

A NEW THREE STORY SINGLE FAMILY RESIDENCE:
A NEW RESIDENCE
 216 MANHATTAN AVENUE
 MANHATTAN BEACH, CA 90266

AD
06/17/2024

NL
07/01/2024



ARCHITECTURE

2617 NORTH SEPULVEDA BLVD.
 MANHATTAN BEACH, CA 90266
 TEL: 310-318-8089 WWW.TOMARO.COM



PROJECT

NEW RESIDENCE
 216 MANHATTAN AVENUE
 MANHATTAN BEACH
 CALIFORNIA 90266

STAMP

PROJECT NUMBER
 23021

PRINT DATE
 05/15/2024 8:23AM

REVISIONS

REVISION SCHEDULE		
NUMBER	DESCRIPTION	DATE

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DRAWING

3D VIEWS



SHEET NUMBER

COVER



ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANHATTAN BEACH, CA 90266 TEL: 310-318-8088 WWW.TOMARO.COM

A NEW THREE STORY SINGLE FAMILY RESIDENCE:

A NEW RESIDENCE

216 MANHATTAN AVENUE, MANHATTAN BEACH, CA 90266

GENERAL NOTES

- BUILDING COMPLIES WITH 2022 EDITION OF CRC, CBC, CEC, CMC, CPC, CGBC, CEA ENERGY CODE, AND LOCAL CITY AMENDMENTS.
- ADDITIONAL NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 CBC. STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG, AND CF2R-MECH) SHALL BE COMPLETED BY APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES: HERS FIELD VERIFICATION AND/OR TESTING, ALL CF2R FIRMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY.
- CERTIFICATE OF VERIFICATION (CFVR) SHALL BE COMPLETED, REGISTERED, AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CFVR FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
- WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. (R100.4 CRC, 1017.4 CBC)
- PROVIDE APPROVED VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- PV SYSTEM MUST BE INSTALLED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
-
-
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IMPACT APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DRILLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT HORIZONTAL AND 12 FT VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF .037" (CBC SECT. 501.2).
- SUBMIT ELECTRICAL PLANS PREPARED BY A REGISTERED ENGINEER OR AUTHORIZED CONTRACTOR (WHEN ELECTRICAL SERVICE IS OVER 200 AMPERES PER CITY ORDINANCE).

PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/LOT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HORIZONTAL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE, (36" IF OBSTRUCTING DRIVEWAY VISIBILITY COMBINED RETAINING AND FREE STANDING WALL).
- PROVIDE STREET ADDRESS LETTERS AT A MINIMUM 4" INCHES IN HEIGHT @ APPROVED LOCATION.
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- A CAPPED TEE FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. PAT RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDERGROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 3 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MIMIC TO 12.0300) SEE SITE PLAN.
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: UBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCRoACH INTO THE REQUIRED PARKING OR VEHICLE MANEUVERING AREA).

EXCAVATION NOTES

- PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORING MEMBERS. (MIMIC 9.01.07)
- AN EXCAVATION/CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY. THIS INCLUDES, BUT IS NOT LIMITED TO, STANDARD SIDEWALKS, CURBS, GUTTERS, DRIVEWAY APPROACHES, OR UNDERGROUNDING OF UTILITIES.
- CONTRACTOR TO PROVIDE EVIDENCE OF PERMIT FROM CALIFORNIA STATE DEPARTMENT OF INDUSTRIAL SAFETY FOR EXCAVATION 9'-0" OR DEEPER. CALL 213.736.3041.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT "DIG ALERT" PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. (800) 227-2699.
- PROVIDE TEMPORARY SHORING OF ADJACENT PROPERTY. QUALIFIED PERSONS REGISTERED WITH THE STATE SHALL DESIGN SHORING.
- A PERMIT IS REQUIRED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCHES OR EXCAVATION 1 (1.52 METERS) OR DEEPER OR BUILDING STRUCTURE OVER 3 STORIES HIGH OR BUILDING OVER 30' (9.14 METERS) HIGH.
- SEE SHT SP-04 FOR GEOTECHNICAL INFORMATION FOR MORE DETAILS.

FOR ADDITIONAL NOTES:
SEE SHEET A.05 FOR ADDITIONAL CONSTRUCTION NOTES.
SEE SHEET SP.01
SEE SP.02.0 FOR RESIDENTIAL CALIFORNIA GREEN CODE

PUBLIC WORKS NOTES

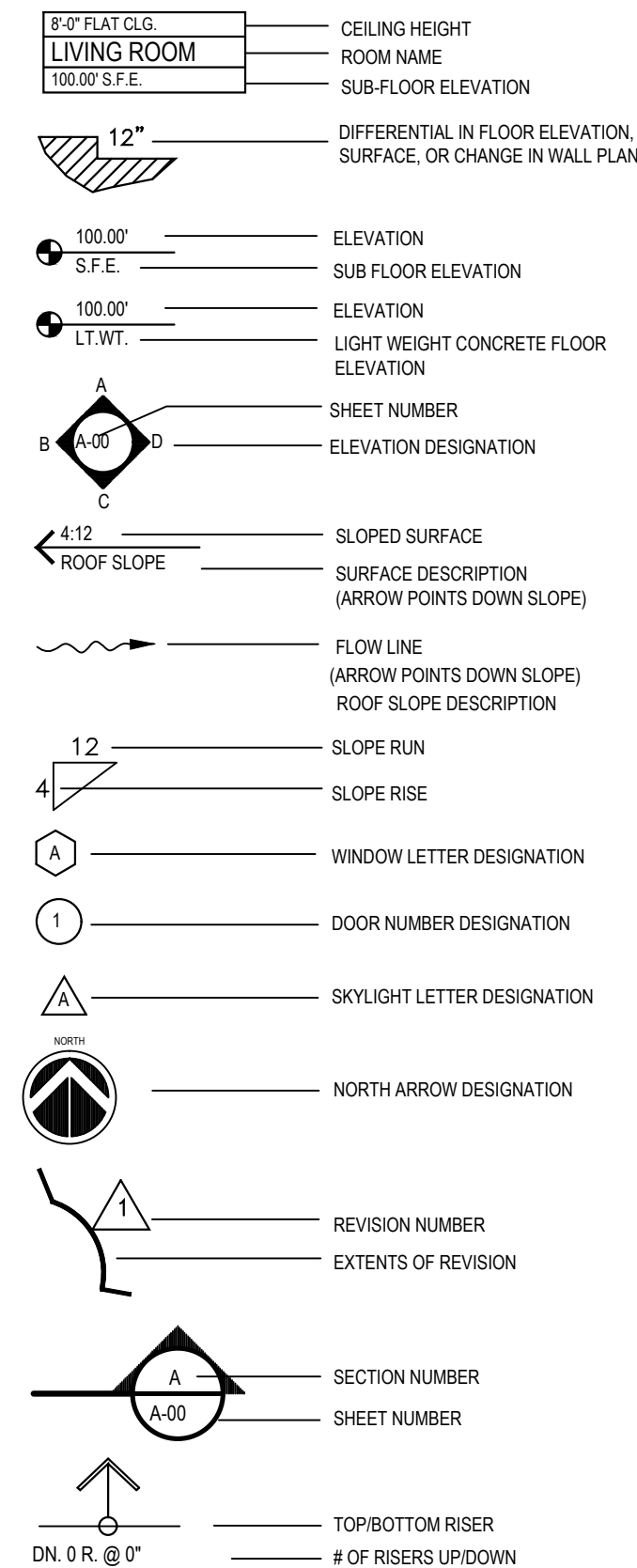
PROJECT DATA: NEW SINGLE FAMILY RESIDENCE BUILDING INFORMATION		
DESCRIPTION	EXISTING	PROPOSED
PARCEL NUMBER(S):	APN 4180-020-016	
PROJECT ADDRESS(S):	216 MANHATTAN AVENUE	
NO. OF STORIES:		3
TYPE OF CONSTRUCTION:		V/B
CODE CYCLE:		2022 California Code of Regulations Title 24
OCCUPANT USE:		R-3/U
AUTOMATIC FIRE SPRINKLER SYSTEM TYPE:		NFPA-13D
SPECIAL CONDITIONS:		

MAIN RESIDENCE (gross floor area)			
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	GRADING DATA
INSIDE FOOTPRINT:			GRADING/ SITE WORK (CUBIC YARDS)
BASEMENT 2:			CUT: 200 CU. YD.
BASEMENT 1:			FILL: 14 CU. YD.
1 ST FLOOR:		590 S.F.	NET EXPORT:
2 ND FLOOR:		956 S.F.	
3 RD FLOOR:		783 S.F.	
GARAGE:		368 S.F.	
DECKS OVER 30"		195 S.F.	

ACCESSORY STRUCTURE (gross floor area)			ADU (gross floor area)		
<input type="checkbox"/> ATTACHED <input type="checkbox"/> DETACHED			<input type="checkbox"/> ATTACHED <input type="checkbox"/> DETACHED		
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	DESCRIPTION	EXISTING (SF)	PROPOSED (SF)
INSIDE FOOTPRINT:			INSIDE FOOTPRINT:		
BASEMENT 2:			BASEMENT 2:		
BASEMENT 1:			BASEMENT 1:		
1 ST FLOOR:			1 ST FLOOR:		
2 ND FLOOR:			2 ND FLOOR:		
3 RD FLOOR:			3 RD FLOOR:		
GARAGE:			GARAGE:		
DECKS OVER 30"			DECKS OVER 30"		

JADU (gross floor area)			EXTERIOR DECK, PORCH, PATIO STRUCTURE (gross floor area)		
<input type="checkbox"/> ATTACHED <input type="checkbox"/> DETACHED					
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	DESCRIPTION	EXISTING (SF)	PROPOSED (SF)
INSIDE FOOTPRINT:			EXTERIOR FOOTPRINT:		
BASEMENT 2:					
BASEMENT 1:					
1 ST FLOOR:					
2 ND FLOOR:					
3 RD FLOOR:					
DECKS OVER 30"					

SYMBOL LEGEND



ABBREVIATION

- A.H. ACTUAL HEIGHT
- A.W. AWNING WINDOW
- B.O.W. BOTTOM OF WALL
- C.H. CRITICAL HEIGHT
- CLG. CEILING
- CLR. CLEAR
- COL. COLUMN
- CONC. CONCRETE
- C.W. CASEMENT WINDOW
- DIM. DIMENSION
- DN. DOWN
- ELEV. ELEVATION
- F.A. FROM ABOVE
- FLR. FLOOR
- FX. FIXED
- HORZ. HORIZONTAL
- HT. HEIGHT
- LAND. LANDING
- LT.WT. LIGHT WEIGHT CONCRETE
- MAX. MAXIMUM
- MIN. MINIMUM
- OP. OPERABLE
- PLINE. PROPERTY LINE
- REQ. REQUIRED
- SECT. SECTION
- S.F.E. SUB FLOOR ELEVATION
- SHT. SHEET
- SK. SKEWED
- SL. SLOPED
- T.O.W. TOP OF WALL

