



manhattan beach



OUTDOOR DINING

OUTDOOR DINING TASK FORCE MEETING

JULY 9 , 2024



AGENDA

- Roll Call
- Approval of Minutes
- Outdoor Dining Program Regulations
- Public Comments
- Task Force Discussions

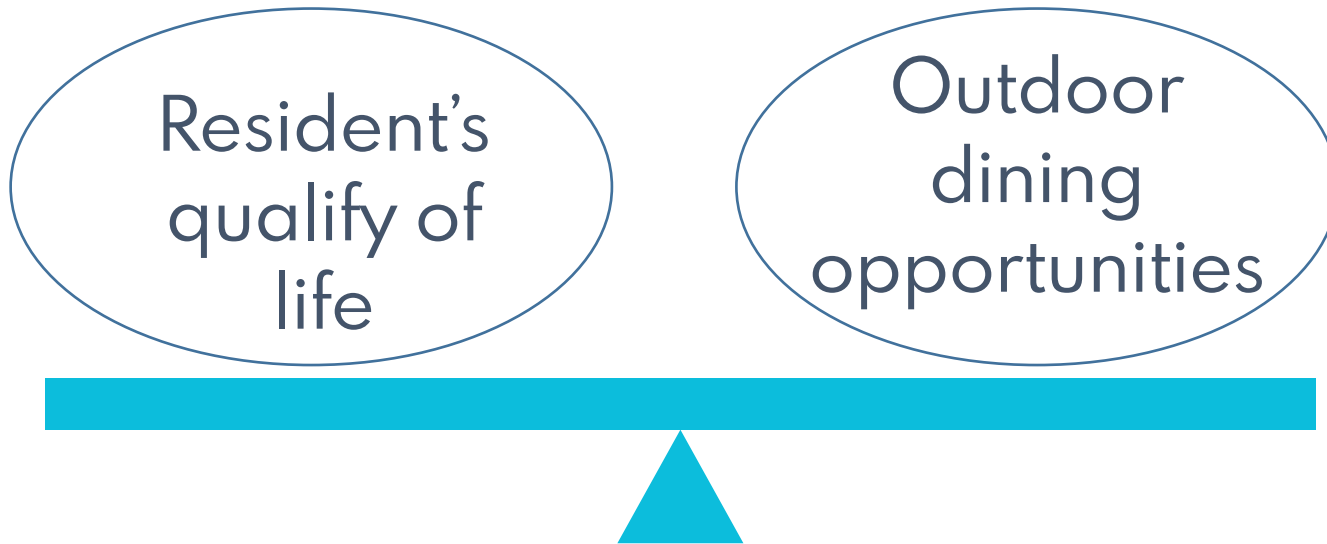


PROGRAM OVERVIEW

Vision

Community, family-friendly, open air, welcoming small town, jewel of South Bay, connections/connectivity, active

Objective



PROGRAM OVERVIEW

SWOT Analysis

Strength

Adds value and character to the City, reinforces connectivity, creates vibrancy in public spaces, activates business

Weakness

Physical limitations, congested sidewalks, parking, trash, rodent, lack of cohesive design and operation hours of dining decks

Opportunities

Increased sales, maintain competitiveness, chance to better utilize limited space, resolve traffic/parking issues, and improve pedestrian environment

Threats

Coastal Commission, change in character, dining decks, impacts to residents and non-participants, safety, trash, cleanliness, access



PROGRAM OVERVIEW

Outdoor Dining Defined

Open air “al fresco” dining on public and private property, in which the experience:

- Allows for opportunities to enjoy the pleasant weather and scenic ocean views
- Promotes a sense of community and interaction with others
- Enhances the ambiance and small town character of Manhattan Beach
- Balances community vibrancy with residential quality of life



PROGRAM OVERVIEW

Program Scope

1. **Public Right-of-Way:** Downtown and North Manhattan Beach only
2. **Private Property:** Citywide
 - Parking lots, if excess parking is available
 - Existing open space
 - 2nd floor decks in commercial zoning districts
3. **Business Use:** Eating and Drinking Establishments only
4. **Public flex space:** General public



