

NEW THREE STORY + BASEMENT RESIDENCE

KOREN RESIDENCE

308 2ND STREET
MANHATTAN BEACH, CA 90266

AC
05/17/2024



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#TOMAROARCHITECTURE
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GENERAL NOTES

- 2022 CBC, 2022 CRC, 2022 CMC, 2022 CEC, 2022 CGS, AND THE CITY OF MANHATTAN BEACH
- AGMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION MAIL WITH RETURN RECEIPT 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714)936-2009 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- ENTIRE BUILDING TO BE FULLY SPRINKLERED 2 - SEPARATE SPRINKLER SYSTEMS. EACH UNIT SHALL BE PROTECTED BY INDIVIDUAL FIRE SPRINKLER SYSTEM.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IPMIO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC, SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL, AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM A227-21) OR OIL TEMPERED WIRE (ASTM A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC 1211)
- DESIGN STANDARDS: MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC 1211.4)
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- SHORING PLANS SHALL BE PROVIDED UNDER SEPARATE PERMIT. PROVIDE CALCULATIONS AND GEOTECHNICAL REPORT AS PART OF SUBMITTAL.

LIST OF BMP's (BEST MANAGEMENT PRACTICES)

BMP'S WILL BE UTILIZED IN THE GRADING, BUILDING AND FINAL CONSTRUCTION PHASES OF THE PROJECT

- CA1 DEWATERING OPERATIONS - REMOVE SEDIMENTS FROM GROUND WATER
- CA2 PAVING OPERATIONS - REDUCE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS
- CA3 STRUCTURE CONSTRUCTION AND PAINTING - PREVENT & REDUCE DISCHARGE FROM CONSTRUCTION SITES & PAINTING PROJECTS
- CA10 MATERIAL DELIVERY AND STORAGE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY & STORAGE
- CA11 MATERIAL USE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE
- CA12 SPILL PREVENTION AND CONTROL - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING
- CA20 SOLID WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION
- CA21 HAZARDOUS WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS
- CA22 CONTAMINATED SOIL MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL
- CA23 CONCRETE WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE
- CA24 SANITARY/SEPTIC WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY & SEPTIC SYSTEMS
- CA30 VEHICLE AND EQUIPMENT CLEANING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND EQUIPMENT
- CA31 VEHICLE AND EQUIPMENT FUELING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES & EQUIPMENT
- CA32 VEHICLE AND EQUIPMENT MAINTENANCE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES & EQUIPMENT

PUBLIC WORKS NOTES

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS (HANDLED AND RECYCLED) MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
- EROSION AND SEDIMENT CONTROL DEVICES (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF 3" CAST IRON PIPE AND LABELED ON THE SITE PLAN. DRAIN LINES MUST BE SHOWN ON THE PLANS, CONNECTING ON-SITE DRAINAGE LINE TO SEWER LATERAL IS STRICTLY PROHIBITED.
- ALL CONCENTRATED RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE INTO _____ THROUGH THE DRAIN LINES AND MUST BE SHOWN ON THE PLANS WITH ALL REQUIRED OUTLET FLOW LINE ELEVATIONS AT THE DISCHARGE POINT.
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.
- SIDEWALK, DRIVEWAY, CURB, AND GUTTER CONSTRUCTION, REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, ST-3 AND ST-10. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (1%) OF SLOPE ON DRIVEWAY, AND DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. CITY RECOMMENDS THAT GARAGE FINISH FLOOR ELEVATION PER DESIGN PLANS BE HIGHER THAN EXISTING STREET GRADES. IN ORDER TO MINIMIZE POSSIBILITY OF ANY FUTURE FLOODING IN THE GARAGE, CITY PLANS/SURVEY MUST SHOW ELEVATIONS FOR EACH ADJOINING PROPERTY. NO DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES SHALL EXCEED MORE THAN 1/4".
- DRIVEWAY PROFILES EXCEEDING 10% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 15% ARE NOT PERMITTED.
- THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.76.030. THE DRIVEWAY APRON ON _____ MUST BE IMPROVED PER CITY STANDARD PLANS.
- PRIVATE USE OF THE PUBLIC RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT PER M.B.M.C. 7.36. A MINIMUM SETBACK OF 200 FEET IS REQUIRED BEHIND EXISTING OR REQUIRED STREET IMPROVEMENTS, AND MUST INCLUDE LANDSCAPE IMPROVEMENTS INCLUDING HARDSCAPE, FLATWORK OR LANDSCAPE GROUNDCOVER.
- CONTRACTOR TO PROTECT IN PLACE ALL EXISTING PROPERTY CORNERS DURING CONSTRUCTION. IF ANY OF THE PROPERTY CORNERS ARE REMOVED OR DESTROYED DURING CONSTRUCTION, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THEM.
- ALL EXISTING OR CONSTRUCTION RELATED DAMAGES OR DISPLACED CURB/GUTTER, SIDEWALK, DRIVEWAY APPROACH OR STREET MUST BE REPLACED AND SHOWN ON THE PLANS. ADDITIONAL PUBLIC IMPROVEMENTS MAY BE REQUIRED DURING AND/OR NEAR THE COMPLETION OF CONSTRUCTION PER M.B.M.C. 9.72 AS DETERMINED BY THE PUBLIC WORKS INSPECTOR BASED ON CONDITIONS OF PUBLIC IMPROVEMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, WALLS/FENCES, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIES.
- NEW 6" VCP SEWER LATERAL WILL BE INSTALLED IF THE EXISTING LATERAL IS LESS THAN 8" IN DIAMETER PER M.B.M.C. 5.36. SEWER CLEANOUT SHOULD BE LOCATED WITHIN PRIVATE PROPERTY LINES. A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM FIXTURES WITH FLOOR LEVEL RISERS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER PER CITY STANDARD PLAN ST-24.
- IF AN EXISTING SEWER LATERAL (6" MINIMUM) IS USED, IT MUST BE TELEVIEWED TO CHECK ITS STRUCTURAL INTEGRITY PRIOR TO ANY DEMOLITION WORK. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT AND MUST SHOW PROOF OF THE LOCATION OF WHERE IT WAS SHOT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY SEWER LATERAL NEEDS REPAIRING, REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION. VIDEOING OF LATERAL MUST BE IN ITS ORIGINAL STATE, NO CLEANING, FLUSHING OR ALTERING PRIOR TO VIDEOING IS PERMITTED.
- IF A NEW SEWER LATERAL IS TO BE INSTALLED AT A DIFFERENT LOCATION ON THE SEWER MAIN LINE, THE OLD LATERAL MUST BE CAPPED AT THE PROPERTY LINE AND AT THE MAIN LINE. PRIOR TO STRUCTURE DEMOLITION A SEWER CAP VERIFICATION AND APPROVAL FROM PUBLIC WORKS INSPECTOR IS REQUIRED.
- WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON THE PLANS. SEE CITY STANDARD PLAN ST-15. FOR EXISTING WATER SERVICE, RELOCATIONS AND/OR ABANDONMENT, WATER SERVICE MUST BE CAPPED AT THE MAIN AND AT THE METER.
- THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
- RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-12 OR C-34 LICENSE FOR ALL TRENCHING AND PAVING OR A CLASS C-18 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK CONSTRUCTED IN CONJUNCTION WITH A SINGLE-FAMILY RESIDENTIAL STRUCTURE. A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.

- PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
- THE CONTRACTOR SHALL MONITOR, SUPERVISE AND CONTROL ALL CONSTRUCTION AND CONSTRUCTION SUPPORTIVE ACTIVITIES, SO AS TO PREVENT THESE ACTIVITIES FROM CAUSING A PUBLIC NUISANCE, INCLUDING BUT NOT LIMITED TO, ENSURING STRICT ADHERENCE TO THE FOLLOWING:
 - REMOVAL OF DIRT, DEBRIS, OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET NO LATER THAN THE END OF EACH WORKING DAY.
 - ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 - ALL DUST CONTROL MEASURES PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) REQUIREMENTS SHALL BE ADHERED TO DURING THE CONSTRUCTION OPERATIONS.
 - ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.
- PUBLIC WORKS CORRECTIONS: MUST SHOW DRIVEWAY ELEVATION POINTS AT BOTH EDGES AND AT THE CENTER OF DRIVEWAY. IT MUST SHOW FROM THE CENTER LINE OF THE STREET TO THE CURB FLOW LINE AND FROM THE CURB FLOW LINE TO THE GARAGE FLOOR FINISH GRADE.
- IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION IN OR UPON ANY PUBLIC PLACE, TO PLACE AND MAINTAIN BARRIERS AND WARNING DEVICES FOR THE SAFETY OF THE GENERAL PUBLIC. M.B.M.C. 7.16.06. IF ANY EXCAVATION IS MADE ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK, ADEQUATE CROSSINGS SHALL BE MAINTAINED FOR VEHICLES AND PEDESTRIANS. M.B.M.C. 7.16.100.

PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLAT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF OBSTRUCTING DRIVEWAY VISIBILITY, COMBINED RETAINING AND FREE STANDING WALL).
- BUILDING ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.5" - PER SECT. R319.1
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDBOOK ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDER-GROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMIT CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDS THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (M.B.M.C.12.0300).
- A TREE REMOVAL PERMIT OR TREE PROTECTION PLAN IS REQUIRED FOR THE REMOVAL OR PRESERVATION OF TREES WITHIN THE FRONT YARD (RESIDENTIAL ZONES, AREA DISTRICT II, WEST OF SEPULVEDA BOULEVARD-NEMC: 10.52.120).
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: CBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCRONCH INTO THE REQUIRED PARKING OR VEHICLE MANEUVERING AREA.)

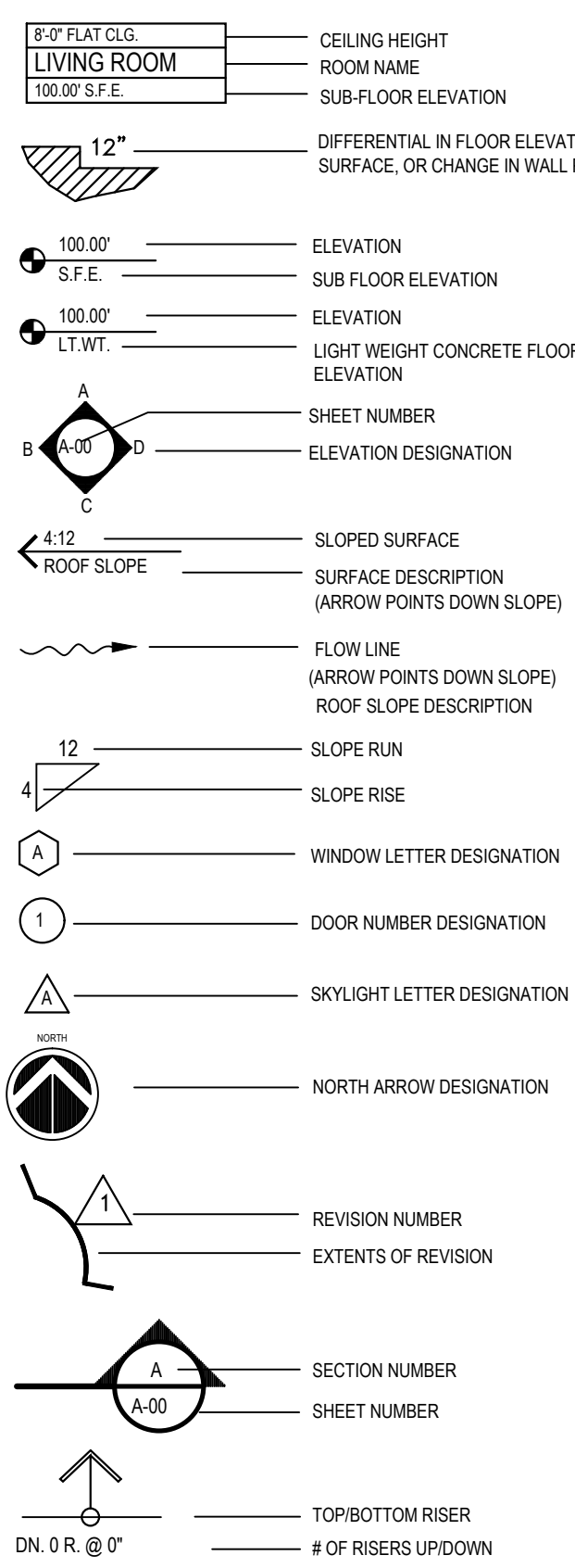
MAXIMUM HEIGHT NOTE

PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

SEPARATE PERMIT

CONTRACTOR TO SUBMIT SEPARATE PERMIT APPLICATIONS FOR SHORING, FIRE SPRINKLER SYSTEM, SWIMMING POOL, & ENCROACHMENT, SOLAR PANELS

SYMBOL LEGEND



ABBREVIATION

A.H.	ACTUAL HEIGHT	HT.	HEIGHT
A.W.	AWNING WINDOW	LAND.	LANDING
B.O.W.	BOTTOM OF WALL	LT.WT.	LIGHT WEIGHT CONCRETE
C.H.	CRITICAL HEIGHT	MAX.	MAXIMUM
CLG.	CEILING	MIN.	MINIMUM
CLR.	CLEAR	OP.	OPERABLE
COL.	COLUMN	PLINE.	PROPERTY LINE
CONC.	CONCRETE	REQ.	REQUIRED
C.W.	CASEMENT WINDOW	SECT.	SECTION
DIM.	DIMENSION	S.F.E.	SUB FLOOR ELEVATION
DN.	DOWN	SHT.	SHEET
ELEV.	ELEVATION	SK.	SKEWED
F.A.	FROM ABOVE	SL.	SLOPED
FLR.	FLOOR	T.O.W.	TOP OF WALL
FX.	FIXED		
HORZ.	HORIZONTAL		

CONSULTANTS

CIVIL SURVEY CONSULTANT

DENN ENGINEERS 310.542.9433
3914 DEL AMO BLVD. SUITE 921
TORRANCE, CA 90503

STRUCTURAL CONSULTANT

M.S. STRUCTURAL ENGINEERING INC. 310.869.7061
3719 EMERALD STREET, UNIT A
TORRANCE, CA 90503
msstructuralengineering@gmail.com

GEO-TECHNICAL CONSULTANT

NORCAL ENGINEERING 562.799.9469
10641 HUMBOLT STREET
LOS ALAMITOS, CA 90720

CIVIL-DRAINAGE AND GRADING

FCB CIVIL ENGINEERING 562.584.1071
572 SOUTH MOTIF STREET
ANAHEIM, CA 92805 fgbuendia@fcbengineers.com

ENERGY CONSULTANT

PROJECT DATA

PROPERTY OWNERS

DAVID KOREN
422 23rd STREET
MANHATTAN BEACH, CA 90266
(917) 580-2125
davekoren@gmail.com

LEGAL DESCRIPTION

PORTION OF LOT 1, BLOCK 81
MANHATTAN BEACH DIV. #2
M.S. 1-95-96
APN 4180-016-002
LOT AREA = 1460 SQFT

OCCUPANCY AND ZONING

OCCUPANCY: R3/U
ZONING: RM
CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLERED

AREA DISTRICT: III

NO. OF UNITS: 1

NO. OF STORIES: 3 + BASEMENT

SPRINKLERED: YES

CITY, STATE, NATIONALLY APPLICABLE CODES

2022 CRC, 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, STATE OF CALIFORNIA, AND THE CITY OF MANHATTAN BEACH

HEIGHT CALCULATIONS

103.76 + 104.98 + 105.26 + 106.00 = 420 / 4 = 105 + 30' = 135.00'
MAXIMUM ALLOWABLE HEIGHT = 135.00'

ACTUAL HEIGHT = 134.95'

AREA CALCULATIONS

	BASEMENT FLOOR	
BASEMENT FLOOR	= 105 + 787	892 S.F.
FIRST FLOOR	= 460 + 7	467S F.
SECOND FLOOR		959 S.F.
THIRD FLOOR		704 S.F.
TOTAL		3,022 S.F.
STORAGE / MECH AREA		153 S.F.
GARAGE		400 S.F.
BALCONY AREA = 40 + 70 + 291		401 S.F.

BUILDABLE FLOOR AREA CALC.

ALLOWED B.F.A = 1,460 X 1.60 = 2,336 S.F.

BASEMENT AREA COUNTED = (61+36)	97 S.F.
FIRST FLOOR = (460+7+9)	476 S.F.
SECOND FLOOR = (959-7)	968 S.F.
THIRD FLOOR	704 S.F.
TOTAL	2,245 S.F.