SHEET INDEX

COVER	3D
G.00	PROJECT INFORMATION
C.01	SURVEY
A.00	AREA CALCULATION SHEET
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	ROOF PLAN
A.02	FIRST FLOOR PLAN
	SECOND FLOOR PLAN
A.03	THIRD FLOOR PLAN
A.04	ELEVATIONS
A.05	SECTIONS
A.06	SECTIONS
A.07	DOOR & WINDOW SCHEDULE
A.08	DETAILS
A.09	DETAILS
S.00	STRUCTURAL NOTES, LEGENDS AND SPECS
S.01	FUNDATION AND FRAMING PLANS
D.01	DETAILS
D.02	DETAILS
D.03	DETAILS
D.04	DETAILS
D.05	DETAILS
D.06	HARDY FRAMES DETAILS
D.07	HARDY FRAMES DETAILS
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E.01	ELECTRICAL PLANS
M.01	MECHANICAL PLANS
R.01	REFLECTED CEILING PLANS

CONSULTANTS

CIVIL SURVEY CONSULTANT
DENN ENGINEERS 310.542.9433
3914 DEL AMO BLVD. SUITE 921
TORRANCE, CA. 90503

STRUCTURAL CONSULTANT

GEO-TECHNICAL CONSULTANT

CIVIL-DRAINAGE AND GRADING

PROJECT DATA

PROPERTY OWNERS

MOLONEY DEVELOPMENT
DENNIS MOLONEY
855 MANHATTAN AVENUE
MANHATTAN BEACH, CA 90266
PHONE (310) 480-8854

LEGAL DESCRIPTION

PORTION OF LOT 2, BLOCK 76,
MANHATTAN BEACH DIV. #2,
M.B. 1-49-50,
APN 4180-020-016

OCCUPANCY AND ZONING

OCCUPANCY: R3/U

ZONING: RM

CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLERED

AREA DISTRICT: III

NO. OF UNITS: 1

NO. OF STORIES: 3

SPRINKLERED: YES

**AUTOMATIC FIRE
SPRINKLERS REQUIRED
FOR ENTIRE BUILDING
PER CRC SECT. R313.2**

CITY, STATE, NATIONALLY APPLICABLE CODES

2022 CRC, 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, STATE OF CALIFORNIA, AND THE CITY OF MANHATTAN BEACH

HEIGHT CALCULATIONS

101.83 + 102.08 + 112.02 + 112.23 = 428.16 / 4 = 107.04' + 30' = 137.04'

MAXIMUM ALLOWABLE HEIGHT = 137.04'

ACTUAL HEIGHT = 137.04'

AREA CALCULATIONS

LOT AREA = 1,683 S.F.

FIRST FLOOR	590	
SECOND FLOOR	956	
THIRD FLOOR	783	
TOTAL (LIVING)	2,329 S.F.	
GARAGE	368 S.F.	
PATIO (BACK)	105 S.F.	
DECK	195 S.F.	

BUILDABLE FLOOR AREA CALC.

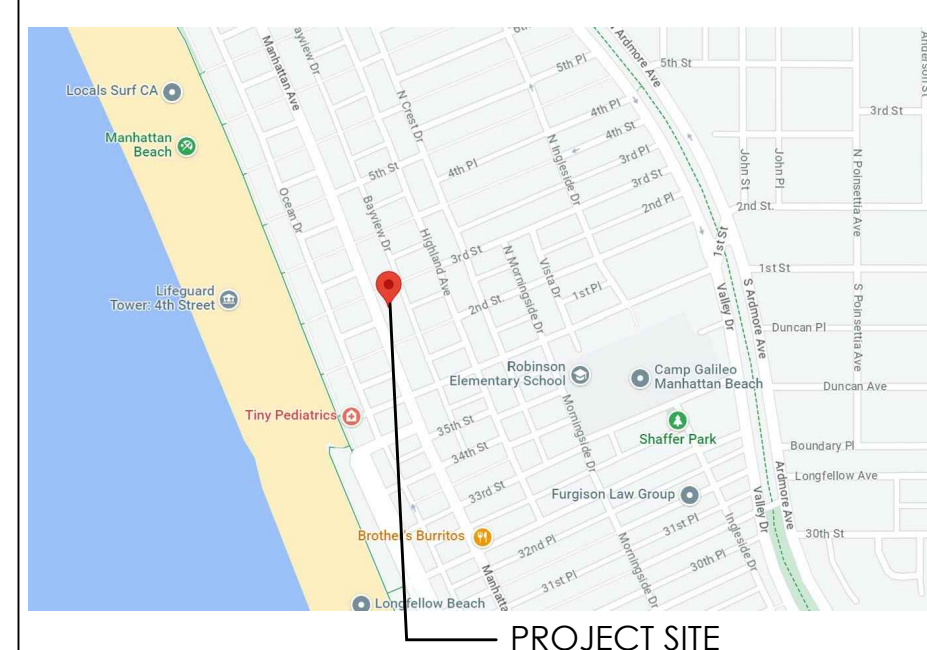
ALLOWED B.F.A = 1,683 X 1.60 = 2,661 S.F.

FIRST FLOOR	590	
SECOND FLOOR	956	
THIRD FLOOR	783	
	SUB-TOTAL	2,329 S.F.
GARAGE OVER 600 S.F.	0	
TOTAL	2,329 S.F.	

OPEN SPACE CALCULATION

TOTAL BUILDING FLOOR AREA	2,329 S.F.
REQUIRED OPEN SPACE @ 15% OF BFA PROVIDED:	350.00 S.F.
FIRST FLOOR	194
SECOND FLOOR	0
THIRD FLOOR	156
TOTAL	350 S.F.

VICINITY MAP



MANHATTAN BEACH

PROJECT

**NEW
RESIDENCE**
216 MANHATTAN AVENUE
MANHATTAN BEACH
CALIFORNIA 90266

STAMP

PROJECT NUMBER
23021

PRINT DATE
04/25/2024 12:46AM

REVISIONS		
NUMBER	REVISION SCHEDULE	DATE

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DRAWING

**PROJECT
INFORMATION**

SHEET NUMBER

G.00

SURVEY AND TOPOGRAPHY

FOR
MOLONEY DEVELOPMENT
DENNIS MOLONEY
805 MANHATTAN AVENUE
MANHATTAN BEACH, CA 90266
PHONE (310) 480-8854

JOB ADDRESS

216 MANHATTAN AVENUE
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION

PORTION OF LOT 2, BLOCK 76,
MANHATTAN BEACH DIV. #2,
M.B. 1-49-50,
APN 4180-020-016

LOT AREA = 1,663 SQ FT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY: KW CHECK BY: TS

DRAWN ON: JUNE 22, 2023

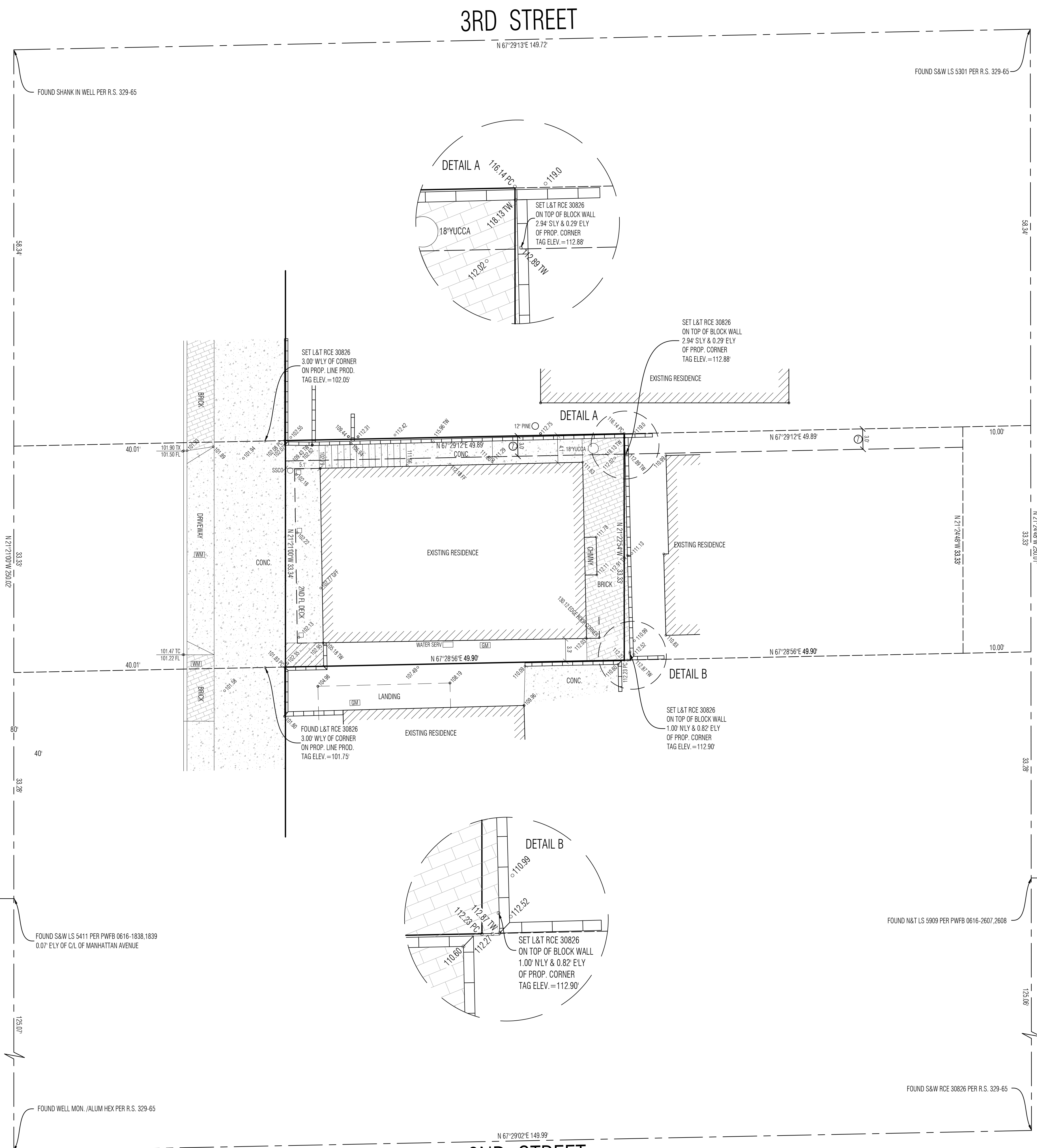
REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	+106.76 EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CATV	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHIMN	CHIMNEY		
CEN	CITY ENGINEERS FIELD BOOK		
CL	CENTERLINE		
C.L. / W.L.E.	CHAIN LINK FENCE / WROUGHT IRON FENCE		
ELY	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FINISH FLOOR		
FL	FIRE HYDRANT		
FL	FLOWLINE		
GFF	GARAGE FINISH FLOOR		
GM	GAS METER		
GW / SW	GW WIRE		
I.P.	IRON PIPE MONUMENT		
L&T	LEAD AND TACK TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
NLY	NORTHERLY		
N&T	NAIL AND TAG MONUMENT		
PE	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)		
PE (CONT)	TELEPHONE / CABLE TV		
PC	PROPERTY CORNER / PROP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / UP	POWER POLE / UTILITY POLE		
PR	PRISM		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
RFB	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPN / S&W	SPRINKLER AND WASHER MONUMENT		
SV	SOUTHERLY		
SSCO	SANITARY SEWER CLEANOUT		
STK / STRK	STAKE / STAKE AND TAG MONUMENT		
STK / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TK / BK	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTERLY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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MANHATTAN AVENUE

