

**SHEET INDEX**

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- TE1: TOPOGRAPHIC EXHIBIT
- E1: DISPENSER CANOPY ELEVATIONS

**NOTE:**

- SURVEY AND ELEVATION DRAWINGS DETERMINE POSSIBLE SIZE INCREASE OF CANOPY

**ZONING INFORMATION**  
CL, AD III  
APN: 4178013029

**SCOPE OF WORK**

1. DEMO EXISTING CANOPY COMPLETELY.
2. REMOVE EXISTING CANOPY FOUNDATION.
3. INSTALL NEW FOUNDATION.
4. INSTALL NEW CANOPY STRUCTURE.
5. REUSE EXISTING ELECTRICAL.
6. REMOVE AND REINSTALL EXISTING CANOPY SIGNAGE.
7. NEW WORK TO BE DONE ONLY ON THE EXISTING CANOPY. NO WORK TO BE DONE ON REMAINING EXISTING ITEMS.
8. ALL STORM WATER RUNOFF FROM PROPOSED REPLACEMENT CANOPY, IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
9. NO WORK WILL BE PERFORMED IN THE RIGHT-OF-WAY.

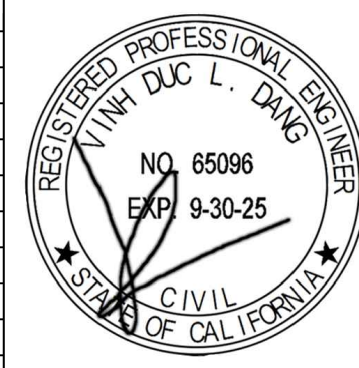
**PUBLIC WORKS NOTES**

1. ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION
2. NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASH LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
3. EROSION AND SEDIMENT CONTROL DEVICES BMPs (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMPs MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
4. ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF 3" CAST IRON PIPE AND LABELLED ON THE SITE PLAN. DRAIN LINES MUST BE SHOWN ON THE PLANS. CONNECTING ON-SITE DRAINAGE LINE TO SEWER LATERAL IS STRICTLY PROHIBITED.
5. ALL CONCENTRATED RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO HIGHLAND AVENUE/21ST PLACE/MARINE AVENUE THROUGH THE DRAIN LINES AND MUST BE SHOWN ON THE PLANS WITH ALL REQUIRED OUTLET FLOW LINE ELEVATIONS AT THE DISCHARGE POINT.
6. COMMERCIAL ENTERPRISES MUST COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CLEAN WATER REQUIREMENTS. DISCHARGE OF MOP WATER, AC CONDENSATE, FLOOR MAT WASHING, TRASH CAN CLEANING AND/OR WASHING OUT TRASH ENCLOSURES INTO THE STREET OR STORM DRAIN SYSTEM IS PROHIBITED.
7. B.M.C. 5.84.060, 5.84.090.
8. SIDEWALK, DRIVEWAY, CURB, AND GUTTER CONSTRUCTION, REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, ST-3 AND ST-10.
9. CONTRACTOR TO PROTECT IN PLACE ALL EXISTING PROPERTY CORNERS DURING CONSTRUCTION. IF ANY OF THE PROPERTY CORNERS ARE REMOVED OR DESTROYED DURING CONSTRUCTION, IT WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THEM.
10. ALL EXISTING OR CONSTRUCTION RELATED DAMAGES OR DISPLACED CURB/GUTTER, SIDEWALK, DRIVEWAY APPROACH OR STREET MUST BE REPLACED AND SHOWN ON THE PLANS. ADDITIONAL PUBLIC IMPROVEMENTS MAY BE REQUIRED DURING AND/OR NEAR THE COMPLETION OF CONSTRUCTION PER M.B.M.C. 9.72 AS DETERMINED BY THE PUBLIC WORKS INSPECTOR BASED ON CONDITIONS OF PUBLIC IMPROVEMENTS.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, WALLS/FENCES, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIERS.
12. IF A NEW SEWER LATERAL IS TO BE INSTALLED AT A DIFFERENT LOCATION ON THE SEWER MAIN LINE, THE OLD LATERAL MUST BE CAPPED AT THE PROPERTY LINE AND AT THE MAIN LINE. PRIOR TO STRUCTURE DEMOLITION A SEWER CAP VERIFICATION AND APPROVAL FROM PUBLIC WORKS INSPECTOR IS REQUIRED.
13. WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON THE PLANS. SEE CITY STANDARD PLAN ST-15. FOR EXISTING WATER SERVICE RELOCATIONS AND/OR ABANDONMENT, WATER SERVICE MUST BE CAPPED AT THE MAIN AND AT THE METER.
14. THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
15. ALL TRASH ENCLOSURES SHALL BE ENCLOSED, HAVE A ROOF, BUILT IN SUCH A MANNER THAT STORM WATER WILL NOT ENTER, AND A DRAIN INSTALLED THAT EMPTIES INTO THE SANITARY SEWER SYSTEM. FLOOR DRAIN OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS. SEE 1007.0 TRAP SEAL PROTECTION IN THE UNIFORM PLUMBING CODE. CONTACT THE CITY'S REFUSE CONTRACTOR FOR SIZING OF THE ENCLOSURE. DRAWINGS OF THE TRASH ENCLOSURE MUST BE ON THE PLAN, AND MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE A PERMIT IS ISSUED. SEE STANDARD PLAN ST-25. IF THE TRASH ENCLOSURE DRAWINGS ARE NOT ON APPROVED BUILDING PLANS, THEN THEY MUST BE SUBMITTED AS A DEFERRED SUBMITTAL.
16. COMMERCIAL ESTABLISHMENTS ARE REQUIRED, BY MUNICIPAL CODE 5.24.030 (C)(2) TO HAVE A SUFFICIENT REFUSE AND RECYCLING STORAGE SPACE TO ENCLOSE A COMMERCIAL LIFT CONTAINER(S). THE REFUSE STORAGE SPACE OR FACILITY MUST BE SCREENED FROM PUBLIC VIEW AND BE EITHER CONSTRUCTED WITHIN THE BUILDING STRUCTURE OR IN A SCREENED ENCLOSURE ON PRIVATE PROPERTY. PLEASE READ THE CODE SECTION FOR FURTHER CLARIFICATION.
17. ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-12 OR C-34 LICENSE FOR ALL TRENCHING AND PAVING OR A CLASS C-08 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK CONSTRUCTED IN CONJUNCTION WITH A SINGLE-FAMILY RESIDENTIAL STRUCTURE. A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
18. PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
  - 18.a. THE CONTRACTOR SHALL MONITOR, SUPERVISE AND CONTROL ALL CONSTRUCTION AND CONSTRUCTION SUPPORTIVE ACTIVITIES, SO AS TO PREVENT THESE ACTIVITIES FROM CAUSING A PUBLIC NUISANCE, INCLUDING BUT NOT LIMITED TO, ENSURING STRICT ADHERENCE TO THE FOLLOWING:
    - 18.b. REMOVAL OF DIRT, DEBRIS, OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET NO LATER THAN THE END OF EACH WORKING DAY.
    - 18.c. ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
    - 18.d. ALL DUST CONTROL MEASURES PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) REQUIREMENTS SHALL BE ADHERED TO DURING CONSTRUCTION OPERATIONS.
    - 18.e. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION IN OR UPON ANY PUBLIC PLACE, TO PLACE AND MAINTAIN BARRIERS AND WARNING DEVICES FOR THE SAFETY OF THE GENERAL PUBLIC. M.B.M.C. 7.16.080. IF ANY EXCAVATION IS MADE ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK, ADEQUATE CROSSINGS SHALL BE MAINTAINED FOR VEHICLES AND PEDESTRIANS. M.B.M.C. 7.16.100.