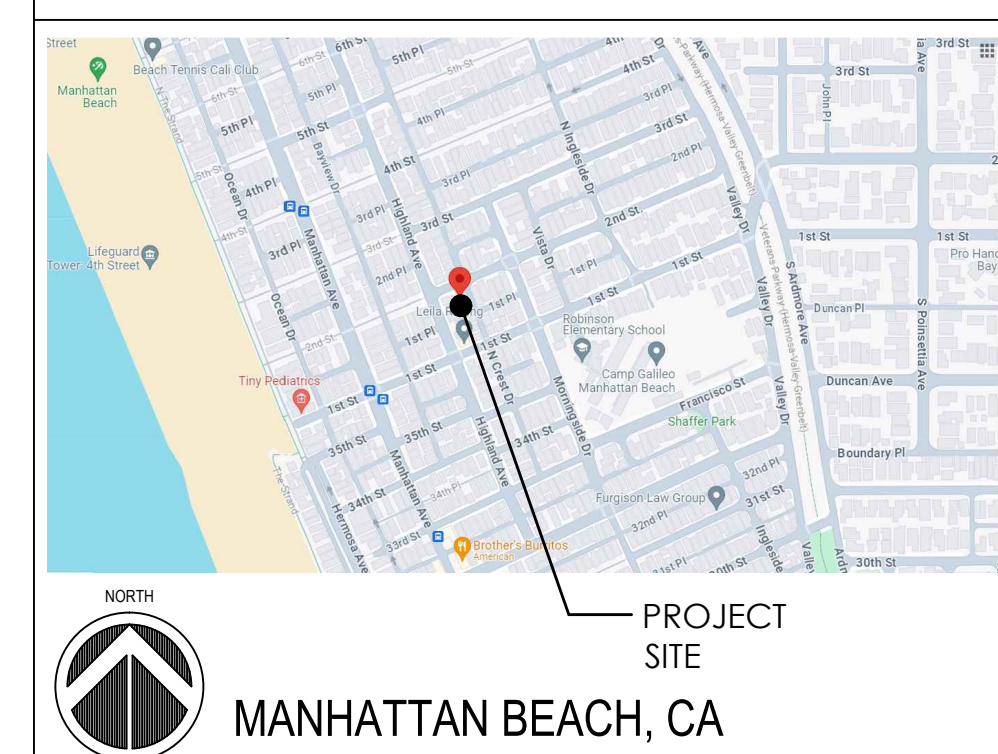
OPEN SPACE CALCULATION

TOTAL BUILDING FLOOR AREA	3,022 S.F.
REQUIRED OPEN SPACE @ 15% OF BFA	453 S.F.
PROVIDED:	
BASEMENT FLOOR	0
FIRST FLOOR = 40 + 162	202 S.F.
SECOND FLOOR	48 S.F.
THIRD FLOOR = 99 + 147 = 246	used = 226 S.F.
TOTAL	476 S.F.

PROJECT DATA

PROJECT DATA: NEW SINGLE FAMILY RESIDENCE BUILDING INFORMATION			
DESCRIPTION	EXISTING	PROPOSED	
PARCEL NUMBER(s):	--	--	
PROJECT ADDRESS(s):	308 2nd Street	308 2nd Street	
NO. OF STORIES:	2	3 + BASEMENT	
TYPE OF CONSTRUCTION:	Type V-B	Type V-B	
CODE CYCLE:		2022 California Code of Regulations Title 24	
OCCUPANT USE:	R-3/U	R-3/U	
AUTOMATIC FIRE SPRINKLER SYSTEM TYPE:		YES NFPA-13D	
SPECIAL CONDITIONS:	N/A	N/A	
MAIN RESIDENCE (gross floor area)			
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	GRADING DATA
INSIDE FOOTPRINT:			GRADING/ SITE WORK (CUBIC YARDS)
BASEMENT 2:	0	0	CUT: 286 CY
BASEMENT 1:	0	787	FILL: 0 CY
1 ST FLOOR:	0 S.F.	467 S.F.	NET EXPORT: 286 CY
2 ND FLOOR:	0	959 S.F.	
3 RD FLOOR:	0	704 S.F.	
GARAGE:	0 S.F.	400 S.F.	
DECKS OVER 30"	0	N/A S.F.	

VICINITY MAP



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DRAWING

PROJECT INFORMATION

SHEET NUMBER

G.01

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR
DAVID KOREN
1140 OCEAN DRIVE
MANHATTAN BEACH, CA 90266
PHONE 917-580-2125

JOB ADDRESS

308 2ND STREET
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION

PORTION OF LOT 1, BLOCK 81
MANHATTAN BEACH DIV. #2
M.B. 1-95-96
APN 4180-016-002

LOT AREA = 1460 SQFT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY: FM CHECK BY: TS

DRAWN ON: FEBRUARY 2, 2024

REVISIONS:
REVISIONS:

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+106.76	EXISTING ELEVATION		BLOCK WALL
	EXISTING CONTOUR		EXISTING FENCE

BCR	BEGINNING OF CURB RETURN
CATV	CABLE TV PULL BOX
CONC.	CONCRETE
CHIMN	CHIMNEY
CEFB	CITY ENGINEERS FIELD BOOK
CL	CENTERLINE
C.L. / W.L.F.	CHAIN LINK FENCE / WROUGHT IRON FENCE
ELY	EASTERLY
EG	EDGE OF GUTTER
EM	ELECTRIC METER
FF	FINISH FLOOR
FR	FIRE HYDRANT
FL	FLOWLINE
GFF	GARAGE FINISH FLOOR
GM	GAS METER
GUY / GW	GUY WIRE
I.P.	IRON PIPE MONUMENT
L&T	LEAD AND TACK TAG MONUMENT
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)
NLY	NORTHERLY
N&L AND TAG	NAIL AND TAG / NAIL AND WASHER MONUMENT
PE (CONT)	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)
PE	TELEPHONE / CABLE TV
PC	PROPERTY CORNER / PROP. CORNER
PL	PROPERTY LINE / PROP. LINE
PP / UP	POWER POLE / UTILITY POLE
PR	PARADET
PWFB	PUBLIC WORKS FIELD BOOK
R.R.	RAIL ROAD
RFB	ROAD DEPARTMENT FIELD BOOK
R.S.	RECORD OF SURVEY
SPN / S&W	SPRINKLER AND WASHER MONUMENT
SLY	SOUTHERLY
SSCO	SANITARY SEWER CLEANOUT
STK / STR&T	STAKE / STAKE AND TAG MONUMENT
STL / LT	STREET LIGHT POLE / LIGHT POLE
TC	TOP OF CURB
TK / BK	TOP-UP APRON / BOTTOM OF APRON
WLY	WESTERLY
WM	WATER METER

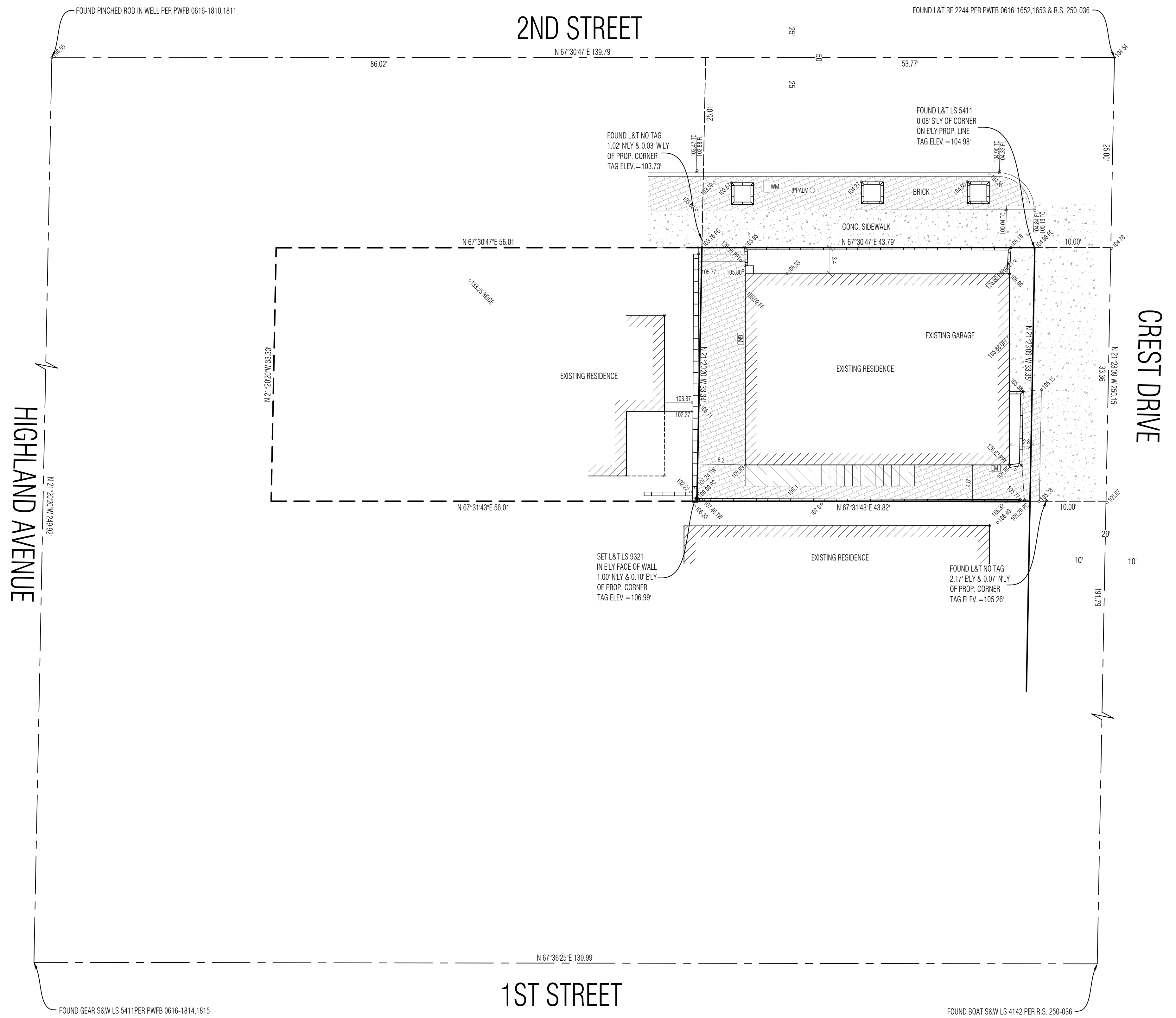
NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

COPYRIGHT

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT DENN ENGINEERS' RISK AND UNDER NO CIRCUMSTANCES SHALL DENN ENGINEERS BE RESPONSIBLE FOR ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

C.01

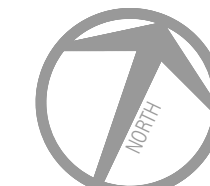
JOB NO. 24-022



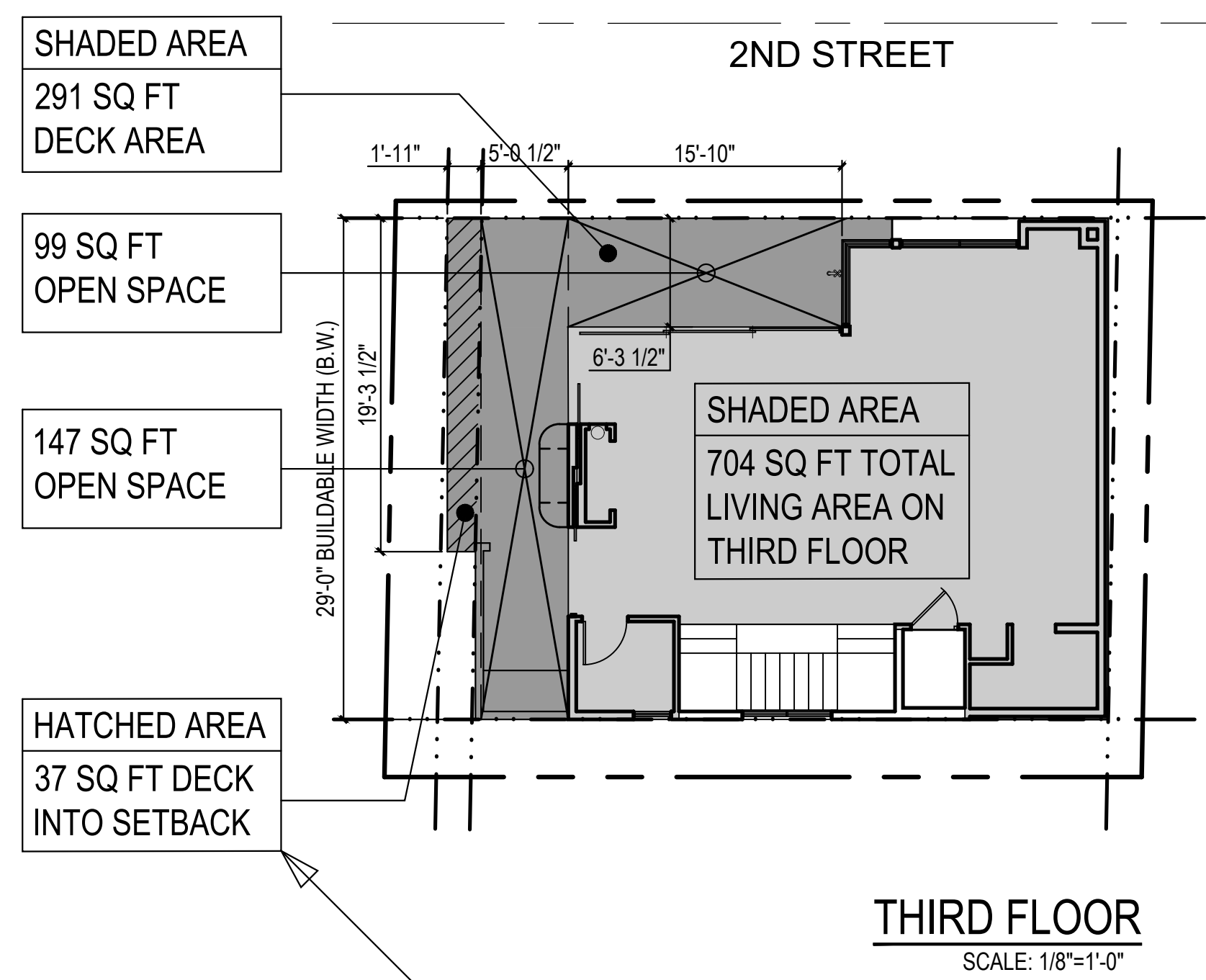
BENCHMARK NOTE
FOUND L&T RE 2244 CENTERLINE OF 2ND STREET AND CREST DRIVE
ASSUMED ELEVATION = 104.54

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO PLOTTABLE EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:

PACIFIC COAST TITLE COMPANY
ORDER NO. 10287770
DATED DECEMBER 26, 2023

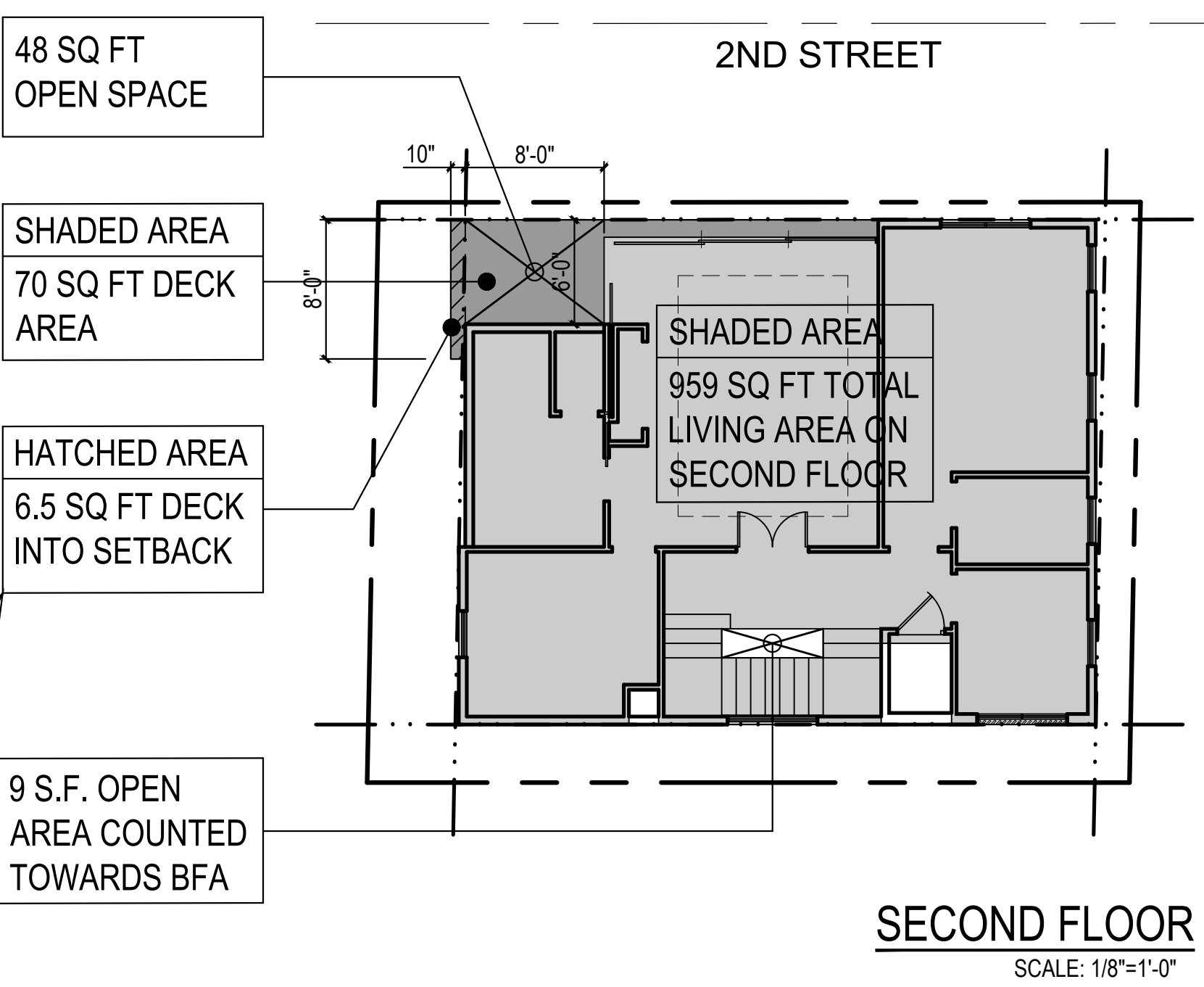


SCALE 1" = 8'

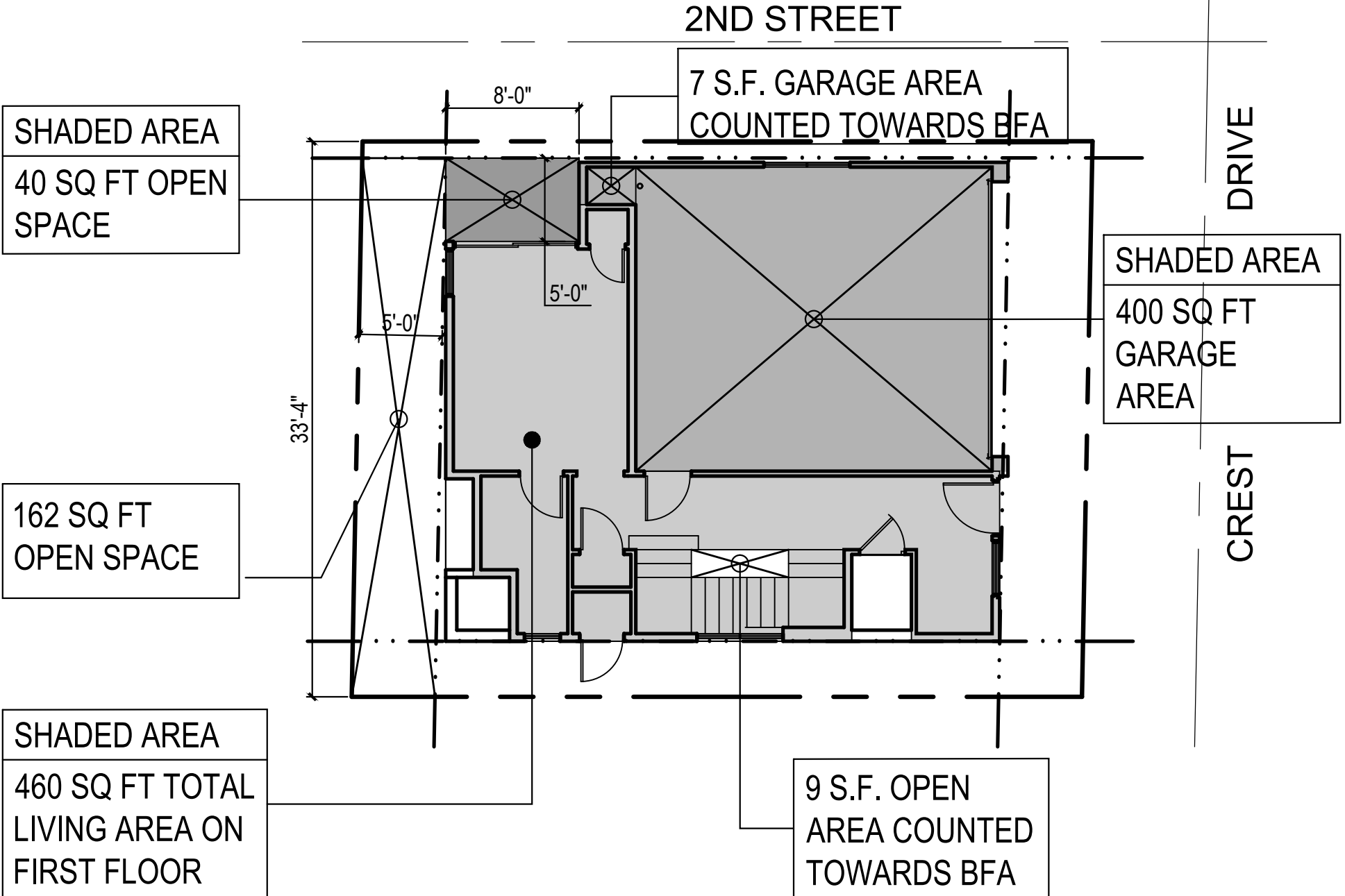


THIRD FLOOR
SCALE: 1/8"=1'-0"

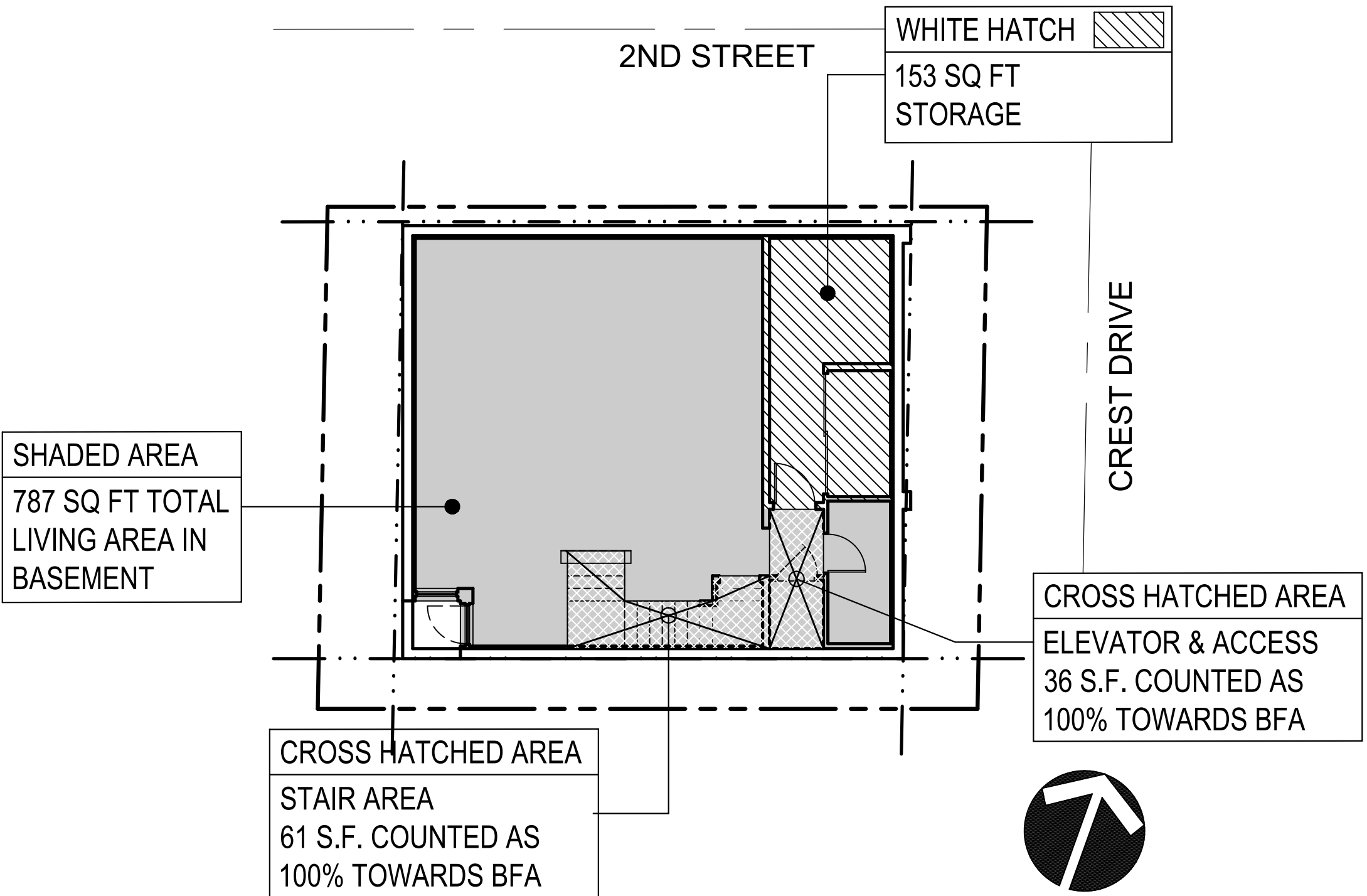
ALLOWABLE BALCONY IN REAR SETBACK
<ul style="list-style-type: none"> BUILDING WIDTH OF LOT = 29'-0" 1/2 BUILDABLE WITH OF LOT = 14.5 S.F. ALLOWABLE AREA = 14.5 x 3 = 43.5 S.F.
ACTUAL BALCONY IN REAR SETBACK
<ul style="list-style-type: none"> SECOND FLOOR = 6.5 S.F. THIRD FLOOR = 37 S.F. TOTAL AREA = 43.5 S.F.



SECOND FLOOR
SCALE: 1/8"=1'-0"



FIRST FLOOR
SCALE: 1/8"=1'-0"



BASEMENT FLOOR
SCALE: 1/8"=1'-0"

AREA CALCULATIONS

LOT AREA = 1,460 S.F.	BASEMENT FLOOR
BASEMENT FLOOR = 105 + 787	892 S.F.
FIRST FLOOR = 460 + 7	467 S.F.
SECOND FLOOR = 959	959 S.F.
THIRD FLOOR = 704	704 S.F.
TOTAL	3,022 S.F.
STORAGE / MECH AREA	153 S.F.
GARAGE	400 S.F.
BALCONY AREA = 40 + 70 + 291	401 S.F.

BUILDABLE FLOOR AREA CALC.

ALLOWED B.F.A = 1,460 X 1.60 =	2,336 S.F.
BASEMENT AREA COUNTED = (61+36)	97 S.F.
FIRST FLOOR = (460+7+9)	476 S.F.
SECOND FLOOR = (959+9)	968 S.F.
THIRD FLOOR = 704	704 S.F.
TOTAL	2,245 S.F.

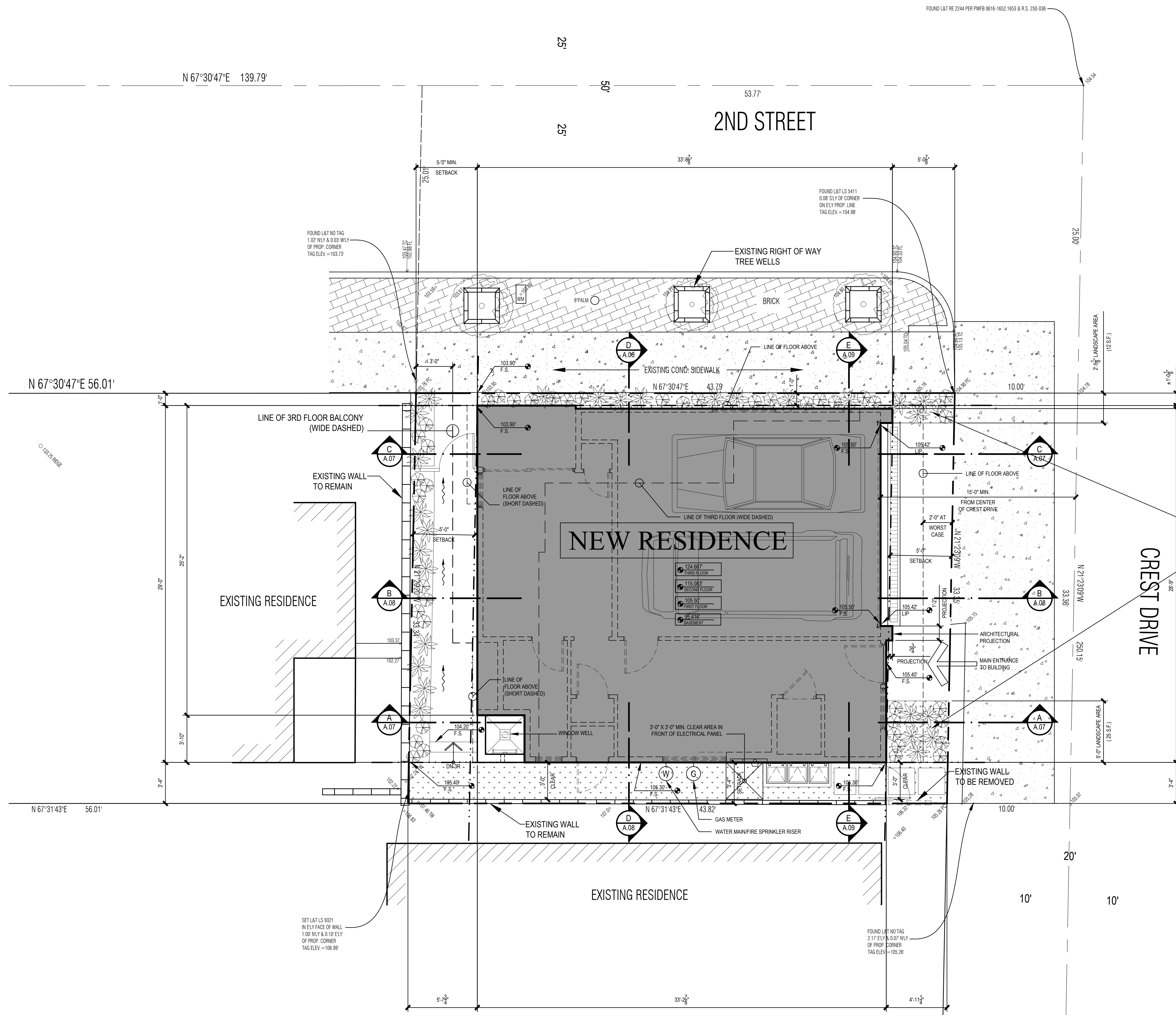
OPEN SPACE CALCULATION

TOTAL BUILDING FLOOR AREA (Basement 100%)	3,040 S.F.
REQUIRED OPEN SPACE @ 15% OF BFA	456 S.F.
PROVIDED:	
BASEMENT FLOOR	0
FIRST FLOOR = 40 + 162	202 S.F.
SECOND FLOOR	48 S.F.
THIRD FLOOR = 99 + 147 = 246	used ~ 228 S.F.
TOTAL	478 S.F.