BAVIEM DRIVE

2ND PLACE

2ND PLACE

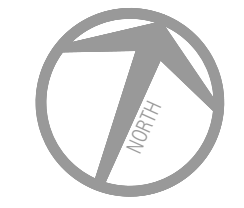
2ND STREET

3RD STREET

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

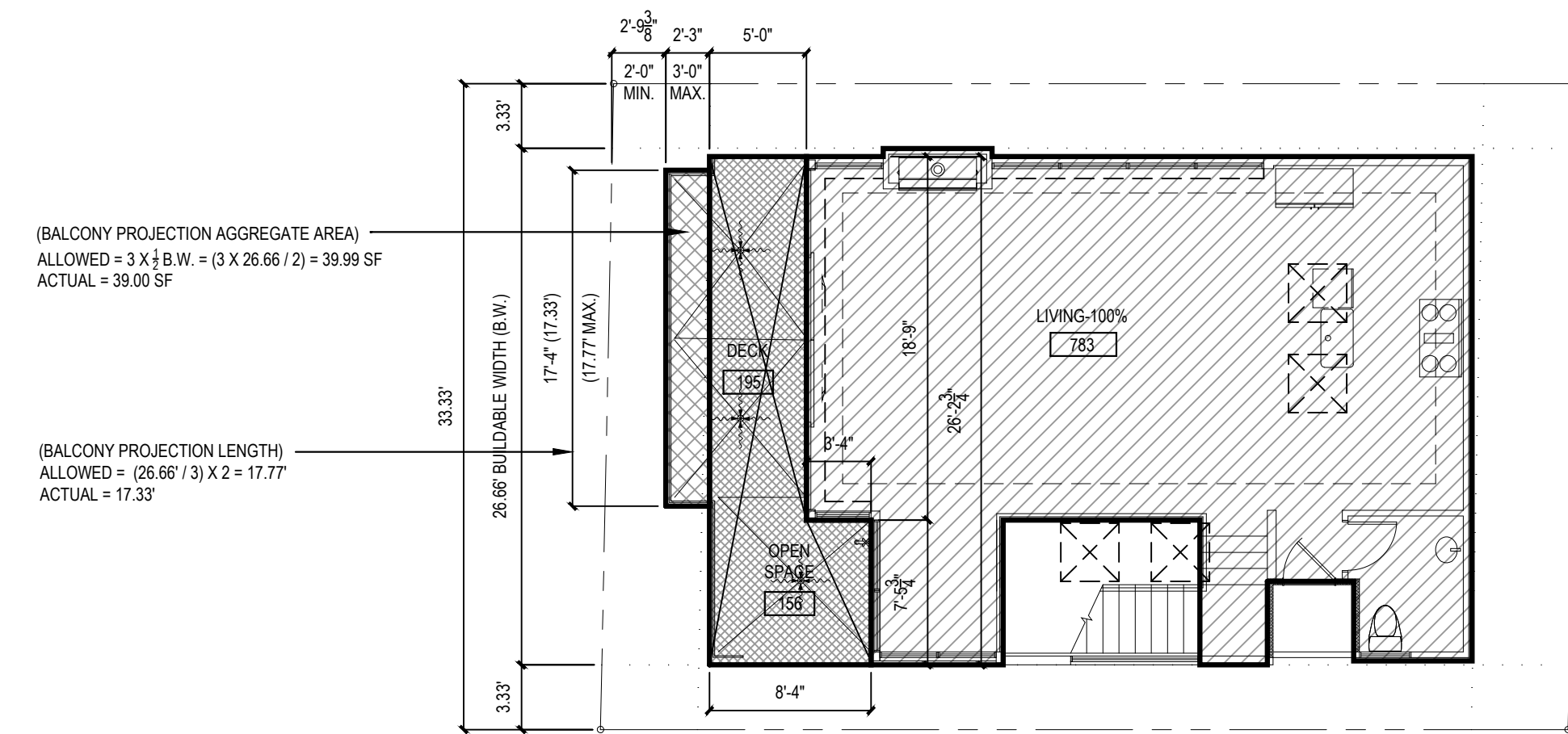
ITEM #7 - AN EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL THERETO RECORDED IN BOOK 02457, PAGE 834 OF OFFICIAL RECORDS.

USA NATIONAL TITLE COMPANY, INC.
ORDER NO. 072334727-30
DATED MAY 30, 2023



SCALE 1" = 8'