REVISIONS		
NO.	DATE	DESCRIPTION
1	3/6/23	CORRECTIONS
2	4/27/23	CORRECTIONS
3	9/12/23	COLUMN LOCATION CHANGES (SEE CA1 & CF1)
4	6/30/24	PROBABLE CANOPY SIZE CHANGE & ZONING INFO



**P.E. VINH DUC L. DANG**  
(925) 209-9969  
ASI@ASIDVM.COM

**OWNER:**  
**UNITED PACIFIC**  
4130 COVER ST.  
LONG BEACH, CA 90808  
PHONE: 310-323-3992

**CONTRACTOR:**  
**CORONA CONSTRUCTION CO.**  
615 E. ALLEN AVE.  
SAN DIMAS, CA 91773  
PHONE: 626-926-7487  
CA. LIC. #797455  
CLASS A-B-HAZ C10  
EXPIRES 07/21/2025

**SITE PLAN & SCOPE OF WORK**  
SITE ADDRESS:  
**UNITED PACIFIC #0618**  
2121 HIGHLAND AVE  
MANHATTAN BEACH, CA 90266

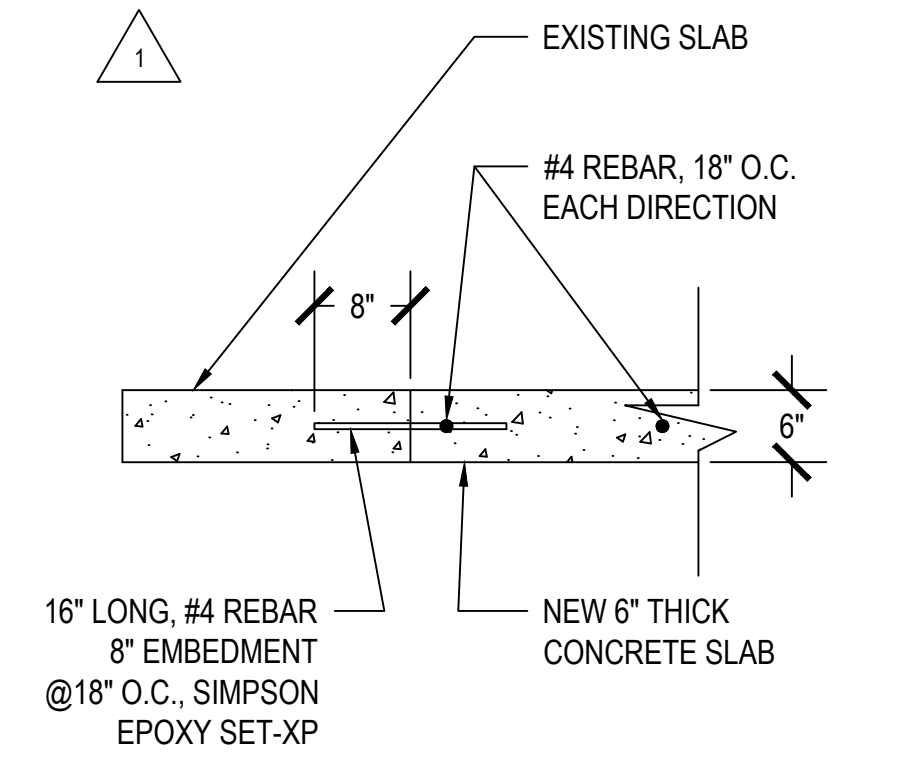
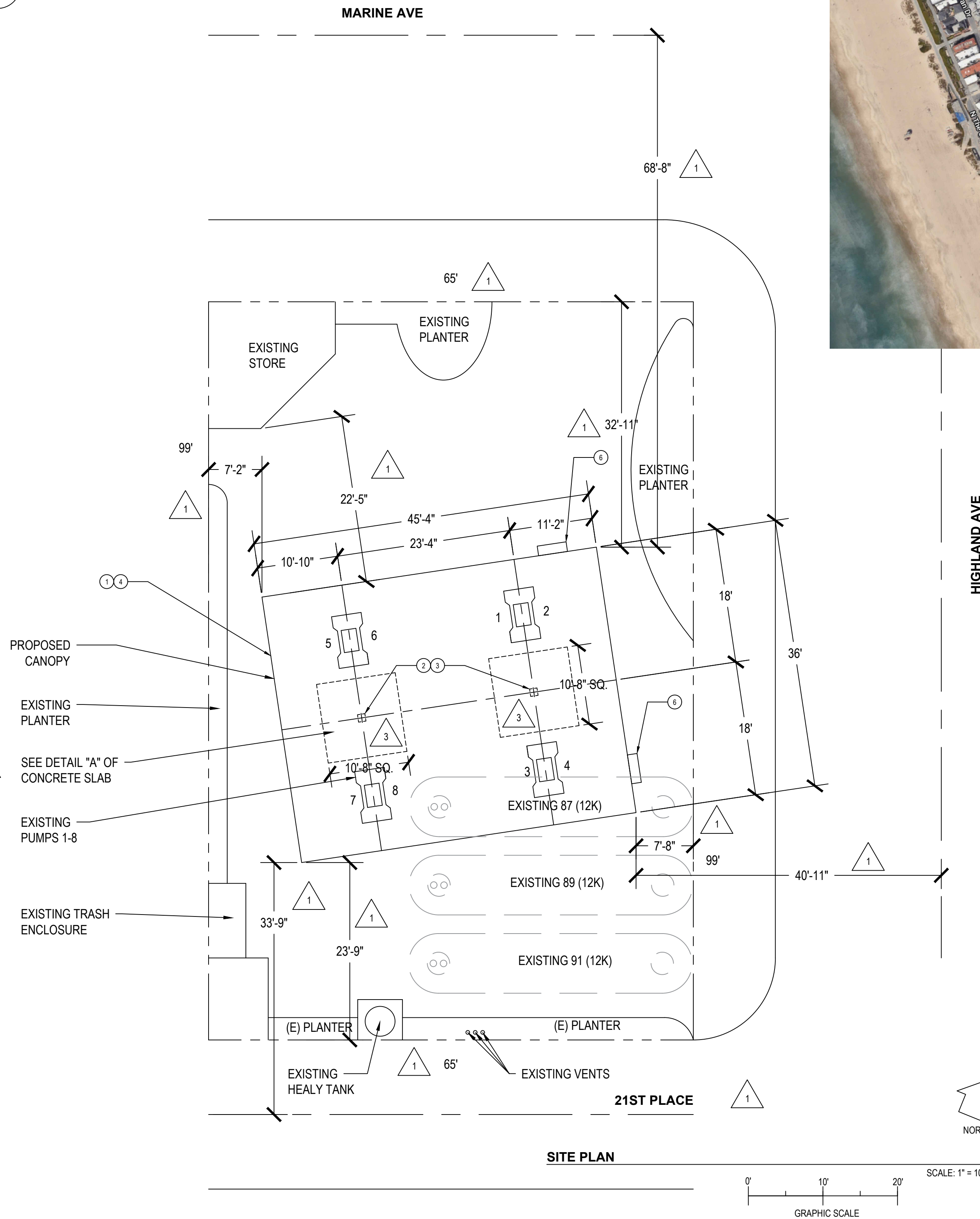
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DRAWN BY: ETHAN BUI  
DATE: 1/2/23  
JOB NO. 0618  
DRAWING NO. S1  
CHECKED BY: ALVARO CORONA