PROGRAM OVERVIEW

Living Streets Manual, DTSP*, and Case Studies

- Place pedestrian paths closer to the street and dining in front of businesses
- Widen sidewalks including a bike lane
- Limit program to specific streets
- Activate storefronts and enhance connectivity
- Allow flexible seating/spaces for public to access
- Build mid-block bulb-outs on flat terrain
- Protect clear line of sight of scenic views
- Improve landscaping in the public right-of-way

Preferred
Program
Vision



PROGRAM OVERVIEW

Living Streets Manual, DTSP, and Case Studies

- Create an enforcement mechanism
- Ensure waste management can address refuse issues with additional dining capacity
- Have City Council conduct a compliance review every 3-5 years
- Consider use of walk streets for outdoor dining
- Establish bike share programs
- Connect bike routes to different parts of the City
- Create a prototype design with flexibility for customization



PROGRAM OVERVIEW

Public Flex Space

- Provide fixed, permanent street furniture with durable materials
- Maintain a distance between the trash cans and benches
- Avoid umbrellas in the right-of-way; include landscaping to provide shade
- Build raised planters to prevent landscaping from being trampled
- Ensure cohesive design
- Install low-level decorative lighting
- Have removable bollards along the street for safety
- Install good neighbor signage
- Prohibit e-bike chargers but allow bike parking facilities
- Abandon the current tile pattern where new pavements are proposed



PROGRAM OVERVIEW

Public Flex Space

- **Seating:** Along major view corridors, affixed to ground, add tables and back support where feasible



- **Landscape:** Consistent at major intersections, raised planters, trees with shade without impacts to scenic views
- **Bike facilities:** Away from busy sidewalks, introduce bike valet service, accommodate all types of bikes, consider safety and efficiency

PROGRAM OVERVIEW

Public Flex Space

- **Public art:** Integrate into seating areas and exclude little libraries
- **Signage:** Replacement signage under development should continue →
- **Lighting:** Incorporate different levels of fixtures and types with no impacts to residents or views
- **Trash:** Big belly units are working well; carry-out and to-go operations have more units near by



PROGRAM REGULATIONS

General

- **Permit Process:** Administrative/Ministerial Permit (Incl. Alcohol)
 - **Alcohol Service:** Allow, subject to Alcoholic Beverage Control
- **Occupancy:** Allow net increase
- **Trash:** Adequately sized trash enclosures and service levels required, prior to permit issuance (Prohibit bussing stations)
- **Enforcement:** 3 strikes and out rule; no permit for one-year
- **Permit period:** Perpetual; renewed yearly
(i.e., sidewalk dining every June 30, private property every March 1)



PROGRAM REGULATIONS

General

- **Vehicle Loading:** Prohibit large vehicle (i.e., 30ft or more) loading activities along residential blocks from 11pm to 4am (Sun-Thur) and 6pm to 4am (Fri-Sat); no exceptions.
- **Standard Design Elements**
 - Refer to Gensler design proposal
 - Create options for signage, consider heaters and shade
 - Leave landscaping and materials at the discretion of the establishment; materials to be durable and high-quality



PROGRAM REGULATIONS

Standards	Sidewalk Dining	Private Property	
		Outdoor Facilities Permit	2 nd Fl Outdoor Dining
Areas Allowed	Downtown and North Manhattan Beach	Citywide (e.g., parking lots if excess parking is available, existing open space)	Citywide commercial zoning districts; not facing residential and min. 15ft away
Hours of Operation	Service until 10pm with items removed by 10:30pm	Same as Sidewalk Dining for areas within 150ft of residential uses; otherwise match Use Permit conditions	Same as Sidewalk Dining



PROGRAM REGULATIONS

Standards	Sidewalk Dining	Private Property	
		Outdoor Facilities Permit	2 nd Fl Outdoor Dining
Live Entertainment and Amplified Music	<ul style="list-style-type: none"> • Refer to existing permits (i.e., Entertainment Permit and Amplified Sound Permit) • Hours allowed from 9 a.m. to 10 p.m. • Enforcement by “reasonable person test” 		
	<ul style="list-style-type: none"> • Allow ambient music with speakers on private property • Live outdoor entertainment limited to special events only 	Allow with permits	Not allowed; no exception including 2fl dining areas that are not fully enclosed



PROGRAM REGULATIONS

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	<ul style="list-style-type: none"> • Allow ambient music with speakers on private property • Live outdoor entertainment limited to special events only 	<p><u>Staff’s alternative recommendation:</u> Prohibit both consistent with current regulations. However, allow no more than twice a year, per MBMC Section 5.48.150 (Amplified Sound Permits)</p>	