C.01

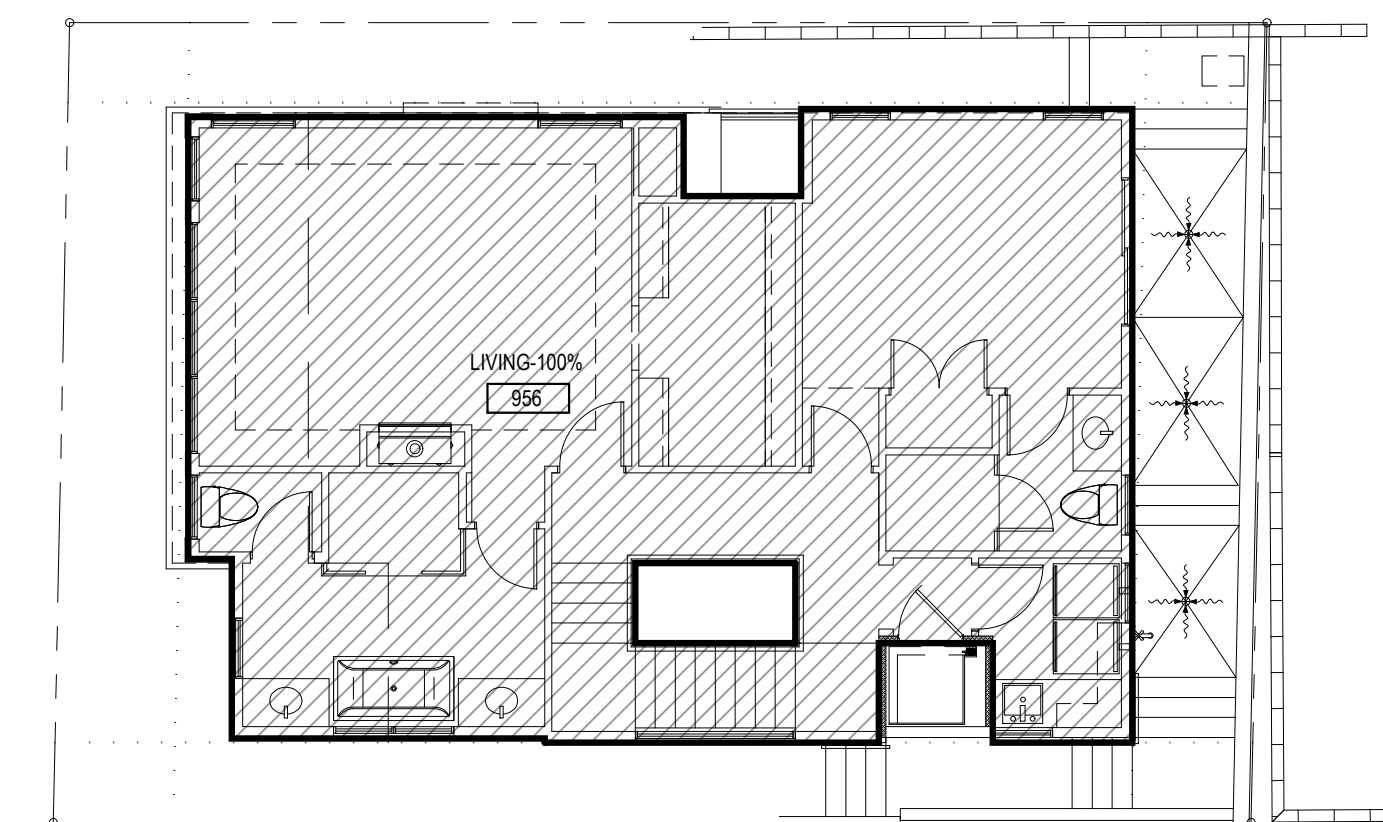


THIRD FLOOR

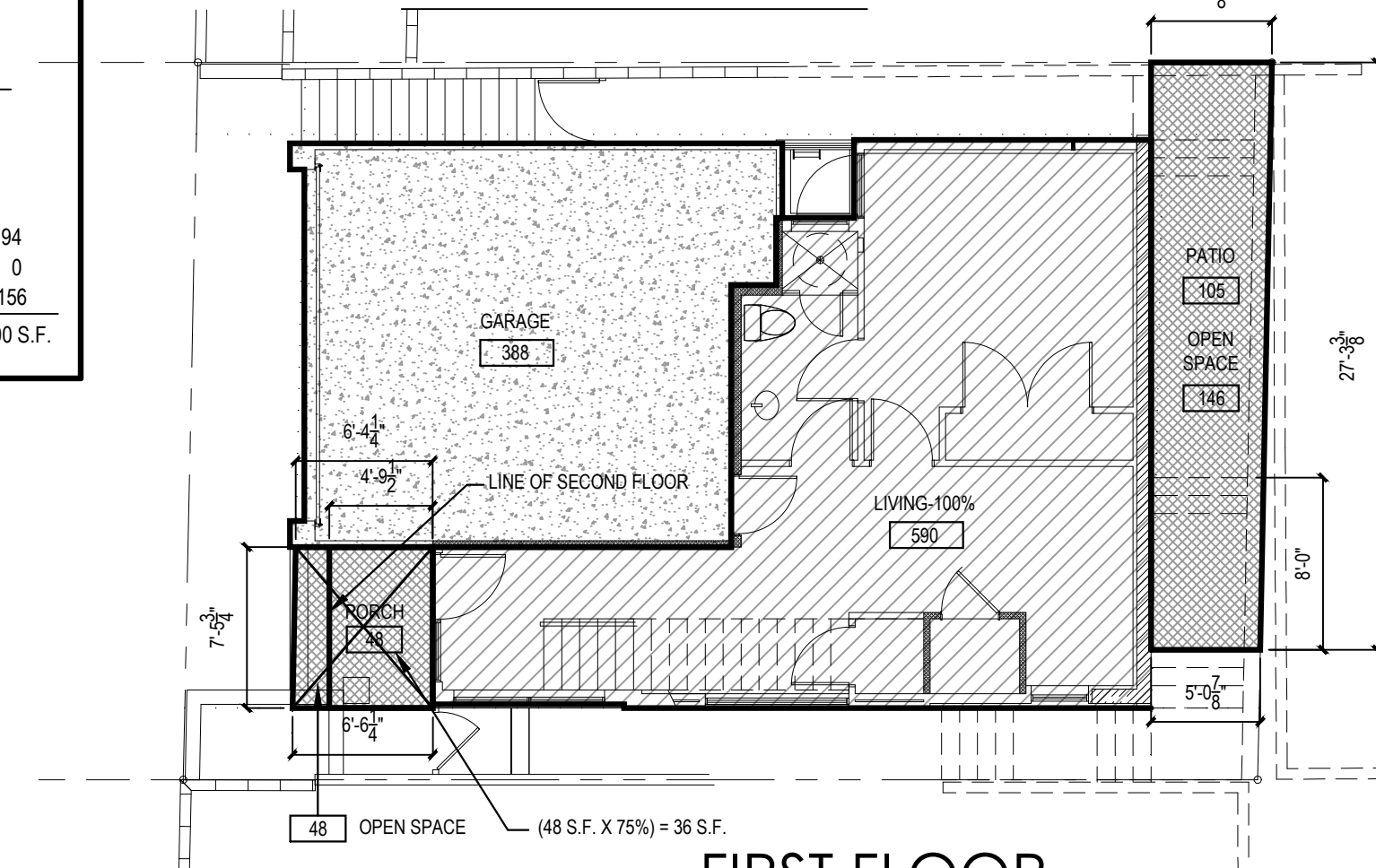
AREA CALCULATIONS		
LOT SIZE =	1,663 S.F.	
FIRST FLOOR LIVING	=	590
SECOND FLOOR LIVING	=	956
THIRD FLOOR LIVING	=	783
TOTAL BUILDING AREA =		2,329 S.F.
GARAGE	=	368
BALCONY/DECK	=	195
PATIO	=	105

BUILDABLE FLOOR AREA CALC.		
MAXIMUM ALLOWED: LOT SIZE X 1.60 = (1,663 X 1.6) = 2,661.00 SF		
FIRST FLOOR LIVING	=	590
SECOND FLOOR LIVING	=	956
THIRD FLOOR LIVING	=	783
TOTAL B.F.A. =		2,329 S.F.

OPEN SPACE CALCULATION		
REQUIRED OPEN SPACE:		
FIRST FLOOR LIVING	=	590
SECOND FLOOR LIVING	=	956
THIRD FLOOR LIVING	=	783
		2,329 S.F.
REQUIRED OPEN SPACE:	2,329 X 15% =	350.00 S.F.
TOTAL OPEN SPACE PROVIDED:		
FIRST FLOOR	= (48 + 146)	= 194
SECOND FLOOR	= 0	= 0
THIRD FLOOR (ALLOWED TO BE COUNTED IS 355 / 2.0 = 176)	=	156
		350.00 S.F.



SECOND FLOOR

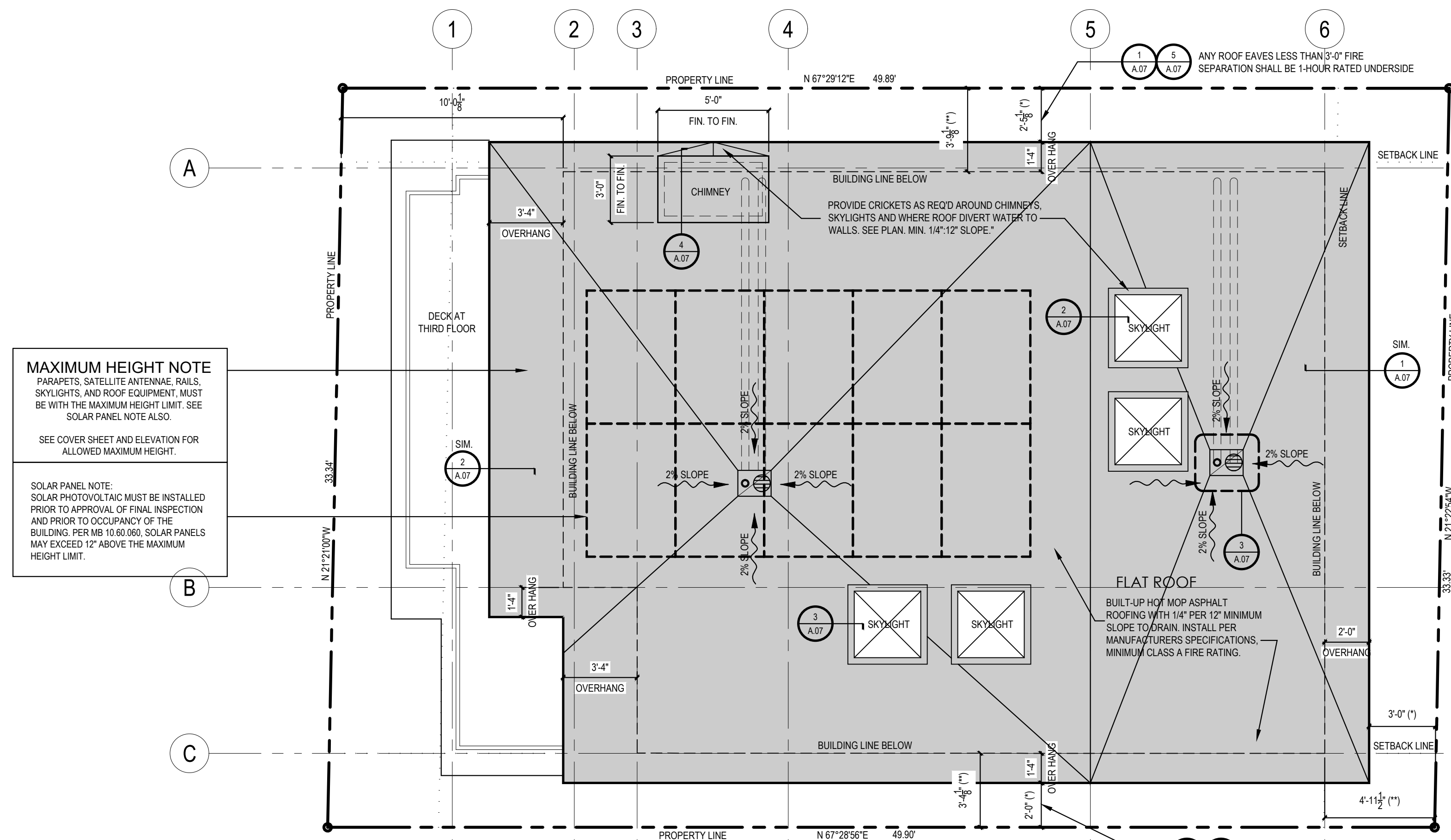


FIRST FLOOR

FLOOR AREA AND OPEN SPACE CALCULATION

SCALE: 1/8"=1'-0"



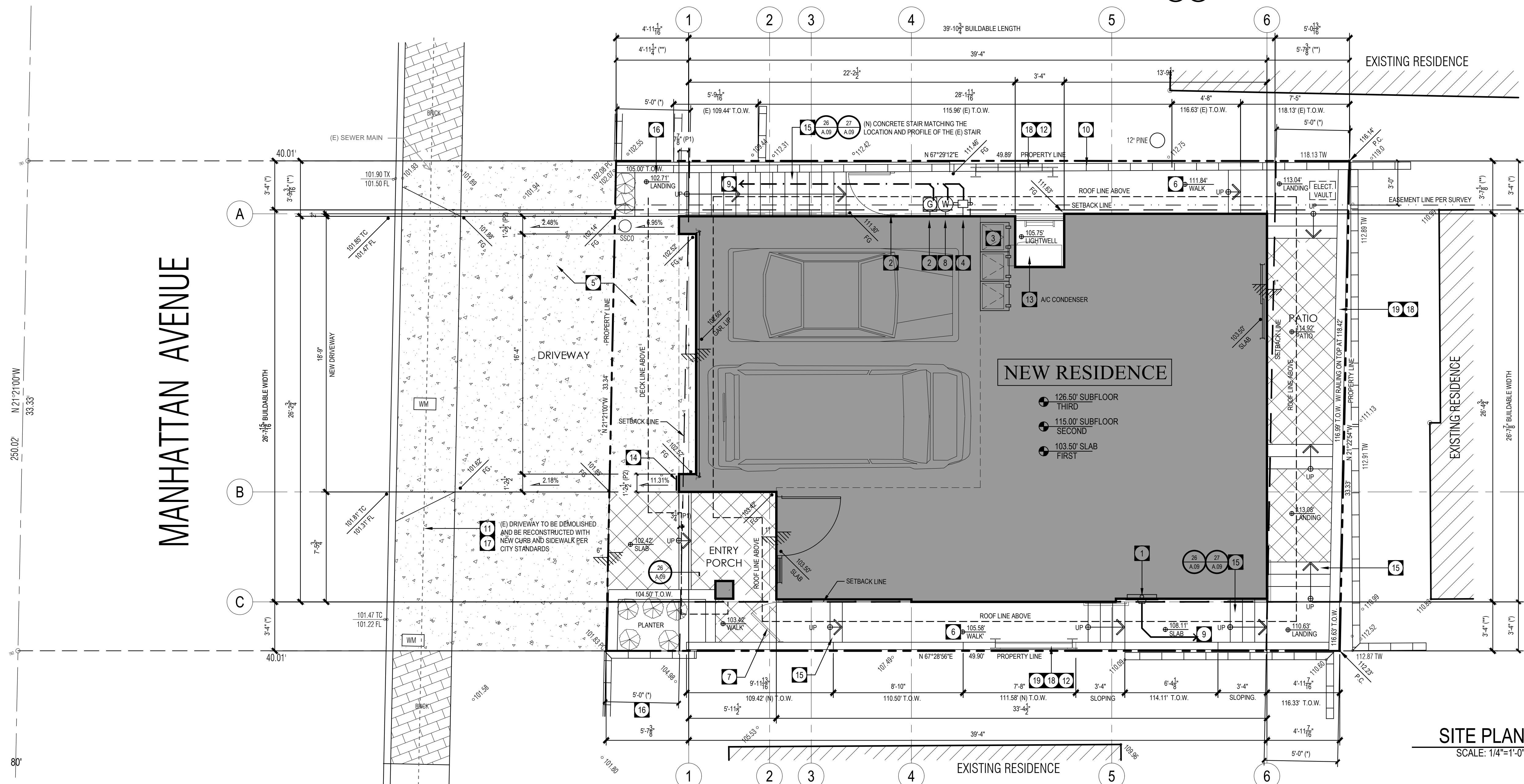


ROOF PLAN
SCALE: 1/4"=1'-0"