**SHEET**

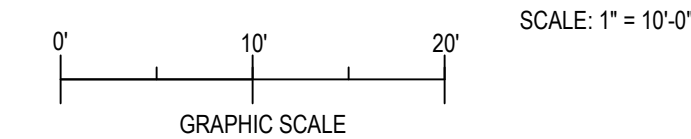
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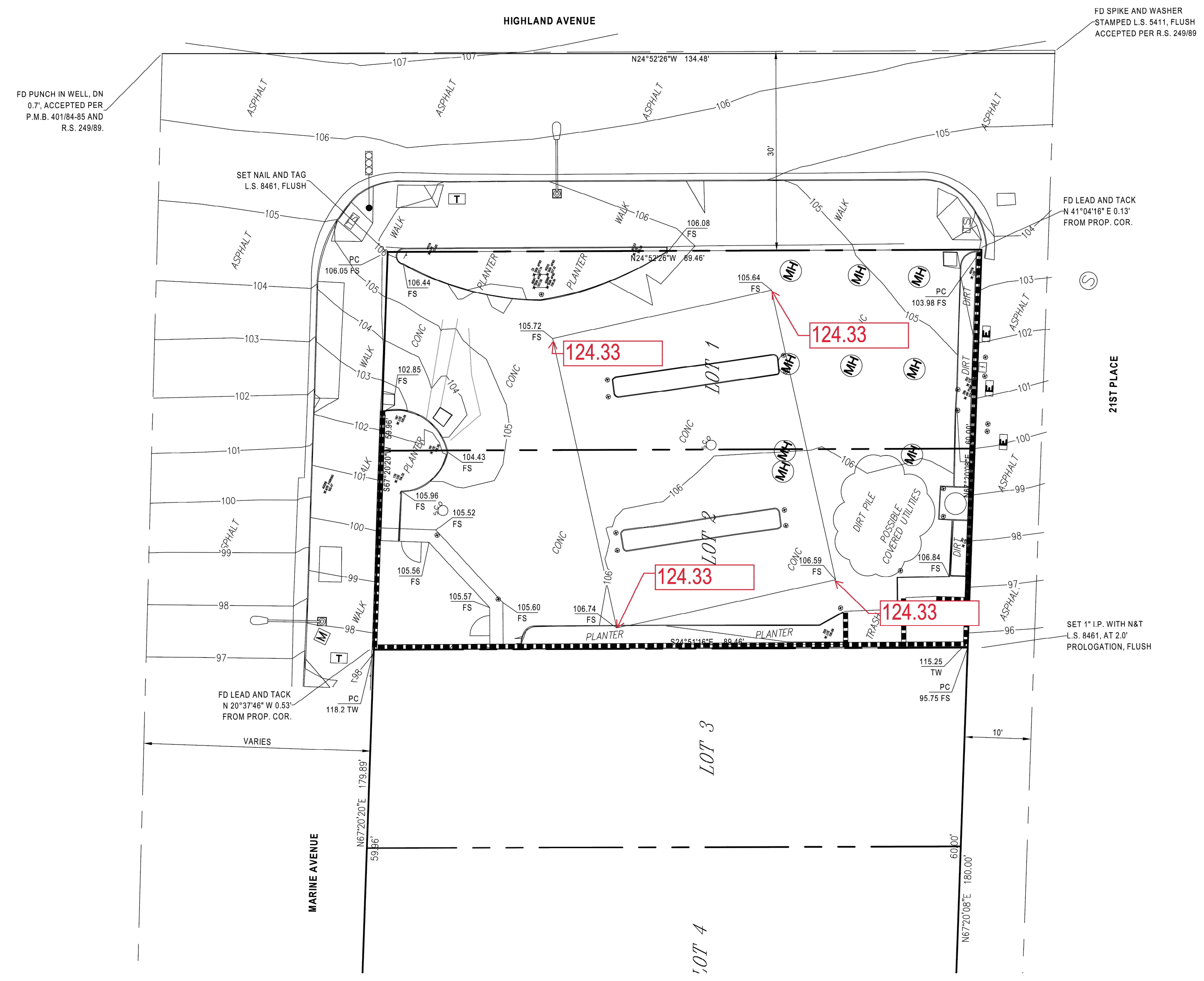
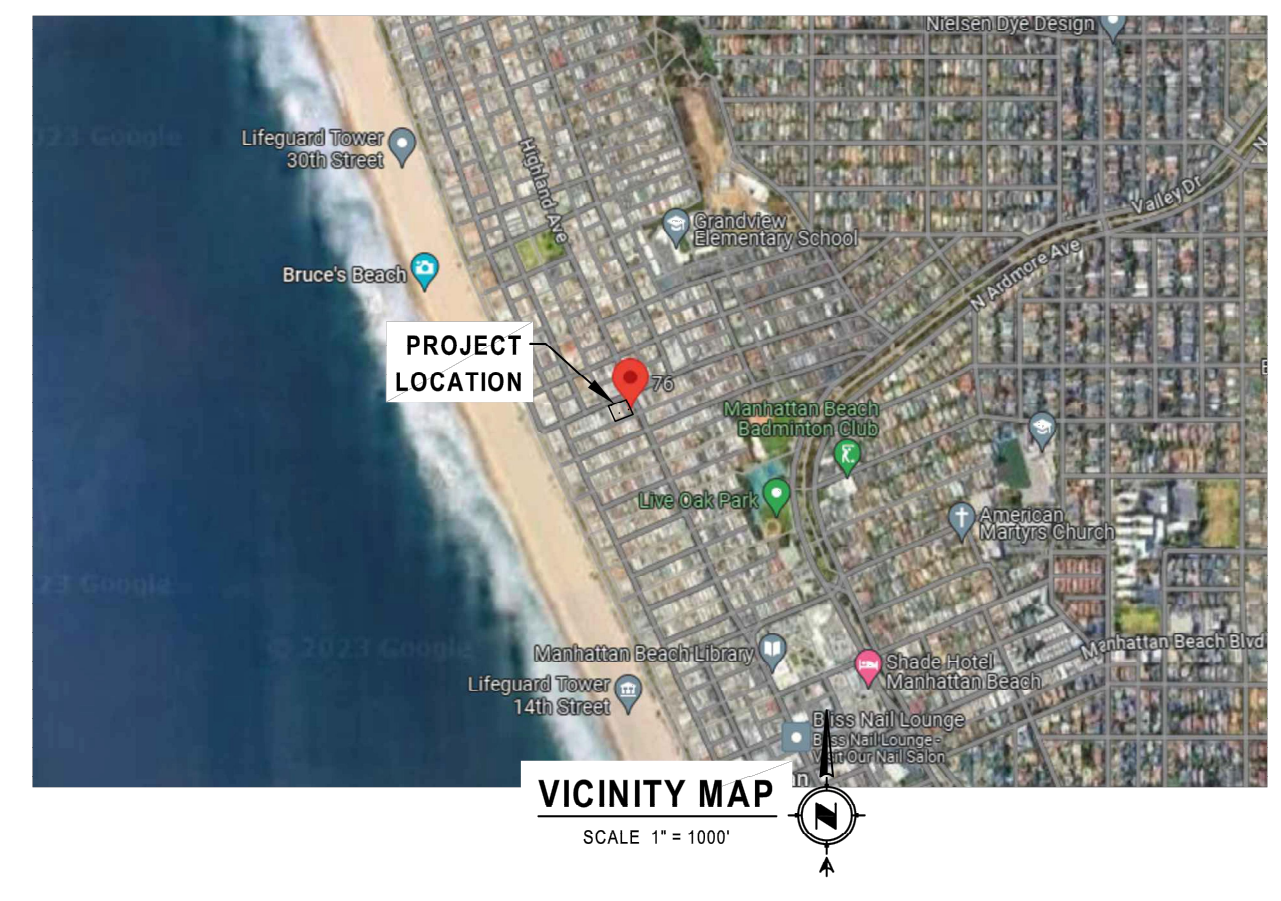
**VICINITY MAP**