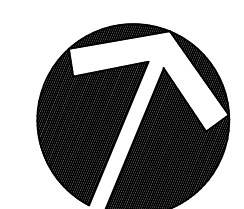
LEGEND

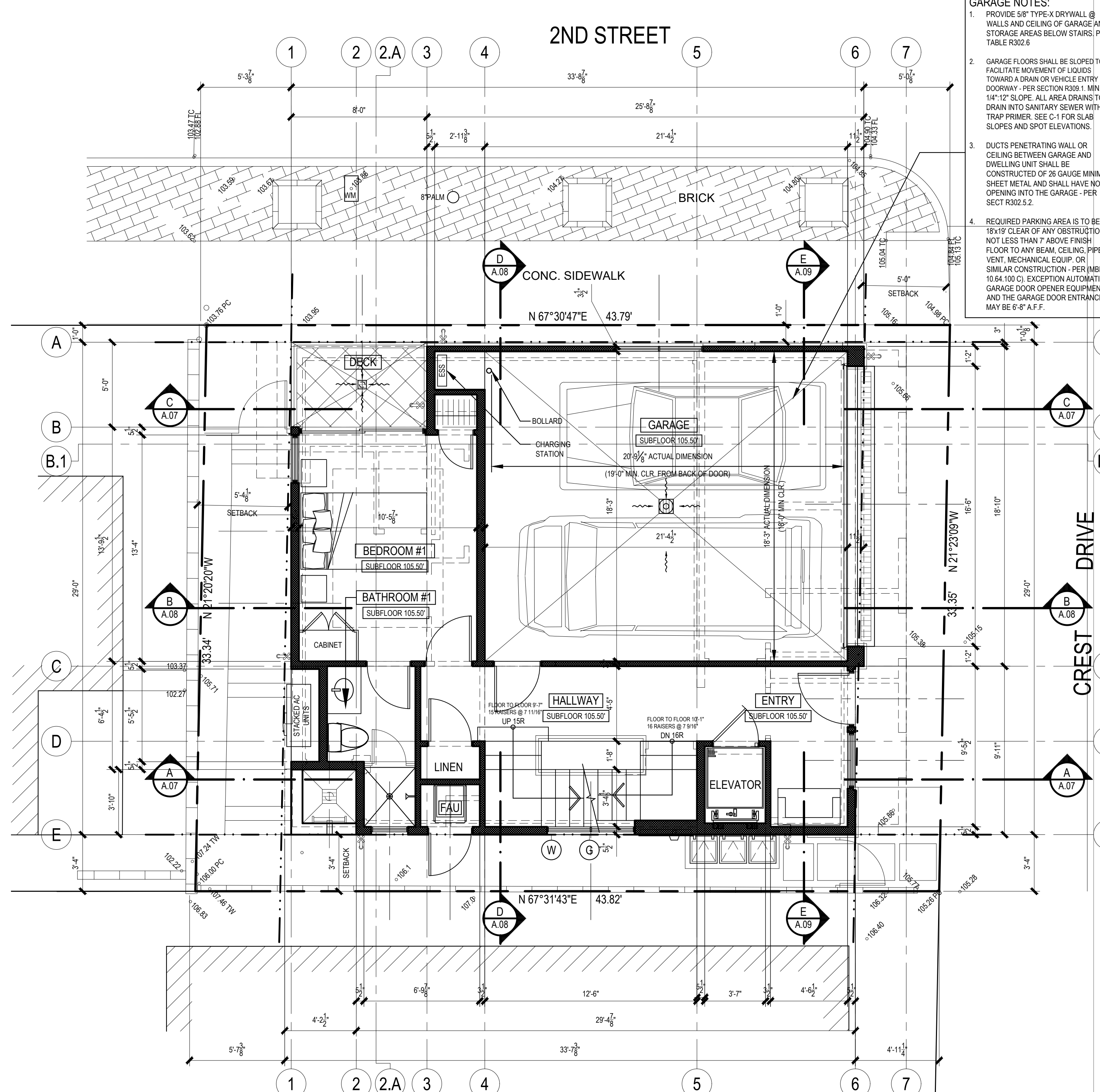
[Solid Grey]	LIVING AREA
[Diagonal Hatching]	BASEMENT AREA COUNTED 30% TOWARD BFA
[White]	BASEMENT AREA COUNTED 100% TOWARD BFA
[Cross Hatching]	STORAGE AREA
[Dark Grey]	GARAGE AREA
[Light Grey]	DECK / BALCONY
[Hatched]	DECK INTO SETBACK

NUMBER	DESCRIPTION	DATE



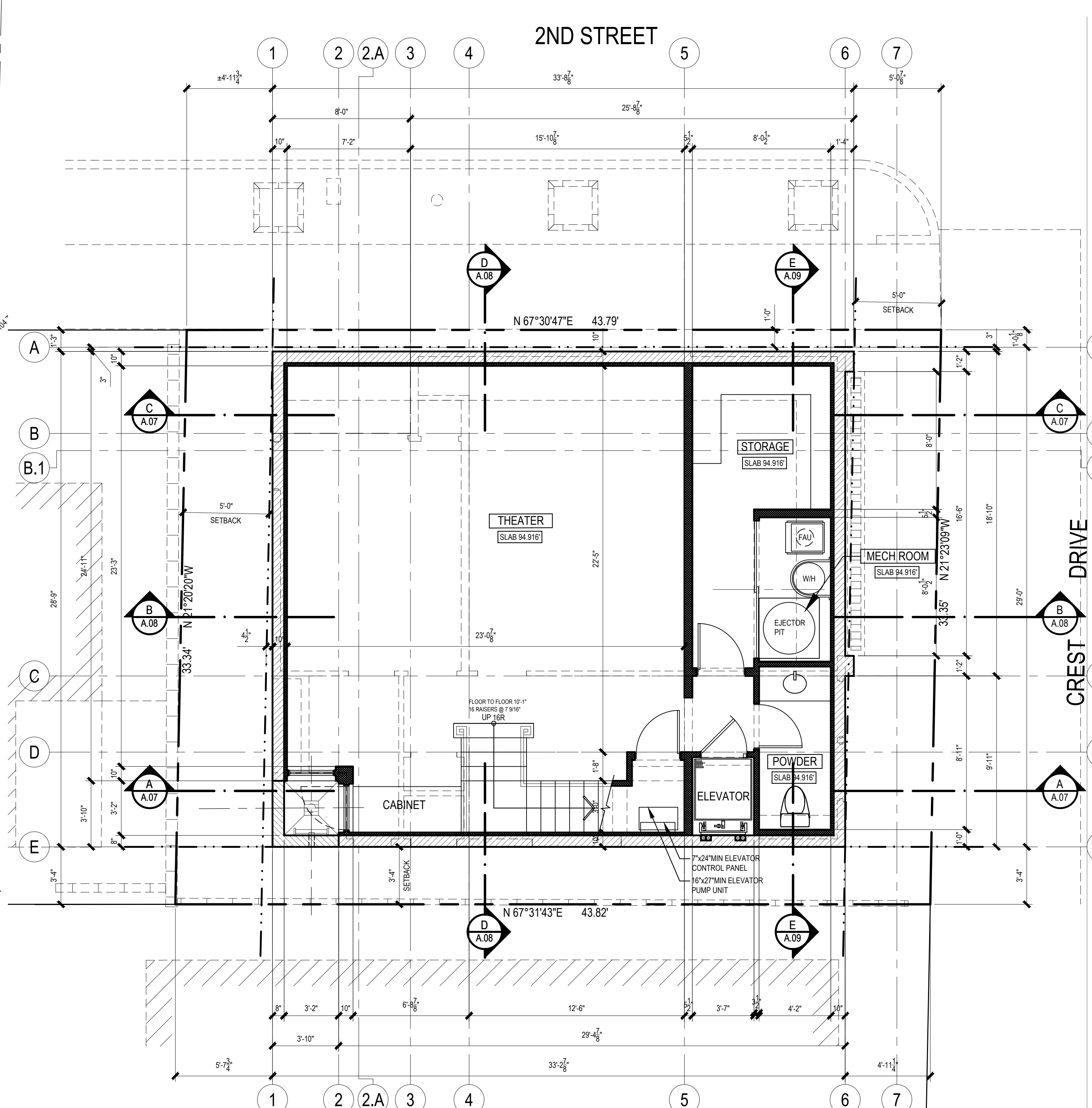
REQ'D LANDSCAPE AREA IN FRONT YARD
= 20% OF SETBACK
= 0.2 X 167 = 33.4 S.F.
LANDSCAPE AREA PROVIDED
= 25 + 12 = 37 S.F.





GARAGE NOTES

1. PROVIDE 5/8" TYPE-X DRYWALL @ WALLS AND CEILING OF GARAGE AND STORAGE AREAS BELOW STAIRS; PER TABLE R302.6
2. GARAGE FLOORS SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY - PER SECTION R309.1. MIN. 1/4" SLOPE. ALL AREA DRAINS TO DRAIN INTO SANITARY SEWER WITH TRAP PRIMER. SEE C-1 FOR SLAB SLOPES AND SPOT ELEVATIONS.
3. DUCTS PENETRATING WALL OR CEILING BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAUGE MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECT R302.5.2
4. REQUIRED PARKING AREA IS TO BE 18'x19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7' ABOVE FINISH FLOOR TO ANY BEAM, CEILING PIPE, VENT, MECHANICAL EQUIP. OR SIMILAR CONSTRUCTION - PER (MBC 10 64.100 C), EXCEPTION AUTOMATIC GARAGE DOOR OPENER EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6'-8" A.F.F.

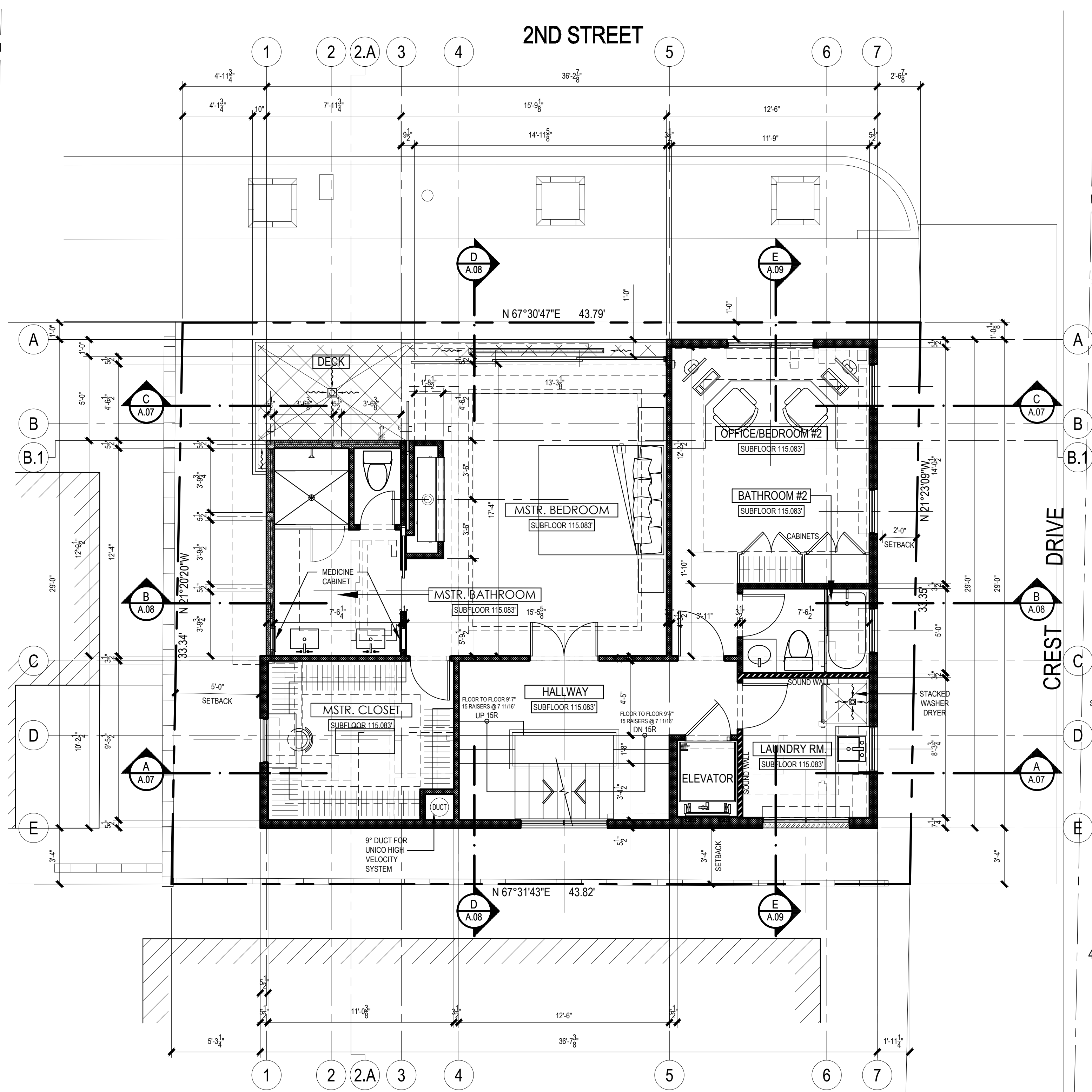
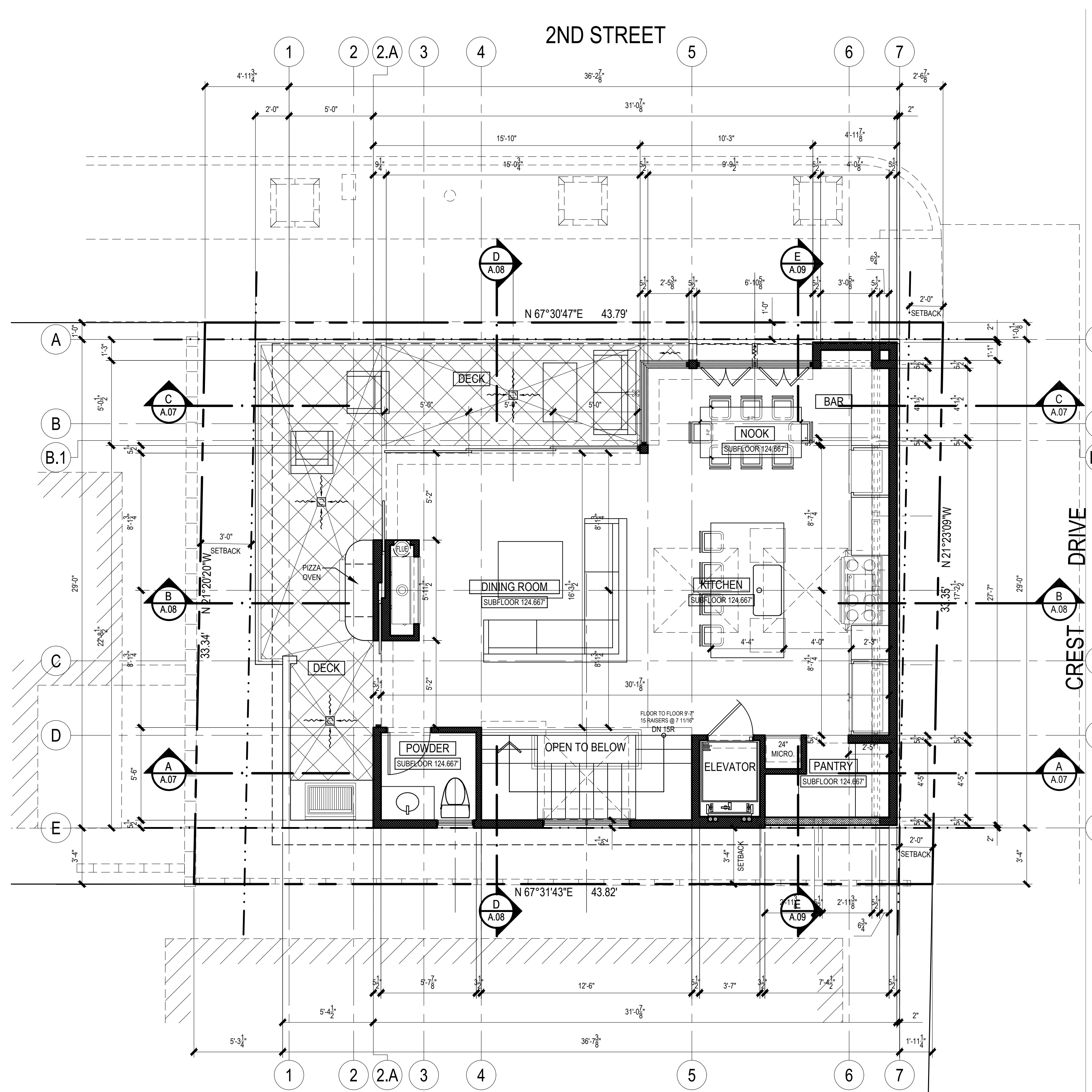