PROGRAM REGULATIONS

Standards	Sidewalk Dining	Private Property	
		Outdoor Facilities Permit	2 nd Fl Outdoor Dining
Roof/Shade element			At the discretion of establishment
Other			<ul style="list-style-type: none"> • Require noise attenuation measures and barrier walls • No balconies above right-of-way
Renewal Date	June 30	March 1	-
Deviations	-	Use Permit (Discretionary Review)	



OTHER REGULATIONS TO CONSIDER

Heaters

- Fixed electrical/natural gas heaters on wall/roof preferred
- Portable heaters not recommended
- Heater height or distance to objects are not major concerns:
More about fuel source management, following manufacturers specs, and complying with Fire and Building Code requirements

Lighting

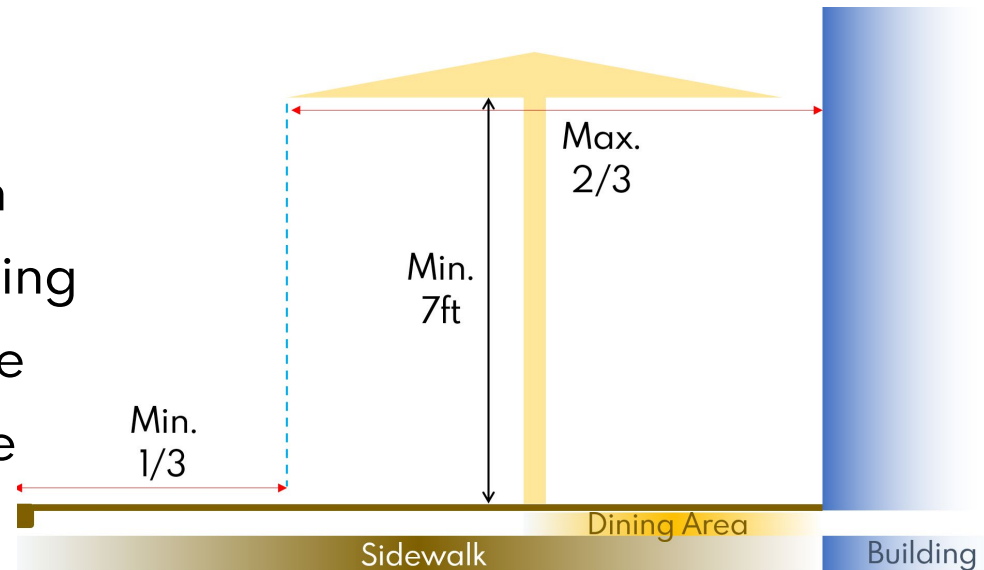
- String lights above water features not recommended
- Permits required when attached to poles, connected to voltage
- Not recommended in right-of-way, unless complies with Building Code and plans are prepared by a licensed engineer



OTHER REGULATIONS TO CONSIDER

Shade Structure

- Retractable awnings preferred: Material rating must be high and replaced every 2-3 years
- Tents (incl. tensioned canopies) not recommended
- If umbrellas are allowed, diameter should be less than 120sf
- Min. 7ft vertical clearance required in right-of-way, including horizontal projection outside of defined outdoor dining area (Per Building Code, shade structure shall not extend more than 2/3 into sidewalk width)