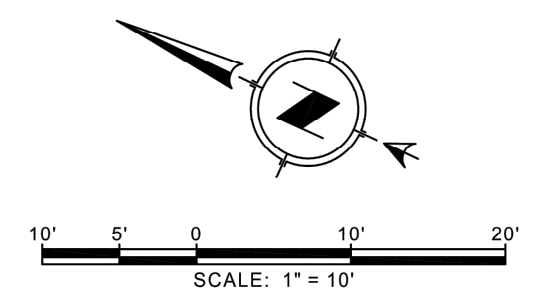
**CONCRETE SLAB AT CANOPY FOUNDATION**  
SCALE: 3/4" = 1'-0"



**TOPOGRAPHIC EXHIBIT  
76 MANHATTAN BEACH**  
2121 HIGHLAND AVE, MANHATTAN BEACH, CA 90266



Property Corners	22' Max Height	Proposed T.O.C.	Difference	Status
NW 105.52 PC				
NE 106.05 PC				
SE 103.98 PC				
SW 95.75 PC				
102.83 average	124.83	124.33	-0.50	Under



DATE	REVISIONS DESCRIPTION

**BENCHMARK**  
VERTICAL DATUM WAS ESTABLISHED PER LOS ANGELES COUNTY BENCHMARK QY8392 AT ELEVATION 37.17'

**BASIS OF BEARINGS**  
HORIZONTAL CONTROL WAS PER RECORD MONUMENTS ON RECORD OF SURVEY 16815 M.B. 249/89 AND BOUNDARY SHOULD NOT BE USED FOR MAPPING PURPOSES.