DIMENSION NOTATIONS

(*) DIMENSION FROM EAVES TO PROPERTY LINE
(2'-0" CLEAR MINIMUM WITH 1-HOUR FIRE RATING EAVES)
(**) DIMENSION FROM BUILDING LINE TO PROPERTY LINE



SITE PLAN
SCALE: 1/4"=1'-0"



- SITE PLAN KEYNOTES**
- 400 AMPS ELECTRICAL PANEL UNDER SEPARATE PERMIT PER UNIT. PROVIDE 36" DEEP X 30" WIDE X 6'-8" HIGH CLEAR SPACE IN FRONT FOR WORKING SPACE.
 - GAS METER WITH APPROVED SEISMIC GAS SHUTOFF VALVE PER UNIT. 36" AWAY FROM ELECTRIC METER. CONSULT GAS COMPANY FOR DETAILS.
 - TRASH AREA INSIDE GARAGE
 - FIRE SUPPRESSION CHECK VALVE LOCATION PER UNIT
 - CONCRETE DRIVEWAY AT 12.50% MAXIMUM SLOPE PER CITY STANDARDS. SEE PUBLIC WORKS NOTES ON COVER SHEET.
 - CONCRETE SLAB WALKWAY WITH MINIMUM SLOPE TOWARD THE DIRECTION AS SHOWN ON DRAINAGE PLAN.
 - NEW WOOD FENCE / GATE (6'-0" MAXIMUM HEIGHT)
 - WATER MAIN RISER LOCATION PER UNIT.
 - UNDERGROUND UTILITIES: ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEM AND SIMILAR SERVICE WIRES AND CABLE SHALL BE INSTALLED UNDERGROUND IN COMPLIANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES, SAFETY REGULATIONS, AND ORDERS, RULES OF THE PUBLIC UTILITIES COMMISSIONS OF THE STATE OF CALIFORNIA, AND SPECIFICATIONS OR STANDARDS OF THE PUBLIC WORKS DEPARTMENTS.
SEPARATION: TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENT OF HEALTH SERVICES "CRITERIA FOR SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES".
EXISTING BLOCKWALL OR CONCRETE RETAINING WALL/FENCE AT NEIGHBORS SIDES TO REMAIN.
 - IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY REQUIRES PUBLIC WORKS APPROVAL
 - SHORING WHERE OCCURS / PER SHORING PLANS UNDER SEPARATE PERMIT.
 - A/C CONDENSERS (WALL MOUNTED WITH 6'-8" MIN. HEADROOM CLEARANCE)
 - BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.5" (R319.1)
 - EXTERIOR NON-SLIP STEPS WITH 7.75" MAXIMUM RISER, 10" MINIMUM TREAD. PROVIDE HANDRAIL IF STEPS HAS MORE THAN 3 RISERS. HANDRAIL TO BE 36" HIGH FROM STEP NOSING AND AT LEAST 1-1/2" MAXIMUM DIAMETER.
 - FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES MAY BE MAX. 42" IN THE FRONT YARD SETBACK, AND 6'-0" AT ALL OTHER LOCATIONS ON SITE (3'-0" IN DRIVEWAY VISIBILITY TRIANGLE AND IN TRAFFIC VISION CLEARANCE TRIANGLE). SEE ELEVATION FOR HEIGHTS.
 - PROTECT THE PEDESTRIAN PER CBC SECTION 3306 DURING CONSTRUCTION.
 - SEPARATE PERMITS AND PLAN ARE REQUIRED FOR SPA, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS, SHORING, RETAINING WALLS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
 - NEW RETAINING WALL (6'-0" MAX. FROM NATURAL GRADE OR FINISH GRADE WHICHEVER IS THE LOWEST). SEE ELEVATION FOR HEIGHTS. IT REQUIRES NEIGHBORS LETTER OF CONSENT IF LOCATED BETWEEN PROPERTY LINES.
- DIMENSION NOTATIONS**
- (*) REQUIRED SETBACK
(**) ACTUAL SETBACK
(*) 2'-0" MINIMUM ROOF EAVES CLEARANCE TO PROPERTY LINE AT SIDE YARDS.
(**) 2'-0" MINIMUM ROOF EAVES CLEARANCE TO PROPERTY LINE AT FRONT & REAR YARDS.

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DRAWING

SITE PLAN
ROOF PLAN

SHEET NUMBER

A.01



2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90286
TEL: 310-318-8089 WWW.TOMARO.COM

PROJECT
NEW RESIDENCE
216 MANHATTAN AVENUE
MANHATTAN BEACH
CALIFORNIA 90266

STAMP

PROJECT NUMBER
23021

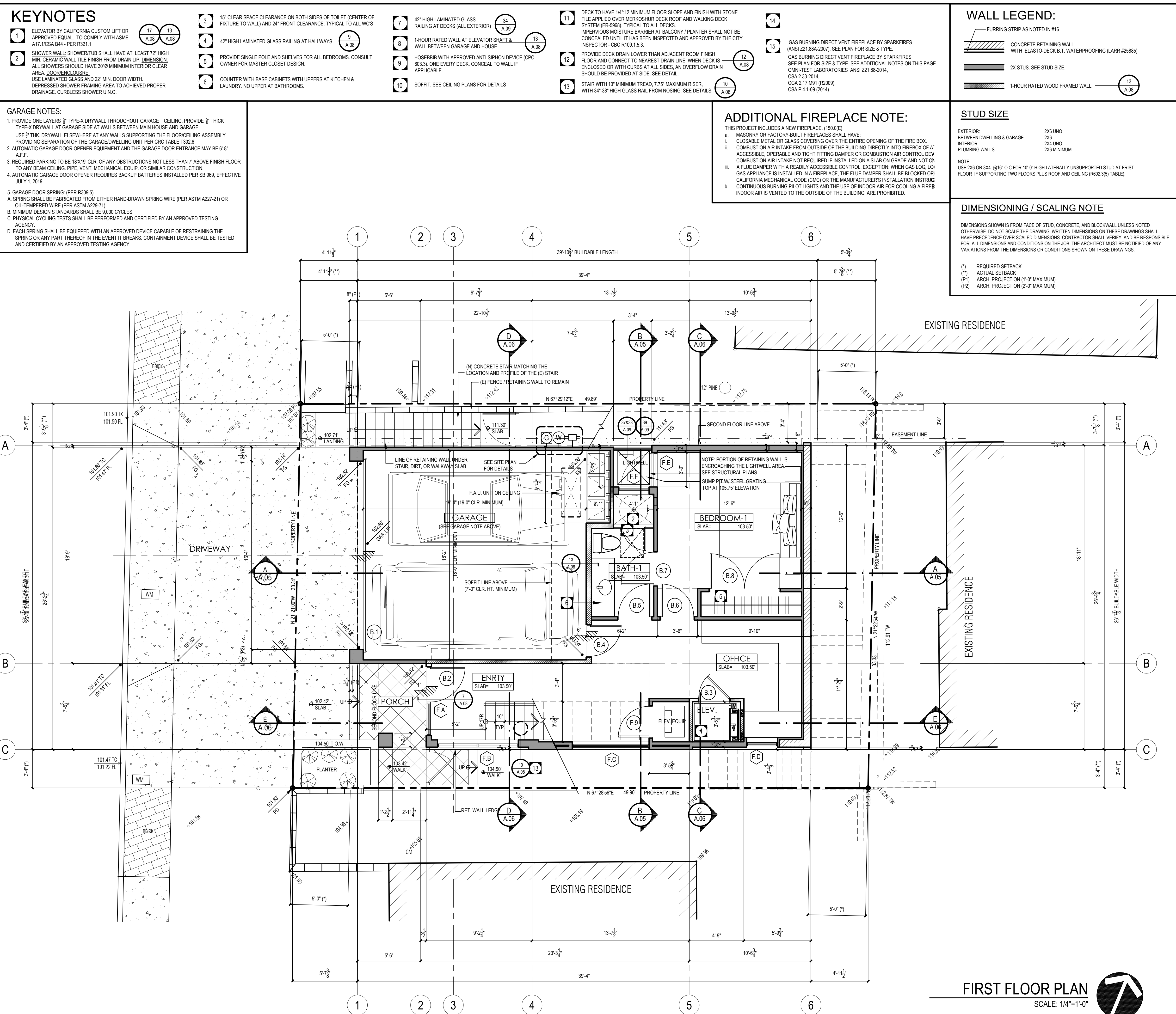
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REVISIONS		
NUMBER	DESCRIPTION	DATE

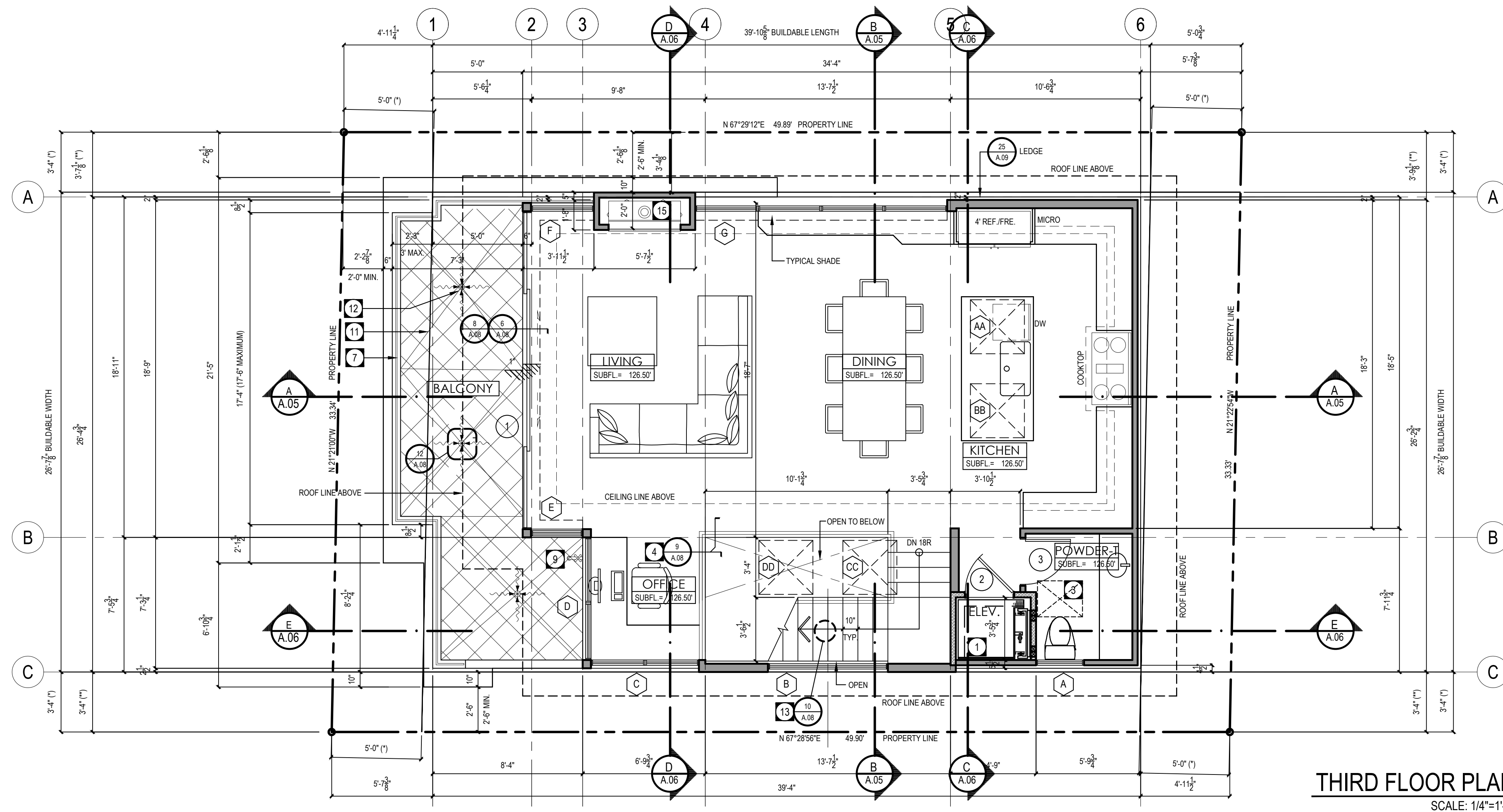
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DRAWING
FIRST FLOOR PLAN