OTHER REGULATIONS TO CONSIDER

Shade Structure



OTHER REGULATIONS TO CONSIDER

Electrical Connection

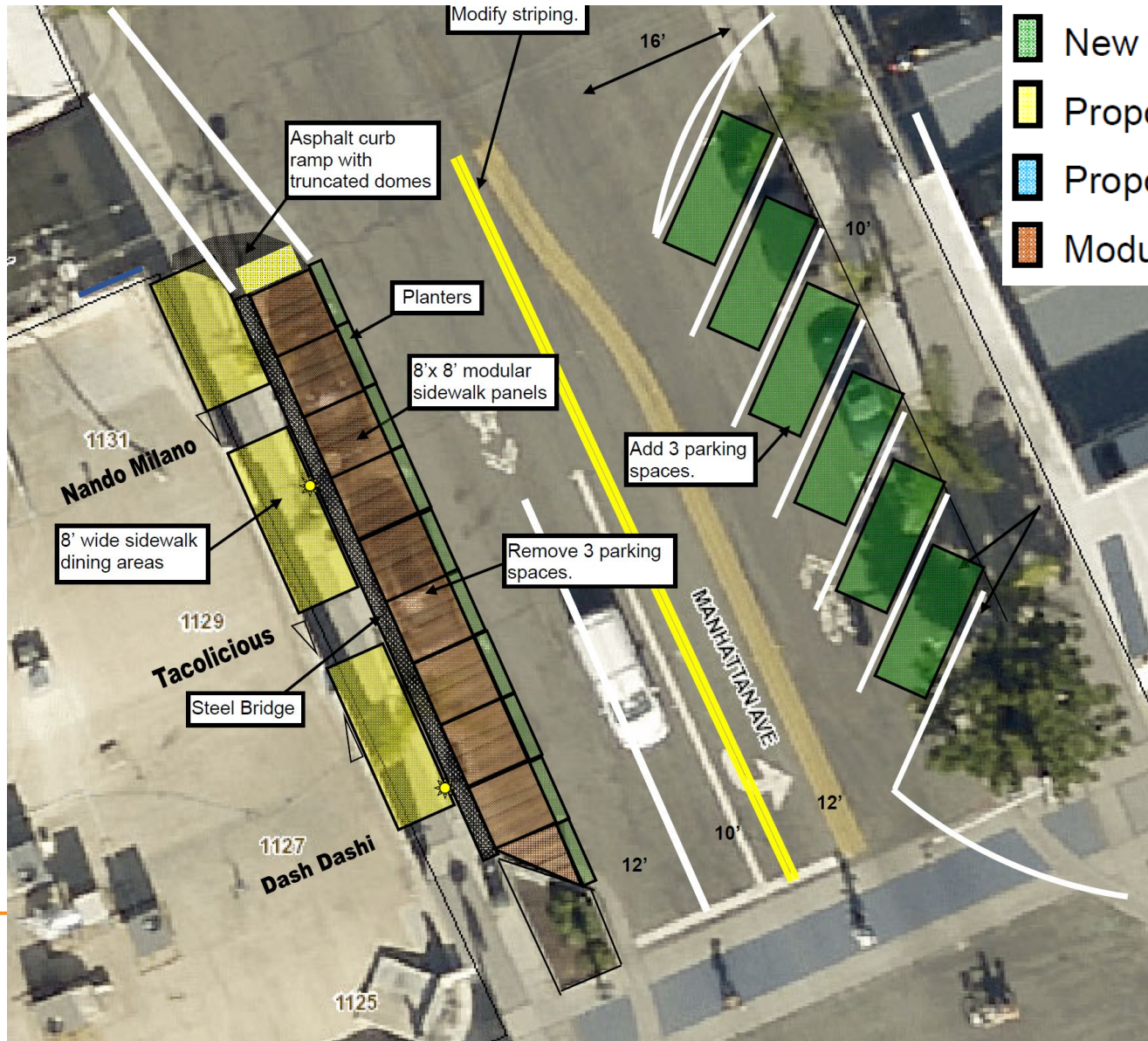
- Extension cords on ground or overhead undesirable; permanent source of from existing building preferred
- If no electrical connection is available, solar or battery powered devices preferred
- No candles or torches for lighting/ambiance







PROGRAM VISION TEST PROJECT



PROGRAM VISION TEST PROJECT



-  New Parking Space
-  Proposed Sidewalk Dining Area
-  Proposed Public Furnishings Area
-  Modular Sidewalk Panel

PROGRAM VISION TEST PROJECT



PUBLIC COMMENTS



TASK FORCE DISCUSSIONS

1. Standard Design Elements

Are there other regulations that should be included/considered for heaters, lighting, shade structures, electrical connections, bike facilities, etc.