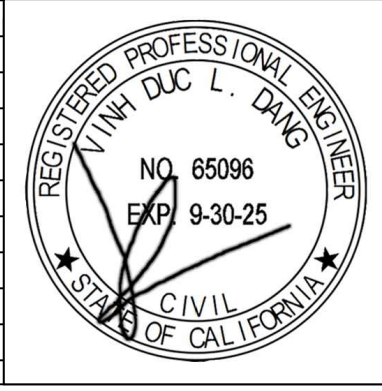
**Waber Consultants INC**  
PLANNING CIVIL ENGINEERING SURVEYING  
19320 S. VERMONT AVE. STE 111, GARDENA, CA 90248  
P (424) 244-2444 F (424) 372-3282

**TOPOGRAPHIC EXHIBIT  
76 MANHATTAN BEACH**  
2121 HIGHLAND AVE, MANHATTAN BEACH, CA 90266

JOB NO. **23058**  
DATE: **4/19/2024**  
SHEET **1**  
OF 1 SHEET



NO.	DATE	REVISIONS DESCRIPTION



**OWNER:**  
**UNITED PACIFIC**  
4130 COVER ST.  
LONG BEACH, CA 90808  
PHONE: 310-323-3992

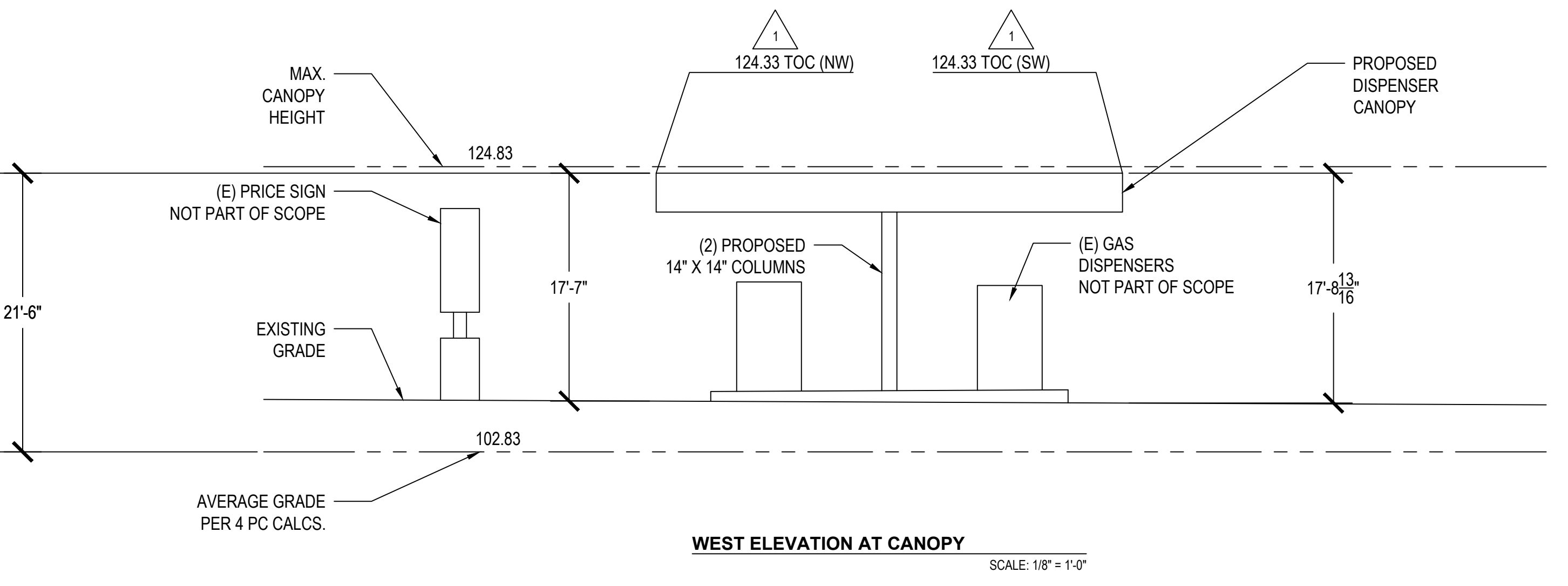
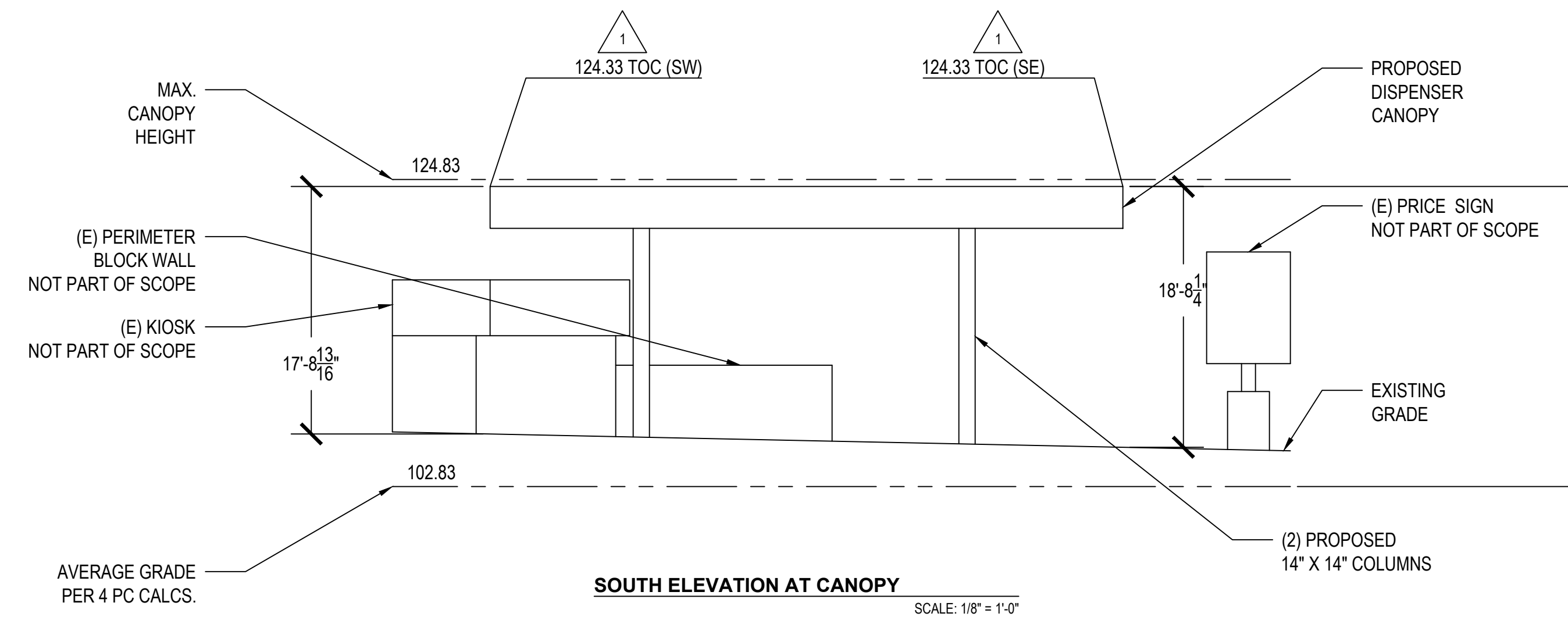
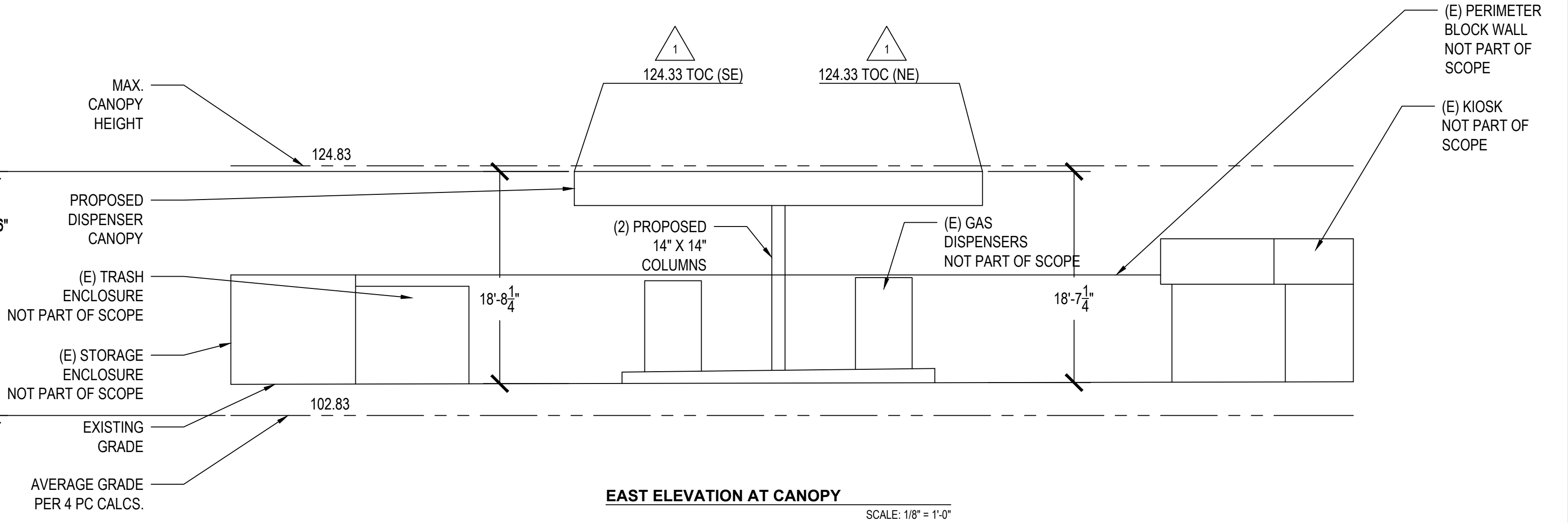