FLOOR PLAN KEY NOTES

- | | | | | | |
|--|--|---|---|---|--|
| 1 HOSE BIBB | 11 SINGLE POLE & SHELF | 21 ELEVATOR SHAFT TO BE A 1 HOUR FIRE ENCLOSURE. PROVIDE 5/8" TYPE X DRYWALL ON BOTH SIDES OF WALLS & CLG. ELEVATOR DOORS SHALL BE 1-HOUR FIRE RATED PER UBC SECTION 711. | 30 42" HIGH DECK RAILING | 39 SINK - KOHLER K-5871-SUA3-0 RIVERBY(R) 33" X 22" X 9-5/8" UNDERMOUNT SINGLE-BOWL KITCHEN SINK WITH ACCESSORIES | 49 LAUNDRY SINK |
| 2 UNDER STAIRS TO BE PROTECTED W/ 1 HOUR CONSTRUCTION. PROVIDE 5/8" TYPE-X DRYWALL AT WALLS AND CEILING. | 12 FLOOR DRAIN | 22 ELEVATOR-SEE DETAIL | 31 PROVIDE DECK DRAIN W/ 3" DIA. DRAIN LINE TO TIE INTO SITE DRAINAGE THROUGH POSITIVE FLOW. SEE DETAIL | 40 DISHWASHER - MIELE G5056SCVSPF 11638730 24" DW GS SS PANEL POCKET HANDLE TOP CONTROL CTS FULLY INTEGRATED DISHWASHERS | 50 WASHER |
| 3 SHOWER ENCLOSURE TO HAVE A MIN. INTERIOR 1024 SQ. IN. AND CAPABLE OF ENCOMPASSING 30" CIRCLE. (CPC. 412.7) AND 70" HIGH ABOVE DRAIN TILE SURFACE ON SIDES. | 13 EGRESS WINDOW W/ 20" MIN. CLEAR WIDTH OPENING | 23 ELEVATOR-EQUIPMENT | 32 DECK TO HAVE 1/2" SLOPE AND PROVIDE STONE TILE APPLIED WITH THINSET OVER FLOAT BED OVER MER-KO-SHUR 10CR ER-5668 WATERPROOF WALKING DECK SYSTEM. (TYPICAL ALL DECKS) | 41 RANGE W/ HOOD ABOVE - WOLF GR366 36" GAS RANGES - 6 BURNERS W/ WOLF PL342212 34" PRO HOOD LINER - 22" DEEP | 51 DRYER |
| 4 STONE TILE SHOWER TO CEILING WITH CERAMIC TILE SHOWER PAN | 14 WINDOW WELL LADDER | 24 [FAU] FURNACE (SEE SHEET M-01) | 33 SPARK FIRE RIBBON (NON WOOD-BURNING) ANSI Z21.85-2009/CSA 2.33-2009 | 42 OVEN - WOLF SPO24 SERIES PROFESSIONAL DROP-DOWN DOOR SPEED OVEN | 52 +30" STONE SLAB VANITY COUNTER TOP WITH KNEE SPACE BELOW |
| 5 FRAMELESS 1/2" THK. TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES | 15 LINE OF CEILING (SEE REFLECTED CEILING PLAN) | 25 TANKLESS WATER HEATER (SEE SHEET M-01) | 34 PROPOSED TRASH AREA | 43 BEVERAGE CENTER - SUB-ZERO DEU2450BGR 24" DESIGNER UNDERCOUNTER BEVERAGE CENTER OPANEL READY WITH GLASS DOOR - RIGHT HINGE | 53 CLOSET NOTE: PROVIDE SHELVES AND POLES, SHOE RACKS, AND CABINET UNIT WITH DRAWERS |
| 6 PROVIDE SOAP NICHES. OWNER SHALL APPROVE LOCATIONS | 16 BUILT-IN CABINETS (SEE OWNER FOR SPECS) | 26 SEWAGE EJECTOR (SEE SHEET M-01) | 35 PROPOSED LOCATION OF GAS METER | 44 BEVERAGE & WINE CENTER - INFINITY PRO HDX 30" DUAL ZONE WINE & BEVERAGE CENTER | 54 WINDOW SEAT ±19" HIGH |
| 7 24"x30" CLEAR AREA IN FRONT OF TOILET | 17 LINE OF CABINERY ABOVE | 27 LINEN CLOSET | 36 PROPOSED LOCATION OF 400 AMP ELECTRIC SERVICE PANEL | 45 COFFEE AND MICROWAVE W/ WARMING DRAWER BELOW | |
| 8 +36" STONE SLAB COUNTER TOP WITH BACK SPLASH WITH BASE CABINET | 18 LINE OF FIRST FLOOR ABOVE | 28 WET BAR WITH A SINK AND A REFRIGERATOR BELOW THE COUNTERTOP | 37 REFRIGERATOR - SUB-ZERO CL4850S/O 48" CLASSIC SIDE-BY-SIDE REFRIGERATOR/FREEZER - PANEL READY | 46 +36" STONE SLAB COUNTER TOP AND 18" MIN. BACK SPLASH | |
| 9 RECESSED MEDICINE CABINET | 19 STAIRS-SEE DETAIL | 29 BUILT-IN DESK SHALL BE 3' WIDE MINIMUM TO SERVE AS EGRESS LANDING | 38 TRASH COMPACTOR | 47 +42" ISLAND STONE SLAB COUNTER | |
| 10 DOORS TO BE SELF-CLOSING AND SELF-LATCHING. 1-3/4" MIN. THICK SOLID WOOD DOORS OR HONEYCOMB CORE STEEL DOOR, OR MIN. 20 MINUTE RATED FIRE DOOR ASSEMBLY. | 20 42" HIGH INTERIOR RAILING | | | 48 PEDESTAL SINK | |

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN KEY NOTES

- | | | | | | |
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THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- LATH, PLASTER, AND DRYWALL TO CONFORM TO THE REQUIREMENTS OF THE CBC CHAPTER 25.
- ALL EXTERIOR WALLS TO HAVE #15 FELT PAPER UNDER WIRE LATH.
- PROVIDE TWO LAYERS OF #15 FELT UNDER ALL REQUIRED SHEAR WALLS PRIOR TO LATH AND STUCCO, AND ONE LAYER OF #15 FELT UNDER ALL OTHER WALLS PRIOR TO LATH AND STUCCO.
- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
- ALL FIBERGLASS TUBSHOWER SHALL SHOW IAPMO APPROVAL NUMBER.
- ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE.
- ALL TOILETS TO BE LOW FLOW (1.6 GFLUSH), SHOWERHEADS (2.5 GPM), FAUCETS (2.2 GPM).
- MASONRY AND FACTORY BUILT FIREPLACES SHALL HAVE THE FOLLOWING:
 - TIGHT FITTING CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX (THIS REQUIREMENT MAY BE OMITTED IF SUCH DOORS WOULD INTERACT WITH DEVICES PERMANENTLY INSTALLED IN THE FIREPLACE WHICH ARE DESIGNED TO INCREASE THE CIRCULATION OF HEAT).
 - TIGHT FITTING FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL. (TITLE 24-2-5352(D)).
 - A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST 3/8" IN. IN AREA AND EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT FITTING DAMPER.
- INSPECTION OF NAILING REQUIRED FOR DRYWALL AND ALL LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SPACING TO BE 3/8" MAX. (SECTION 2505.1-2505.3 CBC).
- SKYLIGHT NOTES:
 - SKYLIGHT TO BE DOUBLE INSULATED LAMINATED GLASS. VELLUX OR EQUAL. FIELD VERIFY SLOPE AND SIZE PRIOR TO FABRICATION. PROVIDE GRAY 77% TINT TO SKYLIGHT. UNIT TO BE MULLED TOGETHER BY MANUFACTURER. (IF THE UNIT IS A MULLED UNIT) FRAME TO BE BRONZE ANODIZED ALUMINUM.
 - PROVIDE NO LESS THAN 1 S.F. OF ATTIC VENTILATION FOR EVERY 150 S.F. OF ATTIC AREA.
 - PROVIDE NO LESS THAN 1 S.F. OF UNDER FLOOR VENTILATION FOR EVERY 150 S.F. OF UNDER FLOOR AREA.
 - PROVIDE A WEEP SCREED BELOW FOUNDATION LINE AT 2" ABOVE PAVED AREAS ON EXTERIOR STUD WALLS AND AT 4" ABOVE EARTH. WEEP SCREED TO BE MIN. 26 GAUGE CORROSION RESISTANT.
 - ALL SHOWERS OR TUBSHOWERS TO HAVE CERAMIC TILE TO 7" ABOVE SHOWER DRAIN.
 - PROVIDE 2" MINIMUM (1" FOR EXTERIOR CHIMNEYS) CLEAR AIR SPACE BETWEEN CHIMNEY AND WOOD CONSTRUCTION.
 - FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS SHALL BE PROVIDED WITH AN ACCESS PANEL OR UTILITY SPACE NOT LESS THAN TWELVE (12) INCHES (305 MM) IN ITS LEAST DIMENSION AND SO ARRANGED WITHOUT OBSTRUCTIONS AS TO MAKE SUCH CONNECTIONS ACCESSIBLE FOR INSPECTION AND REPAIR. (CPC 404.2)
 - ALL EXTERIOR JOINTS PENETRATIONS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED.
 - INSTALLATION OF APPROVED ENERGY EFFICIENT SHOWER HEADS, FAUCETS AND WATER HEATERS ARE REQUIRED.
 - PROVIDE A WEEP SCREED BELOW FOUNDATION LINE AT 2" ABOVE PAVED AREAS ON EXTERIOR STUD WALLS AND AT 4" ABOVE EARTH. WEEP SCREED TO BE MIN. 26 GAUGE CORROSION RESISTANT.
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 - INSTALLATION OF APPROVED ENERGY EFFICIENT SHOWER HEADS, FAUCETS AND WATER HEATERS ARE REQUIRED.
 - OSB IS NOT AN ACCEPTABLE SUBSTITUTE FOR CDX PLYWOOD AT EXTERIOR DECKS OR UNDER HARDWOOD VENEER FLOORING.
 - 20 CONDUIT UNDER DRIVEWAY OR PARKING LOT TO BE UNDER TWO FT. OF COVER. NEC ARTICLE 300-5 AS IT OCCURS.
 - A 12" MINIMUM ACCESS PANEL TO BATH/TUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS (405.2 UPC).
 - EXTERIOR STAIRS AND BALCONIES MUST BE POSITIVELY ATTACHED TO THE STRUCTURE WITHOUT THE USE OF TOENAILS OR NAILS IN WITHDRAWAL.
 - ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL. (PERMANENT IF TEMPERED) AS SAFETY GLAZING. GLAZING IN ALL DOORS BATH AND SHOWER ENCLOSURES. ALL GLAZING WITHIN A 24" ARC OF A DOOR EDGE. PANELS OVER 9 S.F. HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE THE FLOOR AND ALL GLAZING IN HAND RAILS.
 - PROVIDE 2" CLEAR FROM MASONRY FIREPLACE TO ALL WOOD FRAMING.
 - CONTROL VALVES FOR SHOWERS AND TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC - MIXING VALVE TYPE. (CPC SEC 410.7) PROVIDE SOLAR PHOTOVOLTAIC AS REQUIRED BY PRESCRIPTIVE OR PERFORMANCE ENERGY COMPLIANCE. SOLAR PANELS SHALL COMPLY WITH HEIGHT LIMITS PRESCRIBED BY THE ZONING CODE. ADD A NOTE TO THE PLANS THAT SOLAR PHOTOVOLTAIC MUST BE INSTALLED PRIOR TO APPROVAL OF FINAL INSPECTION AND PRIOR TO OCCUPANCY OF THE BUILDING.
 - PROVIDE SOLAR PHOTOVOLTAIC AS REQUIRED BY PRESCRIPTIVE OR PERFORMANCE ENERGY COMPLIANCE. SOLAR PANELS SHALL COMPLY WITH HEIGHT LIMITS PRESCRIBED BY THE ZONING CODE. ADD A NOTE TO THE PLANS THAT SOLAR PHOTOVOLTAIC MUST BE INSTALLED PRIOR TO APPROVAL OF FINAL INSPECTION AND PRIOR TO OCCUPANCY OF THE BUILDING.
 - UNDERGROUND UTILITIES REQUIRED [MBC 9.12.050]. ALL ELECTRICAL, TELEPHONE, CABLE, TELEVISION SYSTEM, AND SIMILAR SERVICE WIRES AND CABLES THAT PROVIDE DIRECT SERVICE TO NEW MAIN BUILDINGS, NEW ACCESSORY BUILDINGS, AND STRUCTURES, SHALL BE INSTALLED UNDERGROUND.
 - PROVIDE A 36-INCH DEEP BY EQUIPMENT WIDTH (30-INCH MINIMUM) BY SIX-FOOT SIX-INCH HIGH CLEAR UNOBSTRUCTED WORK AREA FROM THE FACE OF THE ELECTRICAL PANEL TO THE FINISHED SURFACE OF ANY ADJACENT RETAINING WALL SHORING/PROPERTY LINE WALL OR FENCE. PLEASE BE ADVISED THAT THIS REQUIREMENT MAY REQUIRE A WIDER SIDE YARD SETBACK THAN THE ZONING CODE REQUIRES. (CEC 110.28[A])
 - ALL ABOVE-GROUND EXTERIOR CONDUIT MUST BE RIGID GALVANIZED STEEL OR SCHEDULE 80 SUNLIGHT RESISTANT NON-METALLIC CONDUIT. [MBC 9.12.050]
 - ALL CONDUCTORS SHALL BE OF COPPER. [MBC 9.12.060]
 - PROJECTIONS BEYOND THE EXTERIOR WALL SHALL HAVE A MINIMUM FIRE SEPARATION DISTANCE OF 24 INCHES. PROJECTIONS LESS THAN 3 FEET FIRE SEPARATION DISTANCE SHALL BE 1-HOUR FIRE RATED ON THE UNDERSIDE. [TABES R202.11] & R202.12 (2) CBC
 - EGRESS FROM HABITABLE LEVELS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR SHALL BE BY MEANS OF A STAIRWAY OR RAMP OR BOTH FOR HABITABLE LEVELS OR BASEMENTS MORE THAN ONE STORY ABOVE OR BELOW AN EGRESS DOOR. THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM THAT LEVEL SHALL NOT EXCEED 50 FEET. [R311.4 CRC, § 1008.3 CBC]
 - THE EGRESS DOOR SHALL BE A SIDE-HINGED SWINGING DOOR, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 20 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. [R311.2 CRC, § 1010.1.2 CBC]
 - EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING UNIT WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. ADD NOTE TO PLANS. [R311.2 CRC, § 1010.1.9 CBC]
 - PROVIDE A FLOOR OR LANDING ON EACH SIDE OF EVERY EXTERIOR DOOR. LANDING SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR DOOR WHICHEVER IS GREATER AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36 INCHES. [R311.3 CRC, § 1010.1.6 CBC]