SHEET NUMBER
A.02



MANHATTAN AVENUE



KEYNOTES

- ELEVATOR BY CALIFORNIA CUSTOM LIFT OR APPROVED EQUAL TO COMPLY WITH ASME A17.1/CSA B44 - FER R321.1
- SHOWER WALL: SHOWER/TUB SHALL HAVE AT LEAST 72" HIGH MIN. CERAMIC WALL TILE FINISH FROM DRAIN LIP. DIMENSION: ALL SHOWERS SHOULD HAVE 30"0 MINIMUM INTERIOR CLEAR AREA. DOOR ENCLOSURE: USE LAMINATED GLASS AND 22" MIN. DOOR WIDTH. DEPRESSED SHOWER FRAMING AREA TO ACHIEVED PROPER DRAINAGE. CURBLESS SHOWER U.N.O.
- 15" CLEAR SPACE CLEARANCE ON BOTH SIDES OF TOILET (CENTER OF FIXTURE TO WALL) AND 24" FRONT CLEARANCE. TYPICAL TO ALL W.C.S
- 42" HIGH LAMINATED GLASS RAILING AT HALLWAYS
- PROVIDE SINGLE POLE AND SHELVES FOR ALL BEDROOMS. CONSULT OWNER FOR MASTER CLOSET DESIGN.
- COUNTER WITH BASE CABINETS WITH UPpers AT KITCHEN & LAUNDRY. NO UPPER AT BATHROOMS.
- 42" HIGH LAMINATED GLASS RAILING AT DECKS (ALL EXTERIOR)
- 1-HOUR RATED WALL AT ELEVATOR SHAFT & WALL BETWEEN GARAGE AND HOUSE.
- HOSEBBIE WITH APPROVED ANTI-SIPHON DEVICE (CPC 603.3). ONE EVERY DECK. CONCEAL TO WALL IF APPLICABLE.
- SOFFIT: SEE CEILING PLANS FOR DETAILS
- DECK TO HAVE 1/4" 12" MINIMUM FLOOR SLOPE AND FINISH WITH STONE TILE APPLIED OVER MERKOSHUR DECK ROOF AND WALKING DECK SYSTEM (ER-656). TYPICAL TO ALL DECKS. IMPERVIOUS MOISTURE BARRIER AT BALCONY / PLANTER SHALL NOT BE CONCEALED UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE CITY INSPECTOR - CBC R109.1.5.3.
- PROVIDE DECK DRAIN LOWER THAN ADJACENT ROOM FINISH FLOOR AND CONNECT TO NEAREST DRAIN LINE. WHEN DECK IS ENCLOSED OR WITH CURBS AT ALL SIDES, AN OVERFLOW DRAIN SHOULD BE PROVIDED AT SIDE. SEE DETAIL.
- STAIR WITH 10" MINIMUM TREAD, 7.75" MAXIMUM RISER. WITH 34"-38" HIGH GLASS RAIL FROM NOSING. SEE DETAILS.
-
- GAS BURNING DIRECT VENT FIREPLACE BY SPARKFIRES (ANSI Z21.88A-2007). SEE PLAN FOR SIZE & TYPE. GAS BURNING DIRECT VENT FIREPLACE BY SPARKFIRES SEE PLAN FOR SIZE & TYPE. SEE ADDITIONAL NOTES ON THIS PAGE. OMINI-TEST LABORATORIES ANSI Z21.88-2014. CSA 2.33-2014. CGA 2.17 M91 (R2009). CSA P.4.1-09 (2014)

WALL LEGEND:

- FURRING STRIP AS NOTED IN #16
- CONCRETE RETAINING WALL WITH ELASTO-DECK B.1. WATERPROOFING (LARR #25886)
- 2X STUDS. SEE STUD SIZE.
- 1-HOUR RATED WOOD FRAMED WALL

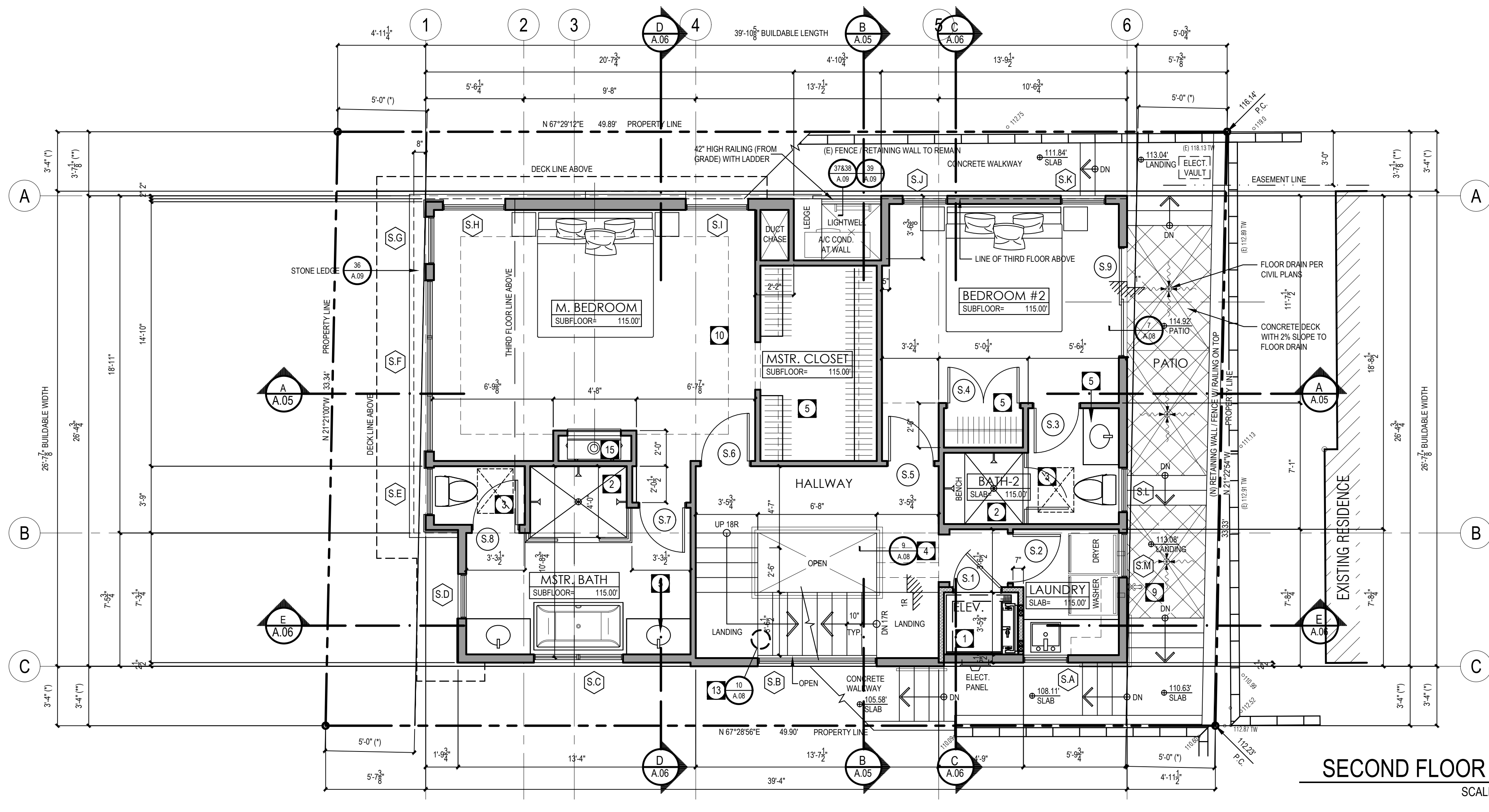
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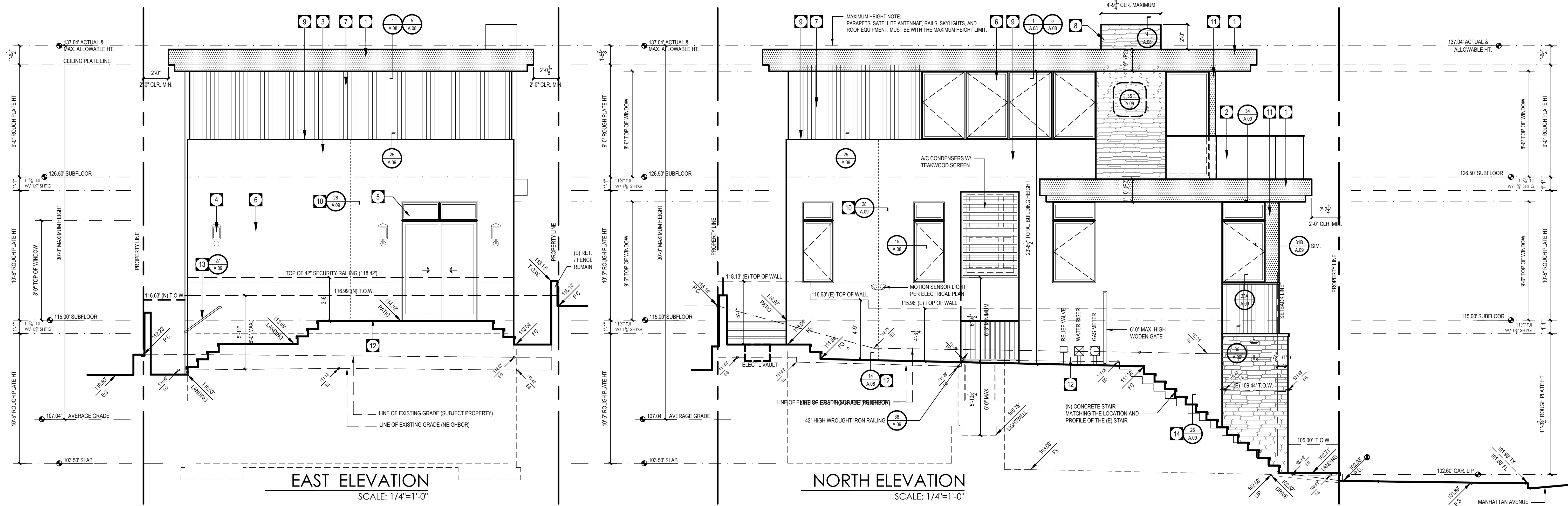
- EXTERIOR: 2X6 UNO
 - BETWEEN DWELLING & GARAGE: 2X6
 - INTERIOR: 2X4 UNO
 - FLUMING WALLS: 2X6 MINIMUM.
- NOTE:
USE 2X6 OR 3X4 @ 16" O.C FOR 10'-0" HIGH LATERALLY UNSUPPORTED STUD AT FIRST FLOOR. IF SUPPORTING TWO FLOORS PLUS ROOF AND CEILING (R602.3/5) TABLE.