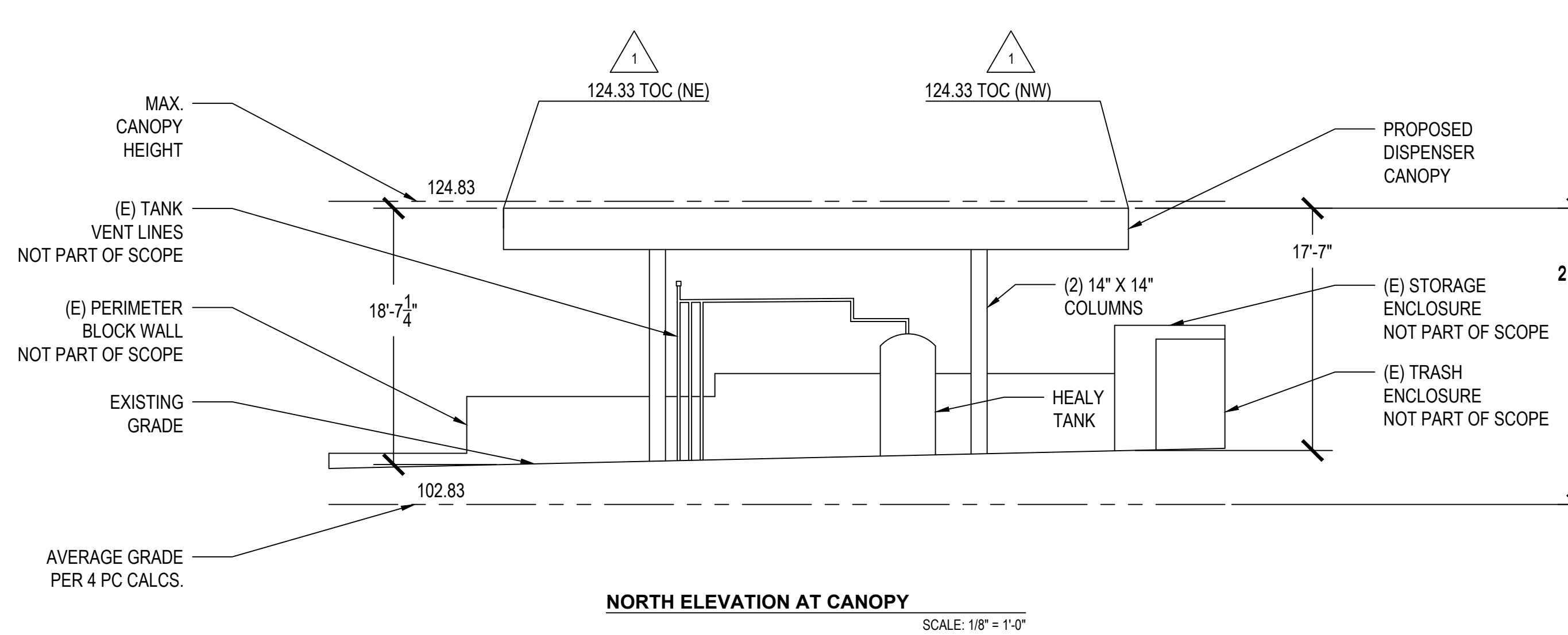
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PHONE: 626-926-7487  
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SCALE:	AS NOTED
DRAWN BY:	ETHAN BUI
DATE:	6/30/24
JOB NO.:	0618
DRAWING NO.:	TE1
CHECKED BY:	ALVARO CORONA