ROOF PLAN KEY NOTES

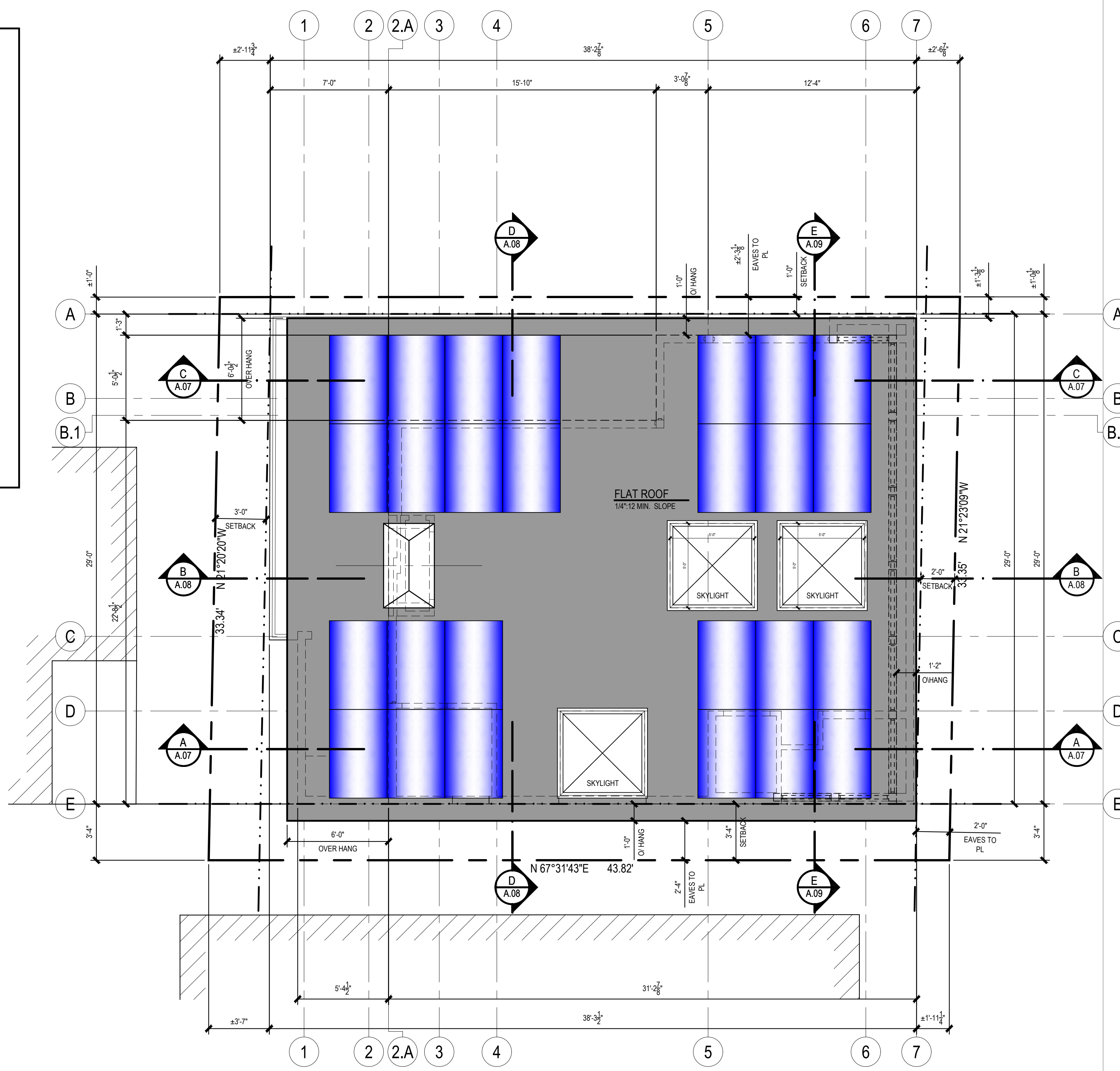
1	FLAT ROOFING:	BUILT-UP HOT MOP ROOFING: BASE SHEET CONSTRUCTED WITH A STRONG GLASS MAT THAT IS COATED ON BOTH SIDES TO ASSURE A CLOSED SHEET DESIGN TO PREVENT ASPHALT BLEED-THROUGH. MULTI PLY SHEETS USE PREMIUM-PERFORMING FIBERGLASS TYPE V ROOFING FELT AND AN CAP SHEET WITH ASPHALT COATED GLASS FIBER MAT CAP SHEET SURFACED WITH MINERAL GRANULES. WITH 1/4" PER 12" MIN. SLOPE. INSTALL PER MANUFACTURERS SPECIFICATIONS, MINIMUM CLASS B FIRE RATING.
2	CRICKET:	PROVIDE CRICKETS AS REQD AROUND CHIMNEYS AND AS SHOWN. MIN. 1/2" : 12" SLOPE.
3	ROOF DRAIN:	THUNDERBIRD ROOF DRAIN W/ 3/8" DRAIN LINE W/ BUILT IN OVERFLOW ROOF DRAIN AT 2" ABOVE ROOF LOW POINT. ROOF DRAINAGE SYSTEM SHALL BE CONNECTED TO THE NEAREST ON SITE DRAINAGE LINE. SEE DETAIL.
4	CHIMNEY:	CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICC-ES CHIMNEY SHROUD TO HOUSE ICC-ES APPROVED SPARK ARRESTOR TO TOP OF ICC-ES PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2" ABOVE ANY PART OF ROOF WITHIN 10'. SEE DETAILS.
5	GUTTERS & DOWNSPOUTS:	4" BONDERIZED METAL BOX-SHAPED GUTTER WITH 3" SQUARE BONDERIZED METAL DOWNSPOUTS
6	SKYLIGHT:	ACRALIGHT OR EQUAL SKYLIGHT. FLAT. GLAZING TO BE SELECTED BY OWNER, ICC-ES ESR-2415
7	EAVES:	BONDERIZED METAL FASCIA (ARCHITECT TO APPROVE COLOR). SEE DETAIL.
8	SOLAR PANELS:	PROFILE OF SOLAR PANELS. SOLAR PANEL UNDER SEPARATE PERMIT
9	BUILDING LINE:	BUILDING LINE BELOW

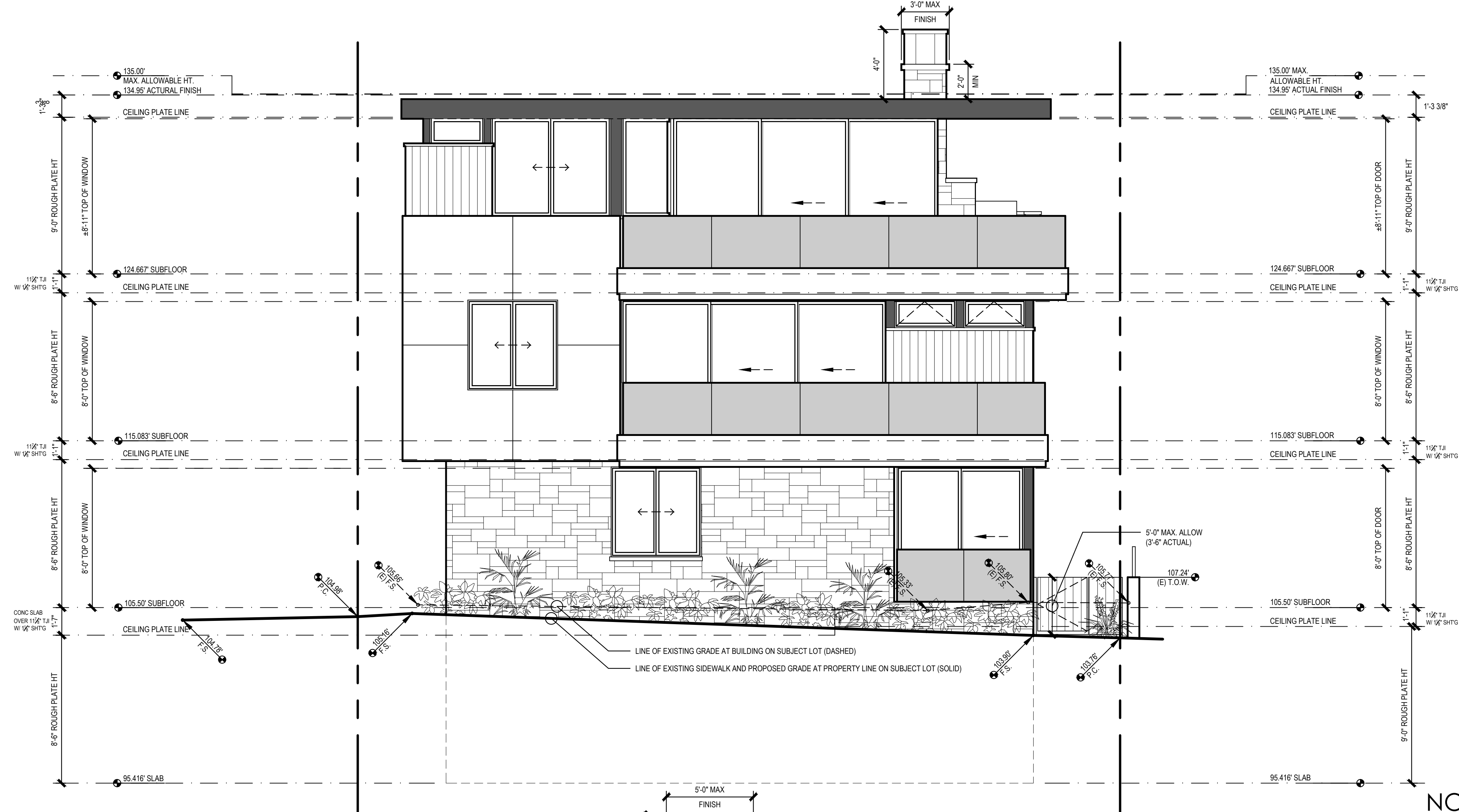
NOTES:

- ALL ROOF DRAINAGE TO BE CONNECTED INTO SITE DRAINAGE LINE. REFER TO SITE PLAN FOR PERTINENT INFORMATION.

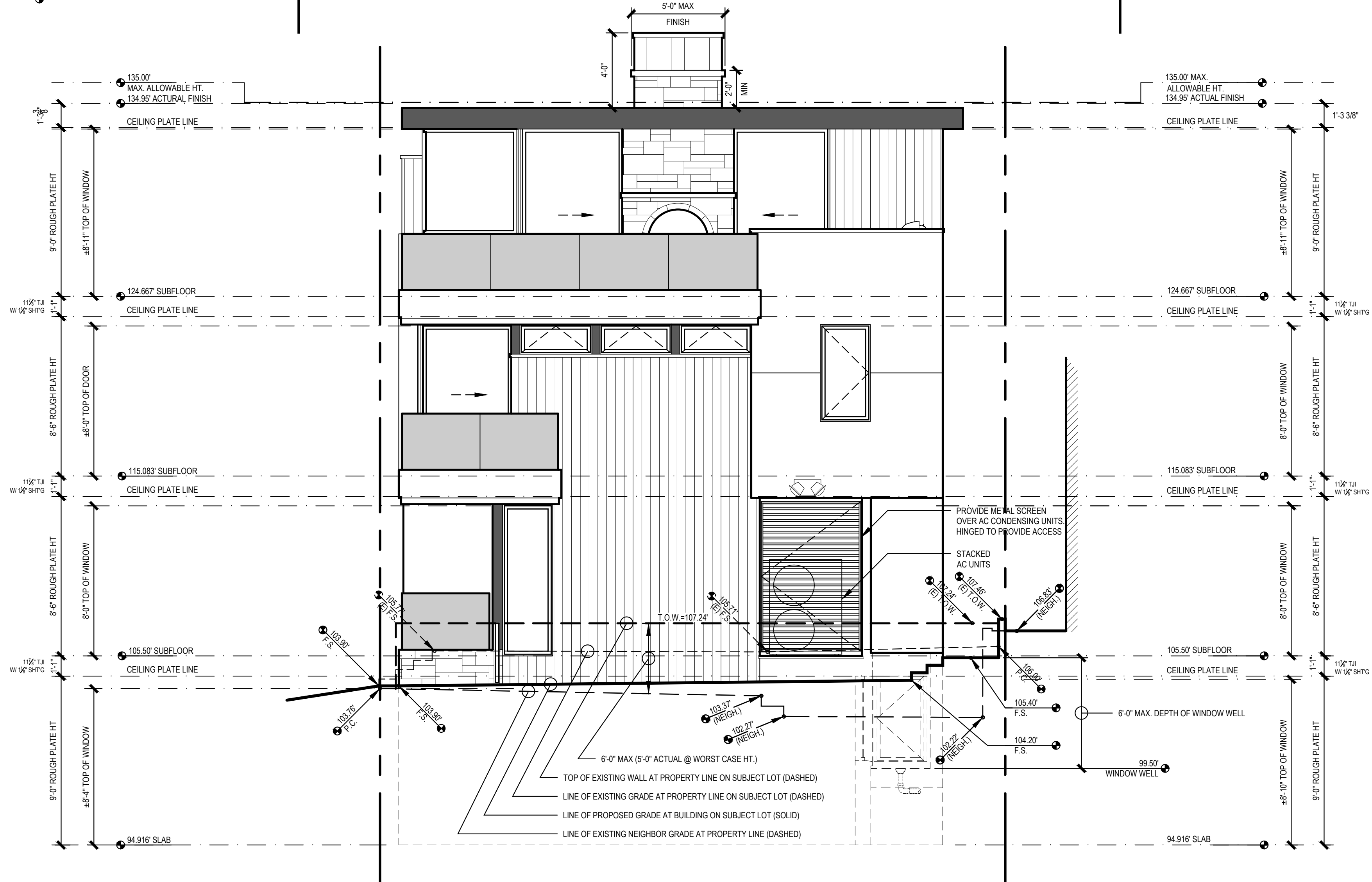
SOLAR PANEL NOTE

- SOLAR PHOTOVOLTAIC AS REQUIRED BY PRESCRIPTIVE OR PERFORMANCE ENERGY COMPLIANCE. SOLAR PANELS SHALL COMPLY WITH HEIGHT LIMITS PRESCRIBED BY THE ZONING CODE.
- SOLAR PHOTOVOLTAIC MUST BE INSTALLED PRIOR TO APPROVAL OF FINAL INSPECTION AND PRIOR TO OCCUPANCY OF THE BUILDING.





NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

MAXIMUM HEIGHT NOTE
1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

EXTERIOR FINISH NOTES

- EAVES: BONDERIZED METAL FASCIA (ARCHITECT TO APPROVE COLOR). SEE DETAIL.
- FLAT ROOFING: BUILT-UP HOT MOP ROOFING. SEE ROOF PLAN ON SHEET A.0_ FOR MORE DETAILS.
- CHIMNEY: CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICBO. CHIMNEY SHROUD TO HOUSE. ICBO APPROVED SPARK ARRESTOR TO TOP OF ICBO. PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2' ABOVE ANY PART OF ROOF WITHIN 10'.
- STUCCO REGLET: STUCCO REVEAL CHANNEL SCREED BY FRY REGLET (MODEL PCS-75-1007)
- STONE VENEER: STONE VENEER ATTACHED TO STUCCO BROWN COAT SEE DETAIL. (ARCHITECT TO APPROVE SELECTION).
- STUCCO: SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #6 COOLER NAILS @ 8" O.C. OWNER TO SELECT COLOR.
- VERTICAL WOOD SIDING: TRESPA INTERLOCKING WOOD VENEER INSTALLED OVER MFG. RECOMMENDED RAIN SCREEN. PROVIDE WOOD CORNER OR MITER. ARCHITECT TO APPROVE SAMPLE PRIOR TO INSTALLATION.
- WINDOWS: SEE WINDOW SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
- DOORS: SEE DOOR SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
- DECK RAILING: 1/2" LAMINATED GLASS RAILING SET IN OR LAURENCE BASE SHOE (ICC-ES ESR # 3269 AND ESR-3842). SEE DETAIL.
- DECK SURFACE: DEXOTEX (ICC-ES ESR # 1757) OR APPROVED EQUAL WATERPROOF WALKING SURFACE OVER EXTERIOR GRADE PLYWOOD WITH STONE SURFACE OVER.
- CLAD METAL VENEER: BONDERIZED METAL VENEER ATTACHED SECURELY TO BUILDING (ARCHITECT TO APPROVE COLOR).
- LIGHTING: EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS.
- LEDGE: PRECAST CONCRETE LEDGE WITH TAPER AWAY FROM WALL AND OR DECK.
- DOWNSPOUTS: BONDERIZED METAL DOWNSPOUTS. (ARCHITECT TO APPROVE COLOR).

1. PROVIDE #15 FELT PAPER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.
2. PROVIDE TWO LAYERS OF #15 FELT PAPER OVER ALL EXTERIOR SHEAR WALLS.