DIMENSIONING / SCALING NOTE

DIMENSIONS SHOWN IS FROM FACE OF STUD, CONCRETE, AND BLOCKWALL UNLESS NOTED OTHERWISE. DO NOT SCALE THE DRAWING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS.

(*) REQUIRED SETBACK
(**) ACTUAL SETBACK
(P1) ARCH. PROJECTION (1'-0" MAXIMUM)
(P2) ARCH. PROJECTION (2'-0" MAXIMUM)

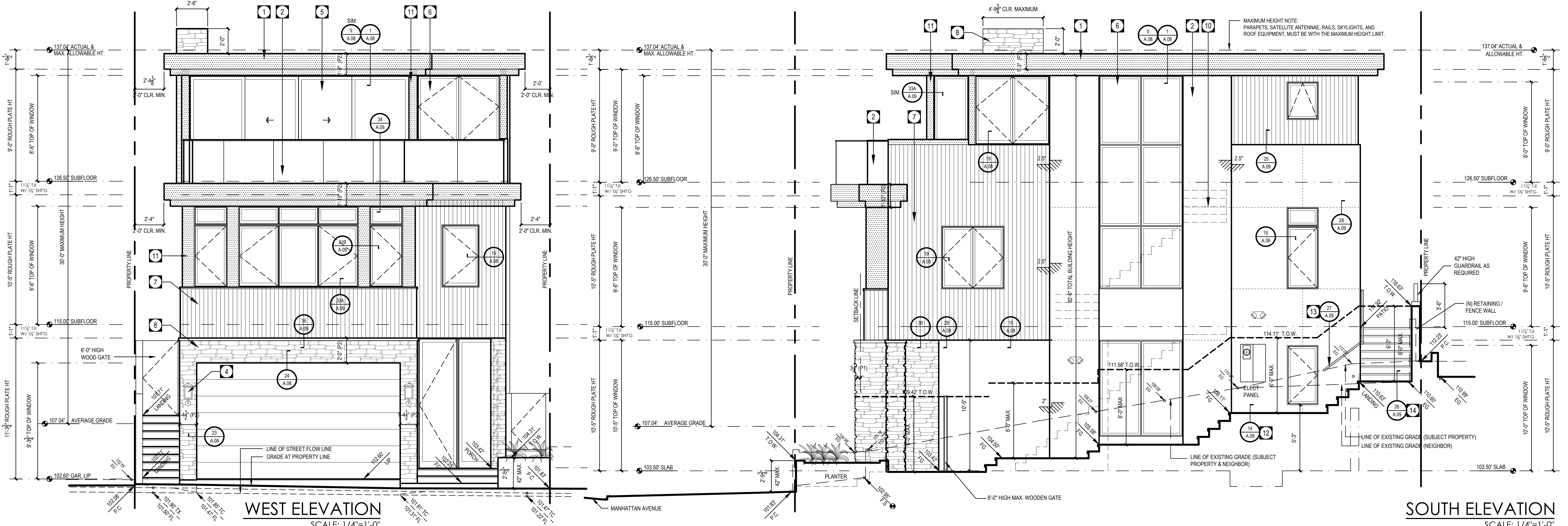




ELEVATION KEYNOTES

- 1 BONDORIZED METAL FASCIA.
- 2 DECK PARAPET WITH 1/2" THK TEMPERED GLASS RAIL. SEE DETAILS WITH BONDORIZED METAL FACING OR FASCIA.
- 3 7/8" THK SMOOTH TROWEL FINISH STUCCO. SEE NOTE BELOW. SEE NOTES #2.
- 4 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS.
- 5 SEE DOOR SCHEDULE.
- 6 SEE WINDOW SCHEDULE.
- 7 STAINED TEAK WOOD SLOTS (PRIMED AND STAINED)
- 8 STONE VENEER (COLOR AND MATERIAL TO BE SELECTED BY OWNER)
- 9 STUCCO LEDGE. SLOPE 1/4"=12 AWAY FROM WALL
- 10 STUCCO REGLET
- 11 SHEET METAL COVER MATCHING WINDOW / DOOR FINISH AND COLOR

- 12 PROVIDE MINIMUM GAGE #26 G.I. WEEPSCREED
 - 13 1-1/2" @ 36" HIGH HANDRAIL FROM NOSING OR FLOOR AND 1-1/2" CLEAR AWAY FROM WALL
 - 14 EXTERIOR NON-SLIP STEPS WITH 7.75" MAXIMUM RISER, 10" MINIMUM TREAD.
- NOTES**
1. ADHERE ALL PRECAST OR TILE VENEERS TO WOOD FRAMING PER CBC SECTION 1405.6
 2. PROVIDE ONE LAYER OF #15 BUILDING FELT AT ALL EXTERIOR WALLS AND TWO LAYERS OF #15 FELT AT SHEAR WALLS (CBC R703.1).
- DIMENSION NOTES:**
- (P1) ARCHITECTURAL PROJECTION - 12" MAXIMUM
(P2) ARCHITECTURAL PROJECTION - 24" MAXIMUM INCLUDING HEIGHT OF ANY PLANTING AT PLANTER AREA.

