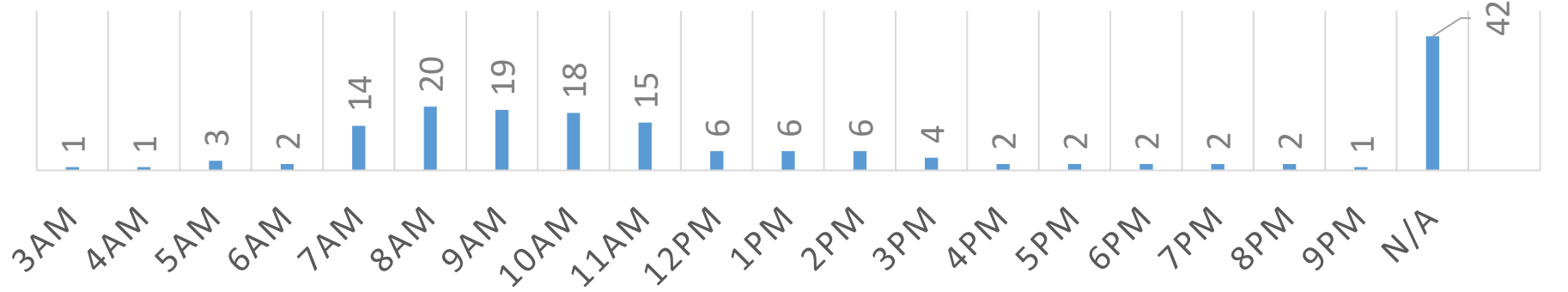


VEHICLE LOADING

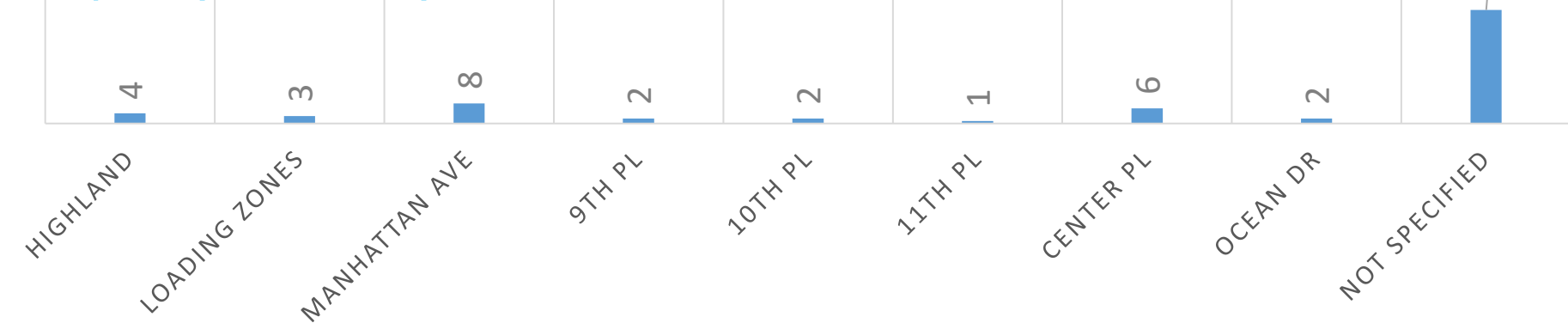
Frequency of Delivery During the Week



Frequency of Delivery During Time of Day



Frequency of Delivery Locations






VEHICLE LOADING

Vehicle Loading by Location

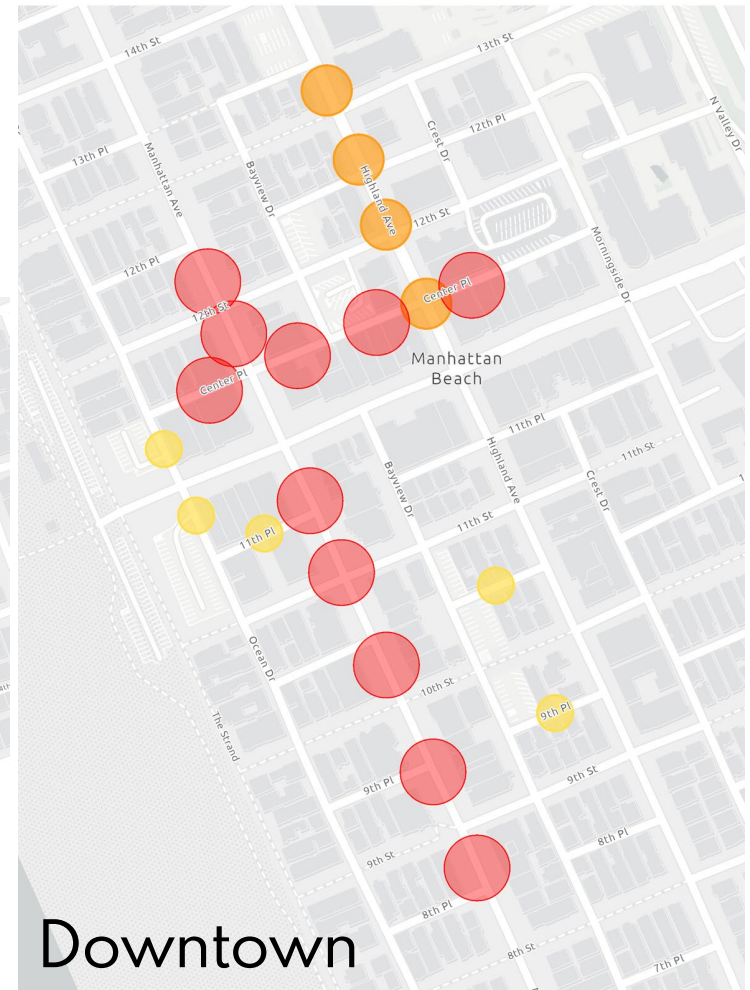
Legend

No. of businesses
using such location
for loading

	7-9
	4-6
	1-3



North
Manhattan
Beach



Downtown

TASK FORCE DISCUSSIONS

Administrative Process

1. In what instances should deviations be allowed (*e.g., Use Permit for 2Fl outdoor dining regulations*) or should deviations be prohibited (*e.g., operation hours, sound equipment in right-of-way*)?
2. Should permits be revoked on the 3rd strike?
3. How long should an outdoor dining permit be valid for?



NEXT MEETINGS

- No meeting in June
- Tue. July 9 (1-3:30 PM)
 - Police/Fire Facility Conference Room