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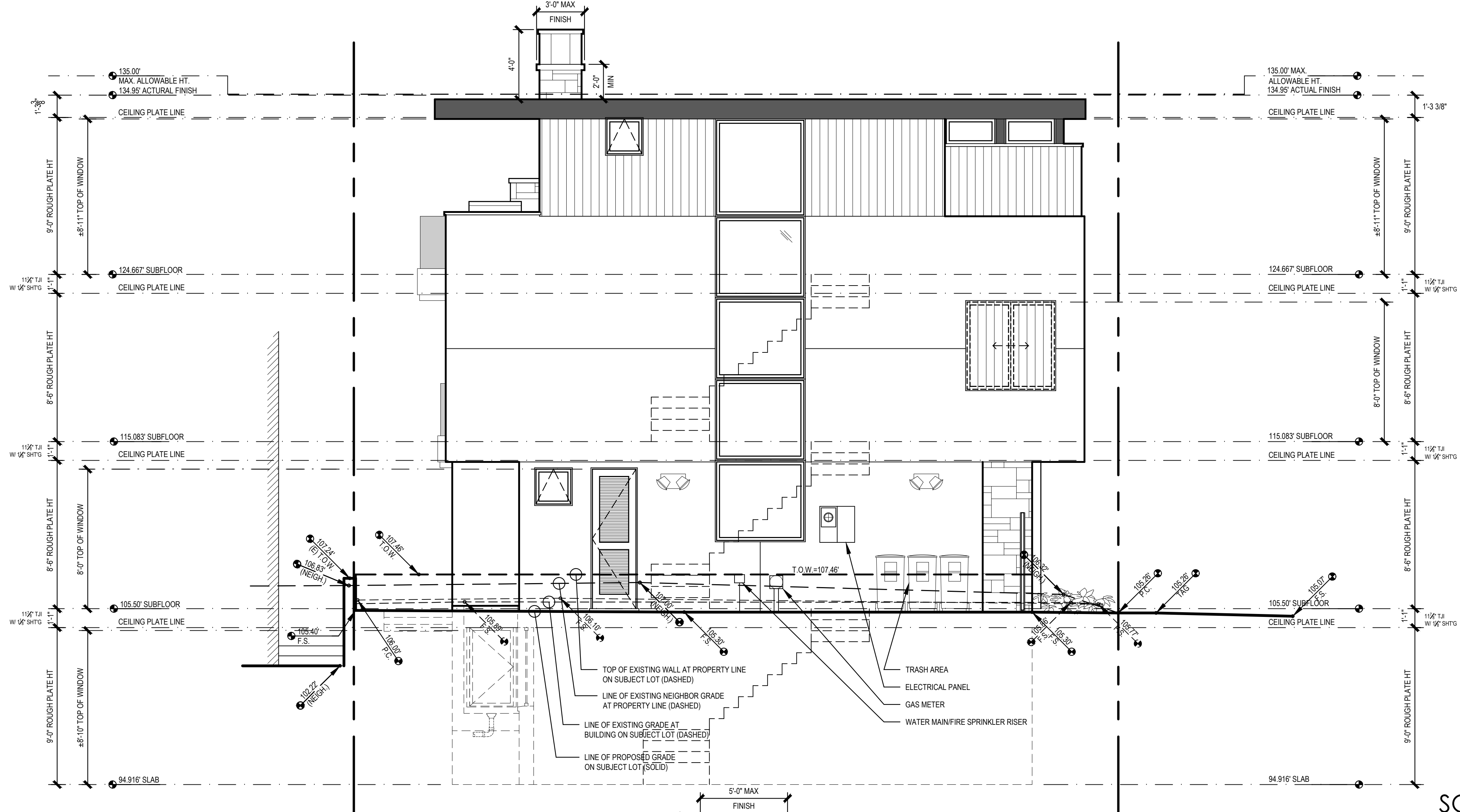
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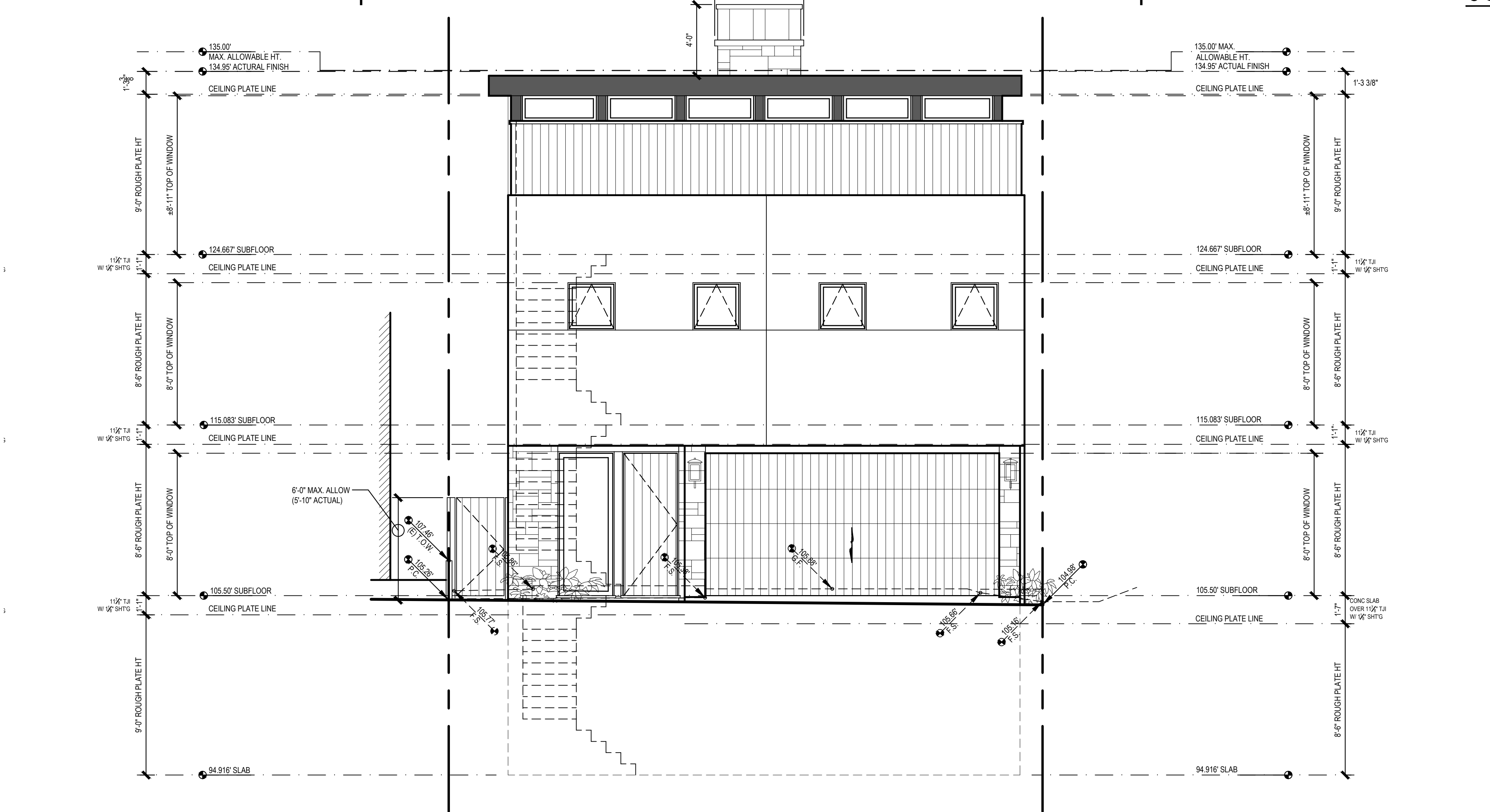
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DRAWING
ELEVATIONS

SHEET NUMBER
A.05



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

MAXIMUM HEIGHT NOTE
1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

EXTERIOR FINISH NOTES

1	EAVES:	BONDERIZED METAL FASCIA (ARCHITECT TO APPROVE COLOR). SEE DETAIL.
2	FLAT ROOFING:	BUILT-UP HOT MOP ROOFING. SEE ROOF PLAN ON SHEET A.0... FOR MORE DETAILS.
3	CHIMNEY:	CHIMNEY CAP SHALL BE PART OF LISTED ASSEMBLY. ICBO. CHIMNEY SHROUD TO HOUSE ICBO APPROVED SPARK ARRESTOR TO TOP OF ICBO. PREFAB METAL CHIMNEY FLUE. BOTTOM OF SPARK ARRESTOR AT 2' ABOVE ANY PART OF ROOF WITHIN 10'.
4	STUCCO REGLET	STUCCO REVEAL CHANNEL SCREED BY FRY REGLET (MODEL PCS-75-1007)
5	STONE VENEER	STONE VENEER ATTACHED TO STUCCO BROWN COAT SEE DETAIL. (ARCHITECT TO APPROVE SELECTION).
6	STUCCO:	SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #4 COOLER NAILS @ 8" O.C. OWNER TO SELECT COLOR.
7	VERTICAL WOOD SIDING:	TRESPA INTERLOCKING WOOD VENEER INSTALLED OVER MFG. RECOMMENDED RAIN SCREEN. PROVIDE WOOD CORNER OR MITER. ARCHITECT TO APPROVE SAMPLE PRIOR TO INSTALLATION.
8	WINDOWS:	SEE WINDOW SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
9	DOORS:	SEE DOOR SCHEDULE FOR SIZE, TYPE AND DETAILS. COLOR SHALL BE SELECTED BY OWNER AND ARCHITECT.
10	DECK RAILING:	1/2" LAMINATED GLASS RAILING SET IN OR LAURENCE BASE SHOE (ICC-ES ESR # 3269 AND ESR-3842). SEE DETAIL.
11	DECK SURFACE:	DEKOTEX (ICC-ES ESR # 1757) OR APPROVED EQUAL WATERPROOF WALKING SURFACE OVER EXTERIOR GRADE PLYWOOD WITH STONE SURFACE OVER.
12	CLAD METAL VENEER:	BONDERIZED METAL VENEER ATTACHED SECURELY TO BUILDING (ARCHITECT TO APPROVE COLOR).
13	LIGHTING:	EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS.
14	LEDGE:	PRECAST CONCRETE LEDGE WITH TAPER AWAY FROM WALL AND OR DECK.
15	DOWNSPOUTS:	BONDERIZED METAL DOWNSPOUTS. (ARCHITECT TO APPROVE COLOR).
16		
17		

1. PROVIDE #15 FELT PAPER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.
2. PROVIDE TWO LAYERS OF #15 FELT PAPER OVER ALL EXTERIOR SHEAR WALLS.

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ELEVATIONS

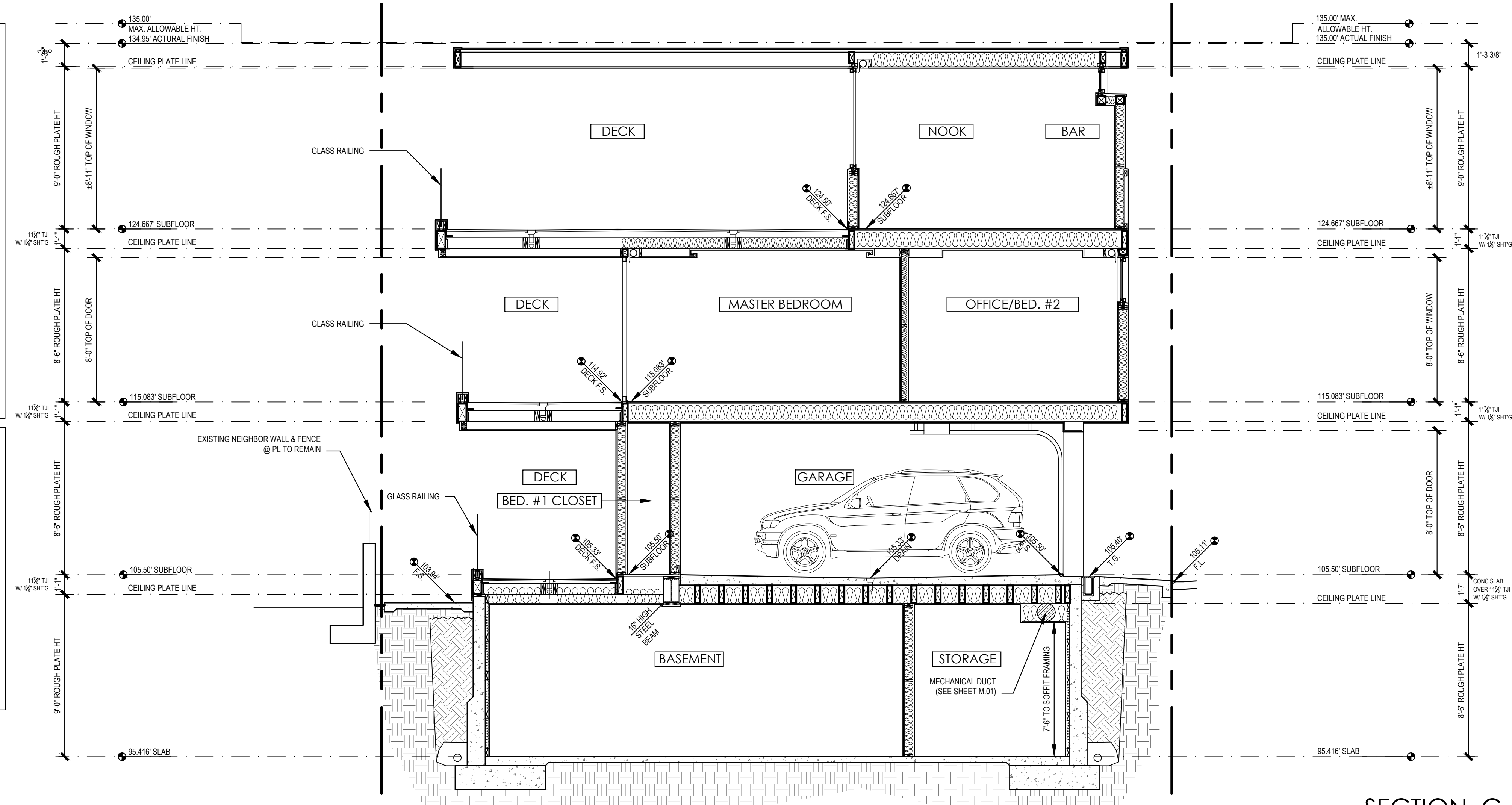
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TITLE 24 ENERGY NOTES

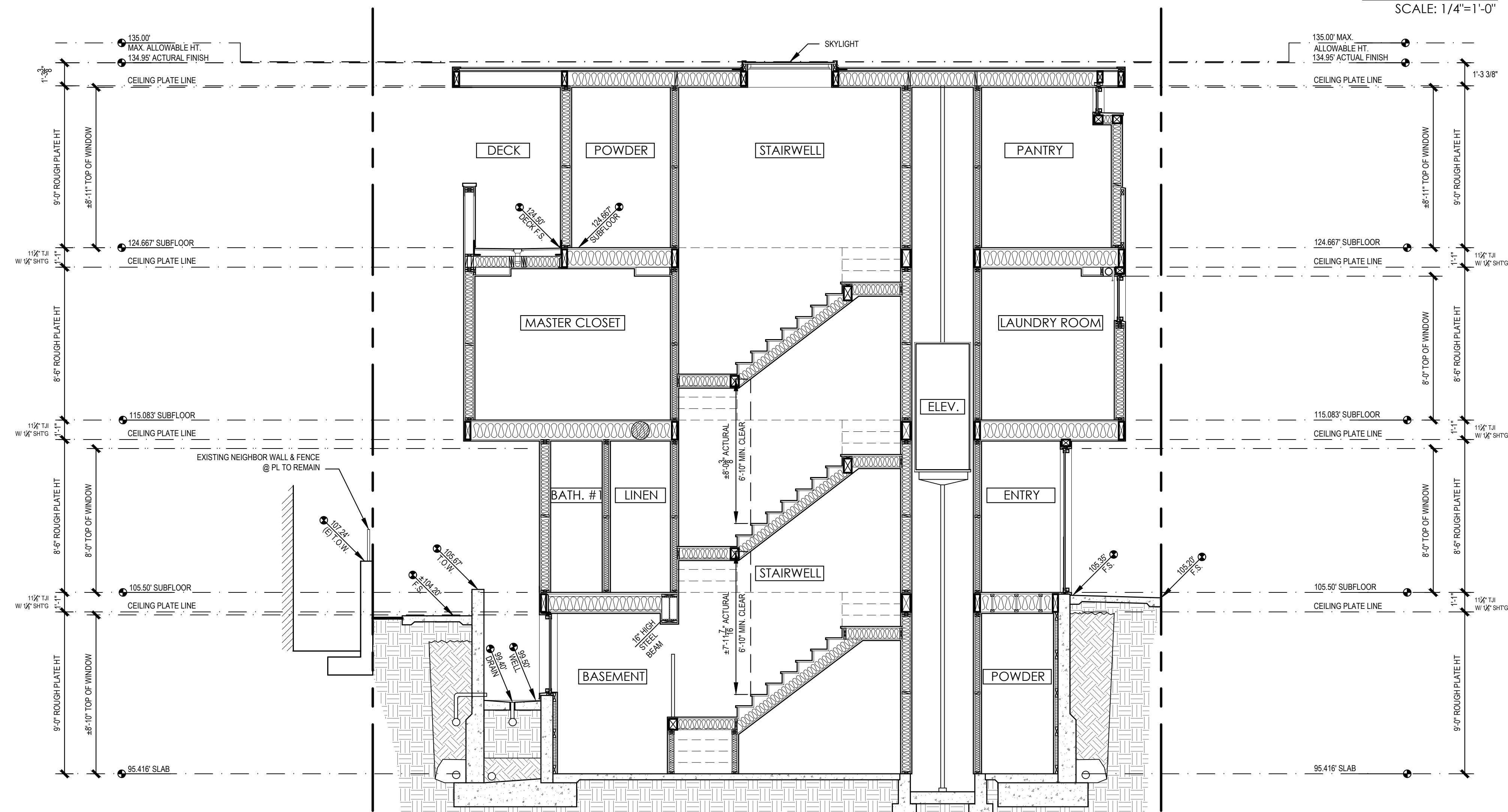
- THE BUILDING DESIGN MEETS THE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 24 PART 6.
- INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
- ALL PARTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
- DUCTS SHALL BE INSULATED TO A MINIMUM INSTALLED VALUE OF R-4.2.
- CONTRACTOR SHALL POST THE INSTALLATION CERTIFICATE (CF-6R) FORM AND INSULATION CERTIFICATE (IC-1) FORM IN A CONSPICUOUS LOCATION OF KEEP WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR.
- CONTRACTOR SHALL PROVIDE COPIES OF THE CALIFORNIA GUIDE TO HOME COMFORT AND ENERGY SAVINGS, CF-1R, MF-1R, CF-6R, AND IC-1 FORMS TO THE BUILDING OWNER.
- AN APPROVED H.E.R.S. PROVIDER AND CERTIFIED RATER SHALL CONDUCT THE FIELD VERIFICATION AND DIAGNOSTIC TESTING.
- CONTRACTOR SHALL PROVIDE A CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-4R), SIGNED AND DATED BY THE HERS RATER TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION.