**SHEET  
TE1**

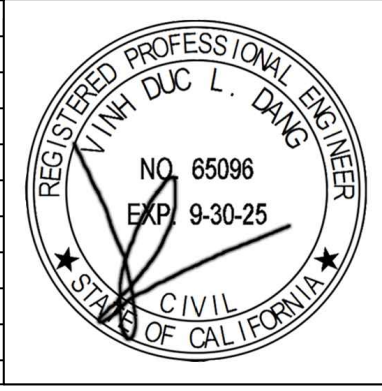
W:\23-2658-76 MANHATTAN BEACH\DWG\023058-01E.dwg Apr 19, 2024 - 11:32am



Property Corners		22' Max Height	Proposed T.O.C.	Difference	Status
NW	105.52 PC				
NE	106.05 PC				
SE	103.98 PC				
SW	95.75 PC				
102.83 average		124.83	124.33	-0.50	Under



REVISIONS		
NO.	DATE	DESCRIPTION
1	6/30/24	ADDED CANOPY HEIGHT ABOVE SEA LEVEL



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**UNITED PACIFIC**  
4130 COVER ST.  
LONG BEACH, CA 90808  
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SAN DIMAS, CA 91773  
PHONE: 626-926-7487  
CA. LIC. #797455  
CLASS A-B-HAZ C-10  
EXPIRES 07/21/2025

**DISPENSER CANOPY ELEVATIONS**  
SITE ADDRESS:  
**UNITED PACIFIC #0618**  
2121 HIGHLAND AVE  
MANHATTAN BEACH, CA 90266

SCALE: AS NOTED  
DRAWN BY: ETHAN BUI  
DATE: 12/10/23  
JOB NO.: 0618  
DRAWING NO.: E1  
CHECKED BY: ALVARO CORONA

**SHEET**  
**E1**