Examples:

- Limit the use of propane heaters
- Prohibit tents and enclosed structures
- Allow/prohibit umbrellas encroaching into sidewalks

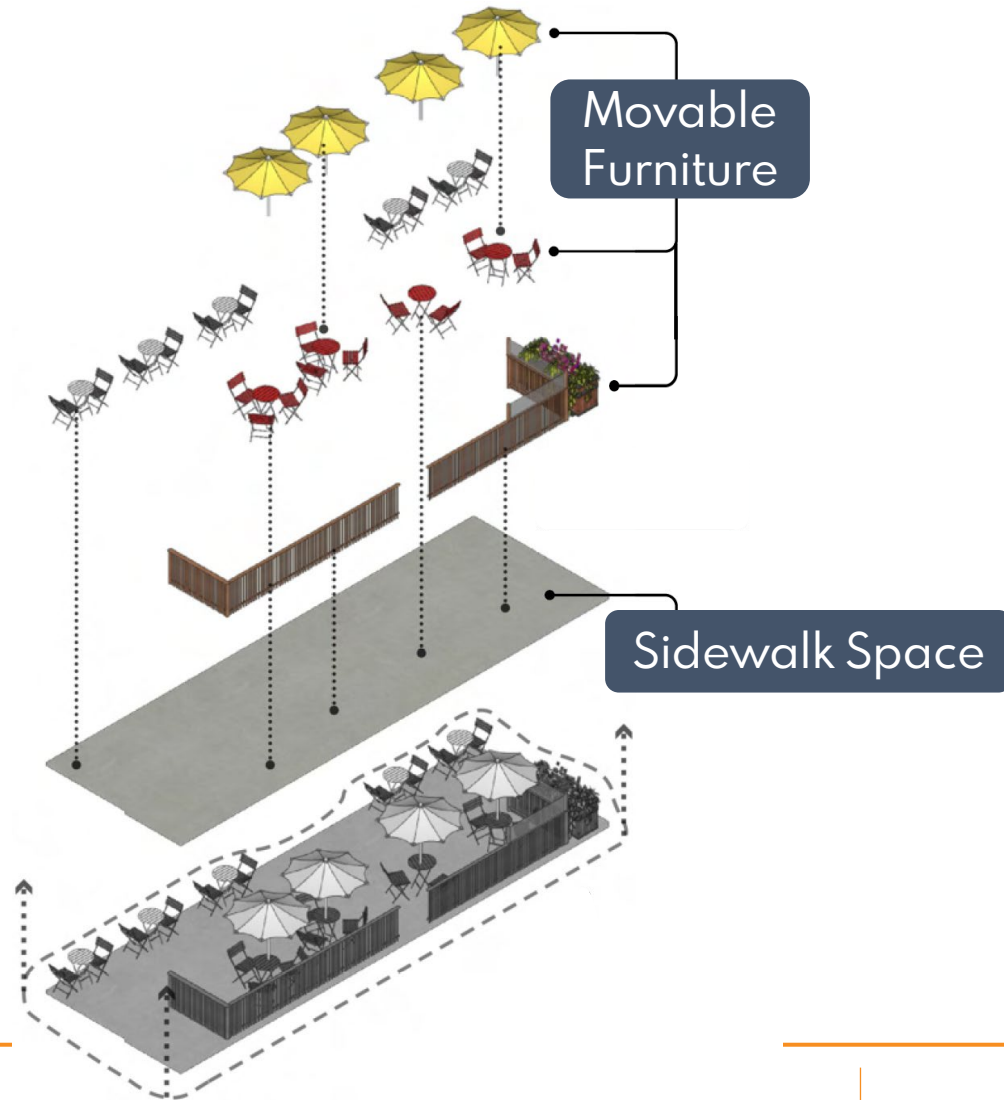


TASK FORCE DISCUSSIONS

2. Sidewalk Dining Prototype Design

- Should there be a prototype design?
- If so, what elements should be included?

Examples: finishes, chairs, tables, removable railing, etc.



TASK FORCE DISCUSSIONS

3. Deviations

- For private property outdoor dining deviations, the Task Force has recommended requiring Use Permit which requires Planning Commission approval
- As designed, there is no deviation process for sidewalk dining regulations



TASK FORCE DISCUSSIONS

4. Tiered use fee

- Currently, \$3/sf/month charged for sidewalk dining
- Tiered use fee recommended based on alcohol service and location (i.e., Downtown vs. North MB)

Example:

Tier	Fee/sf/month	Applicability
1	\$3	All businesses
2	\$3.5	With alcohol service OR located Downtown
3	\$4	With alcohol service AND located Downtown



NEXT MEETING

- Tue. August 27 (1-3:30 PM)
 - Manhattan Beach Library Meeting Room
- *(Tentative)* Tue. September 17
 - City Council status update report