INSULATION NOTES

- 2X4 FLAT STUD WALLS:
- 2X4 EXTERIOR WALLS:
- 2X6 EXTERIOR WALLS:
- 2X FLOOR UNDER DECK:
- T&J FLOOR JOIST:
- T&J ROOF JOIST / RAFTERS:



SECTION C
SCALE: 1/4"=1'-0"



SECTION A
SCALE: 1/4"=1'-0"



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SECTIONS

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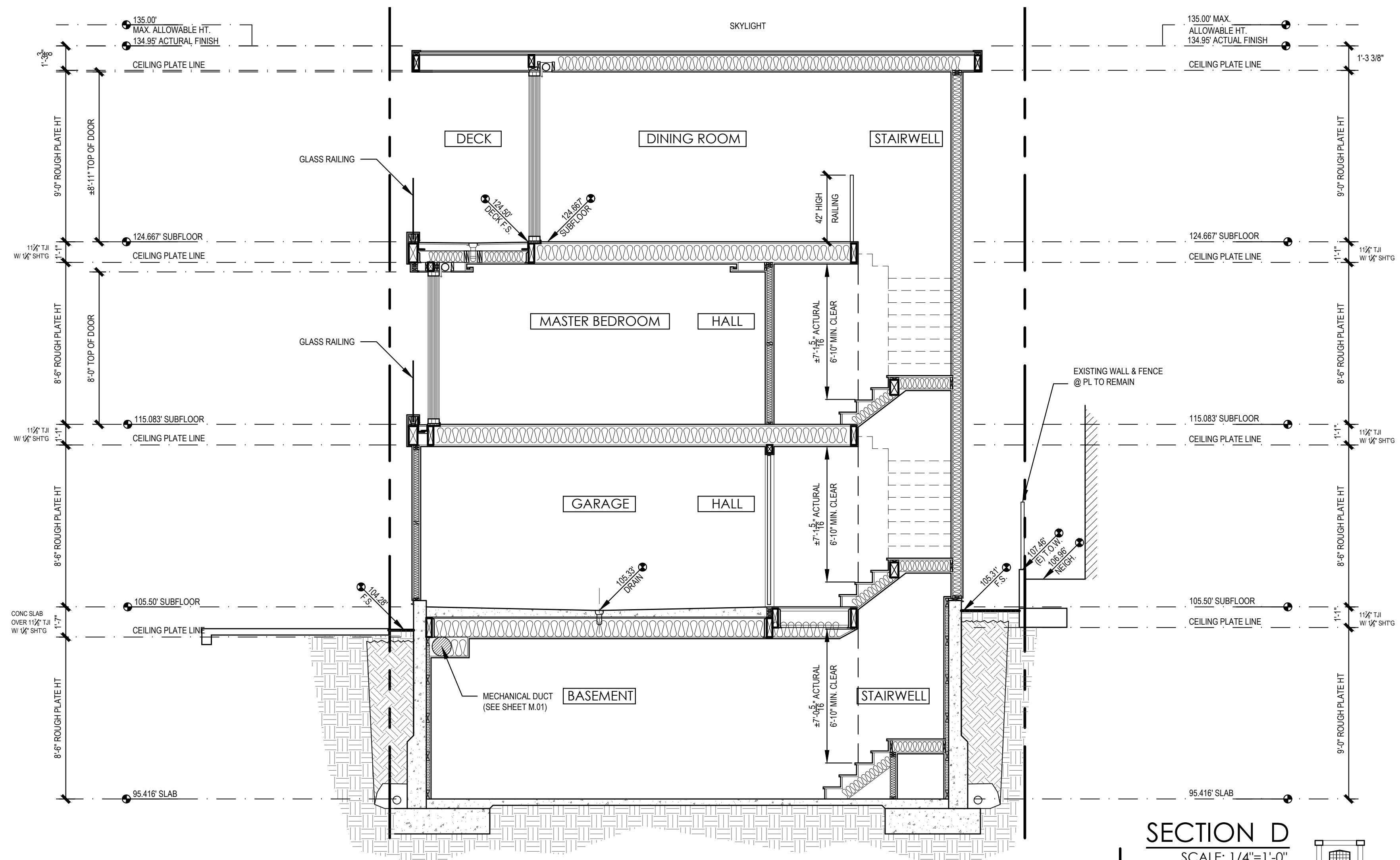
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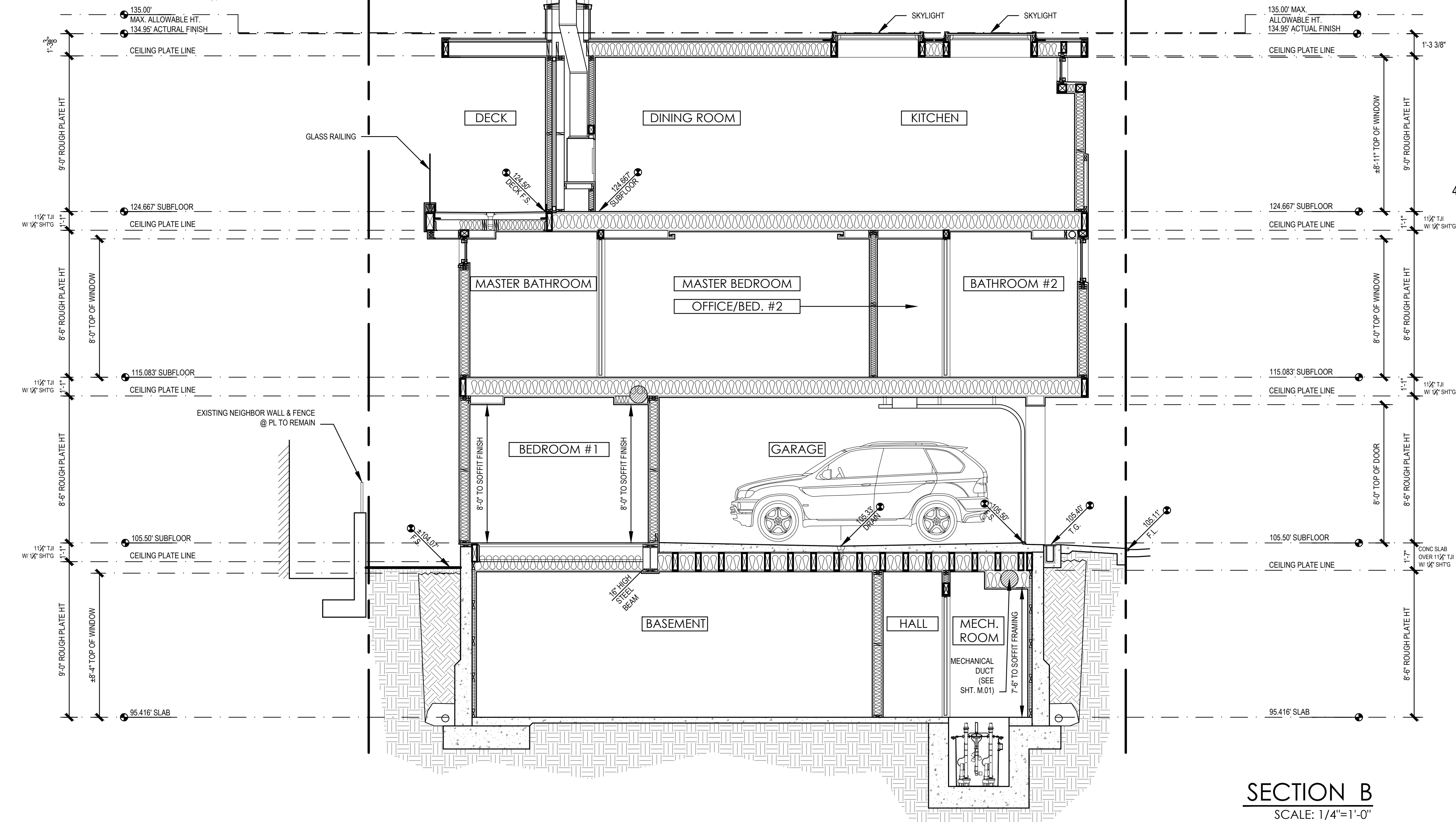
SECTIONS

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SECTION D
 SCALE: 1/4"=1'-0"



SECTION B
 SCALE: 1/4"=1'-0"



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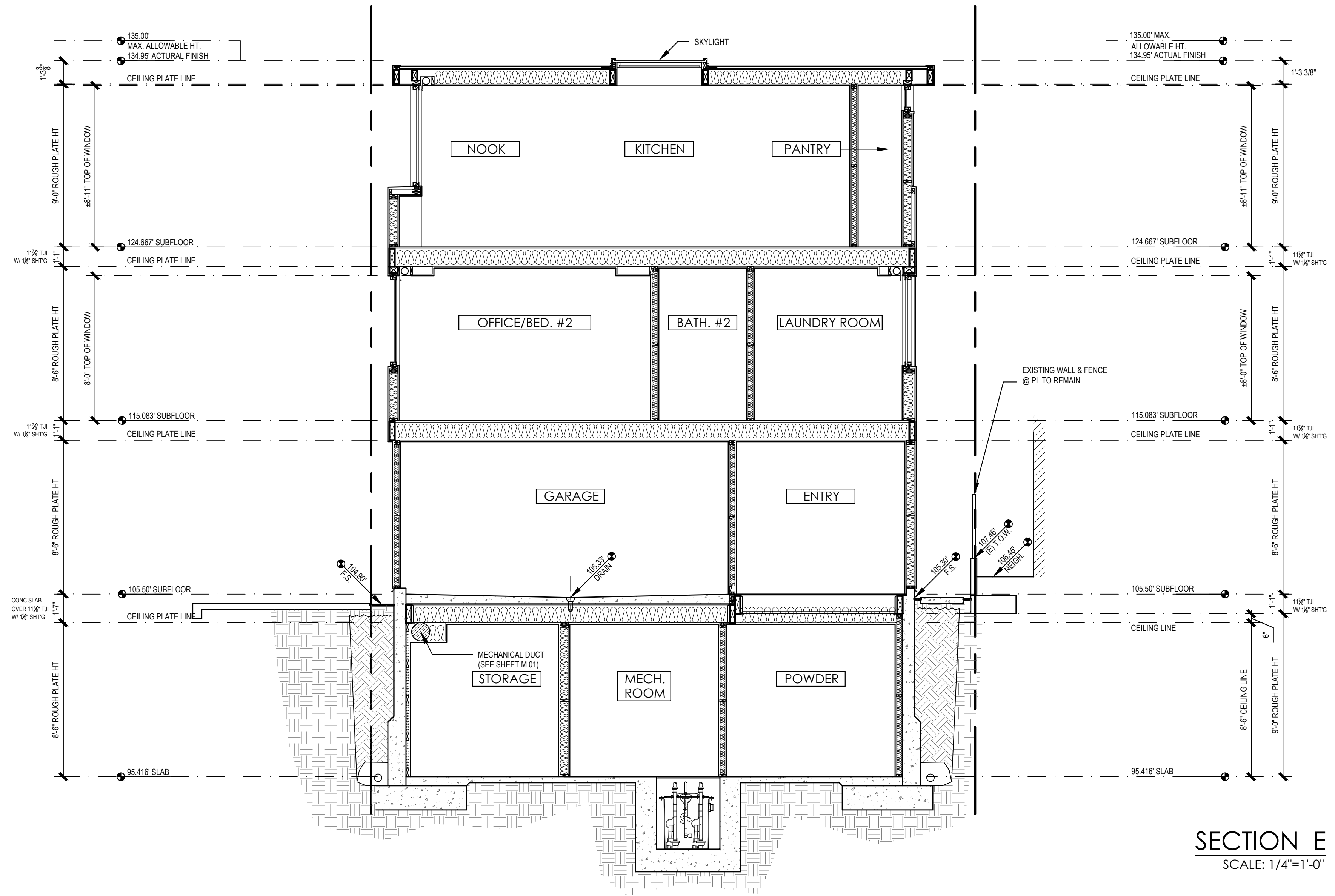
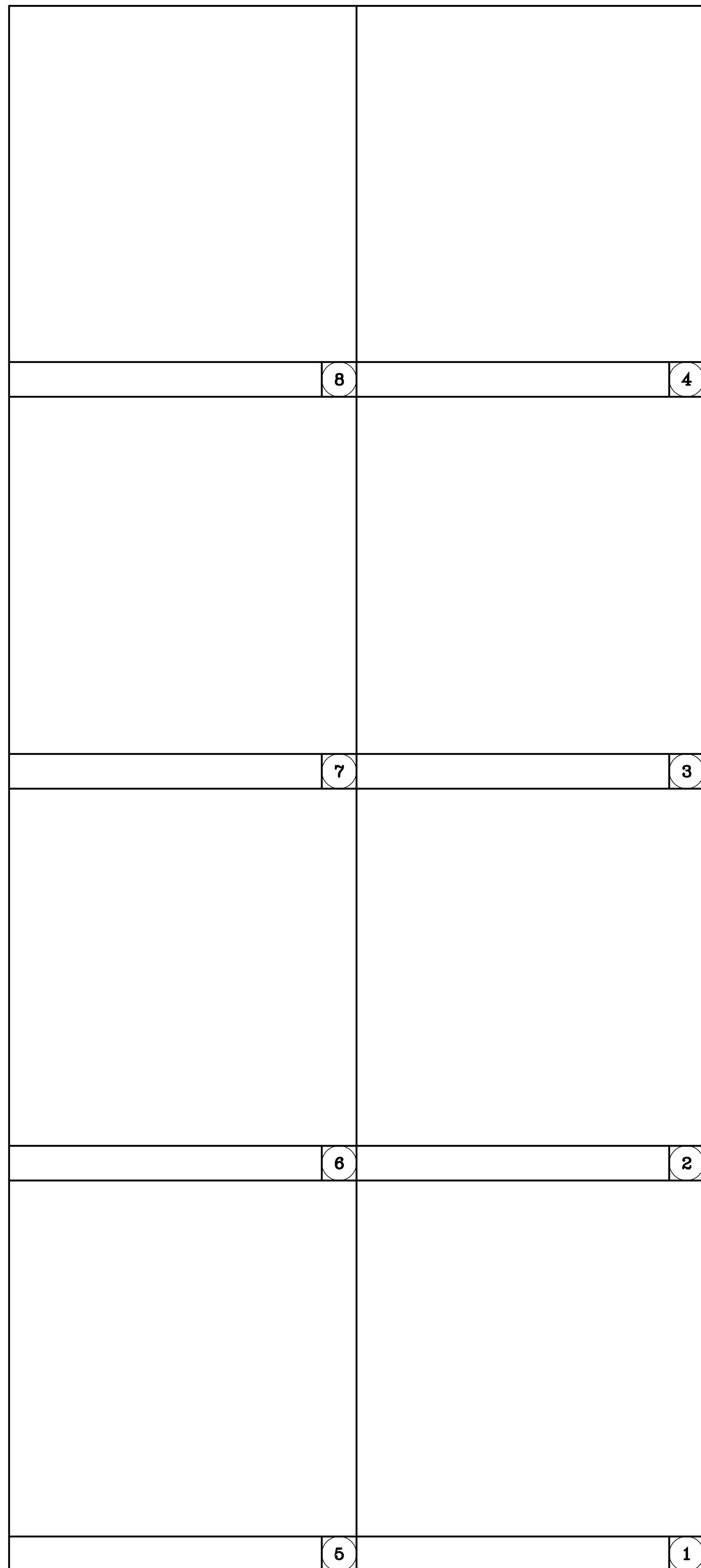
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A.09



SECTION E
 SCALE: 1/4"=1'-0"