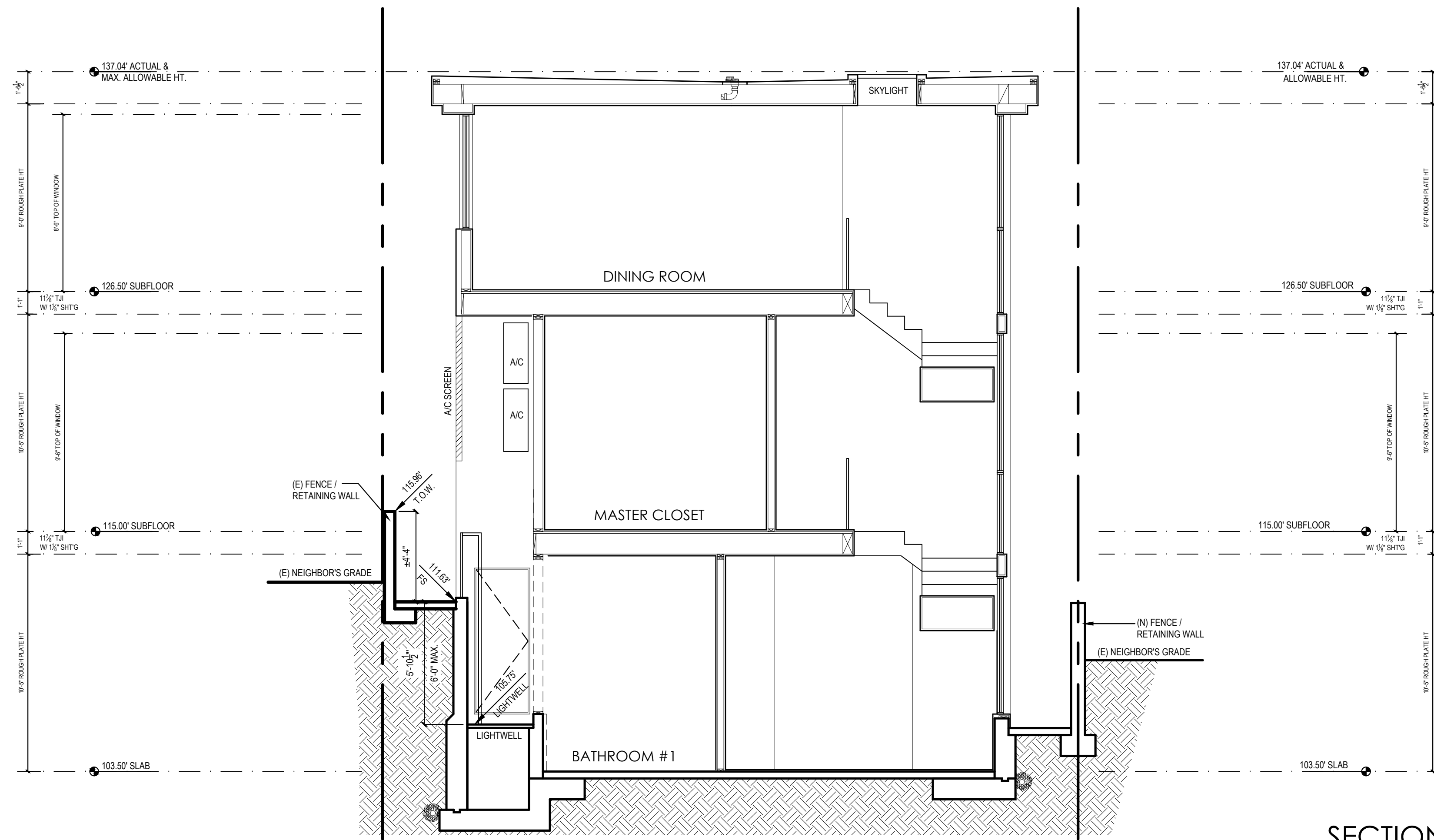


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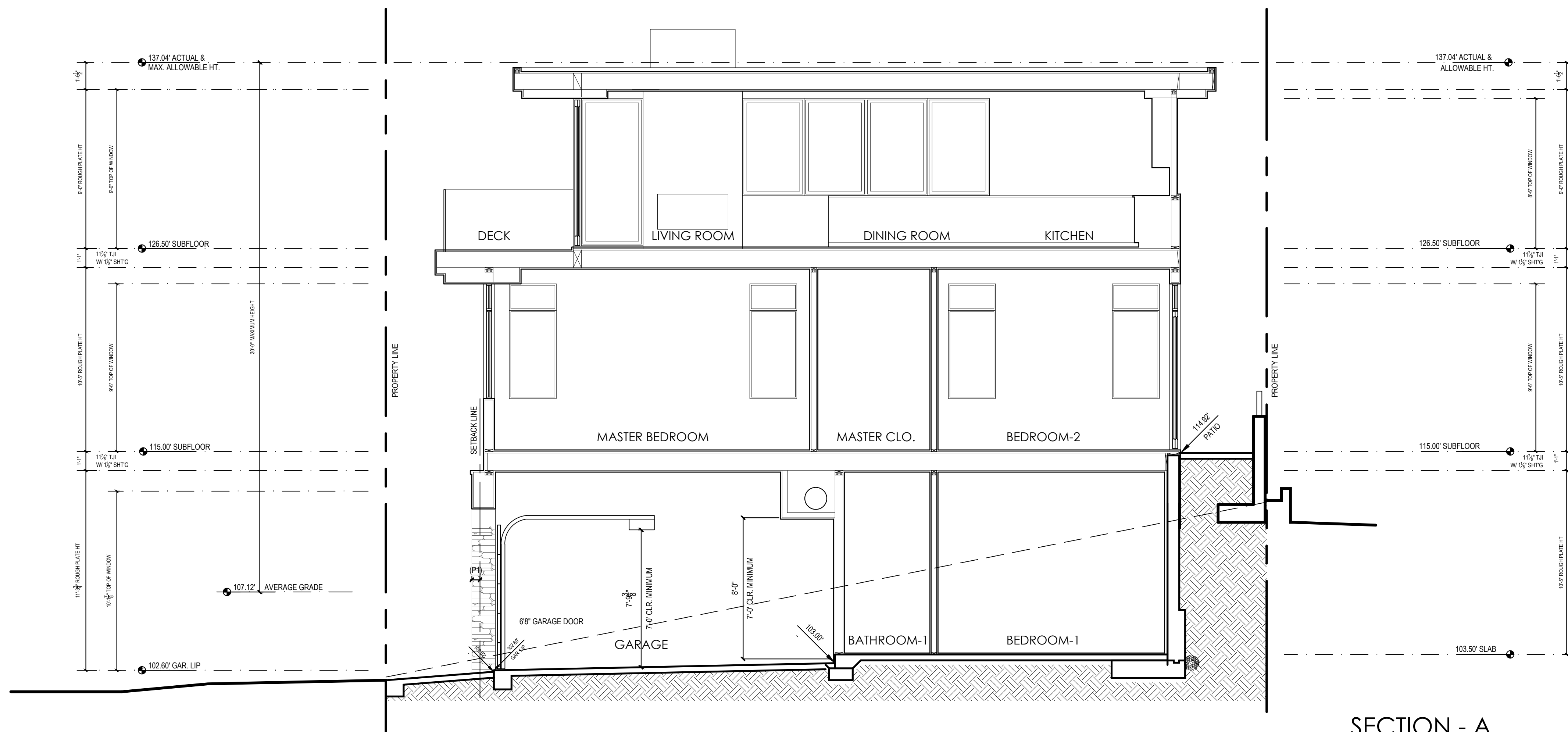
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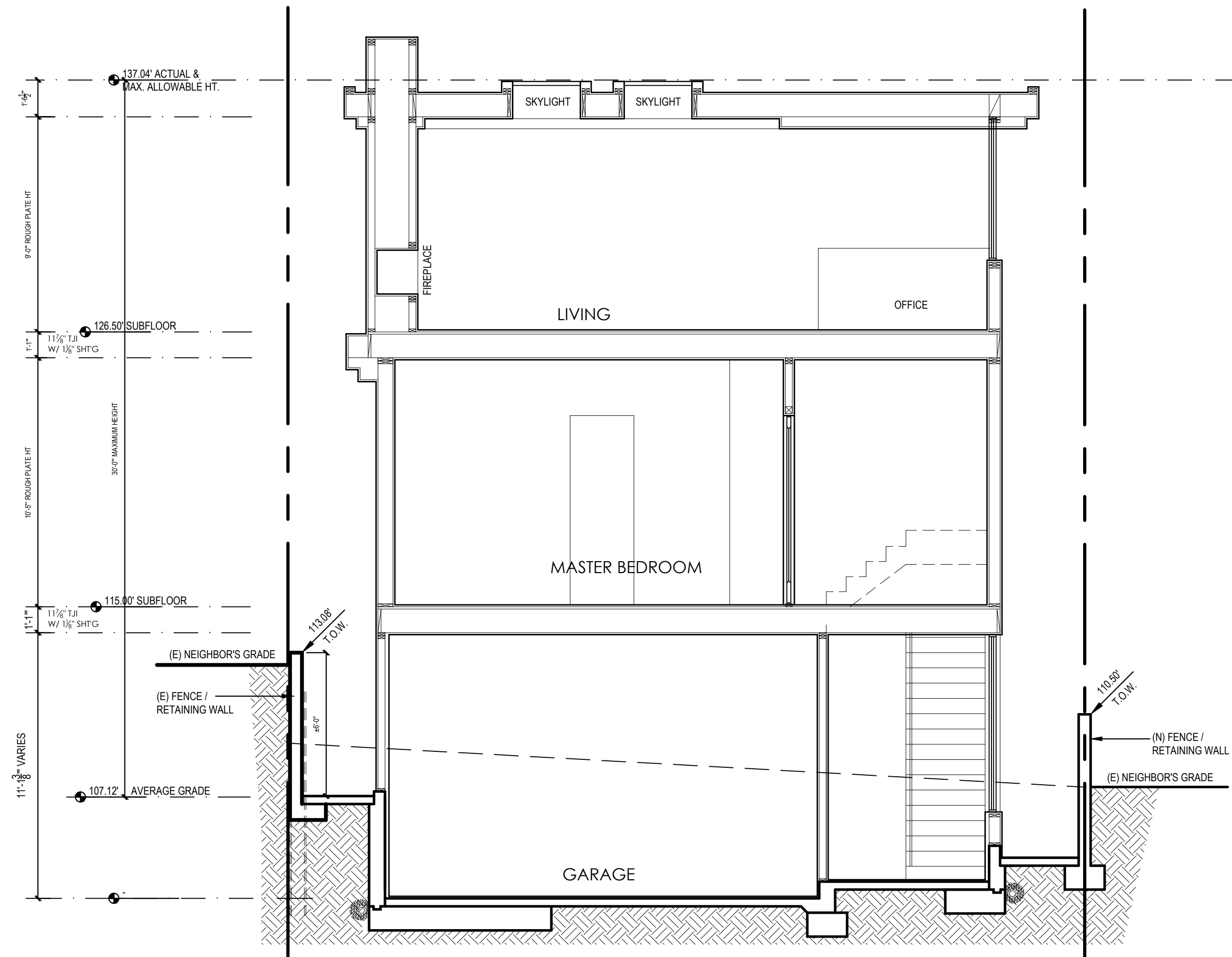
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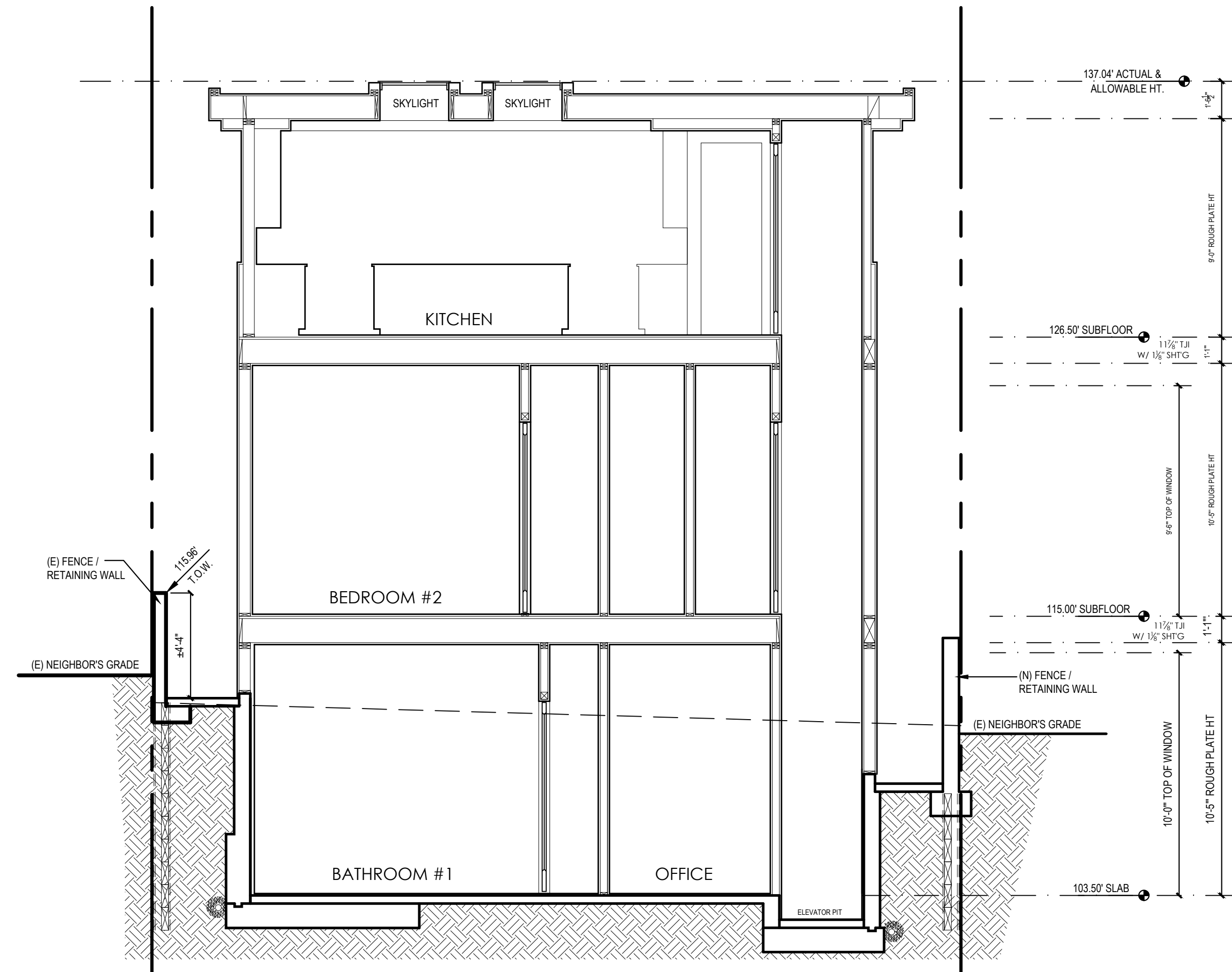
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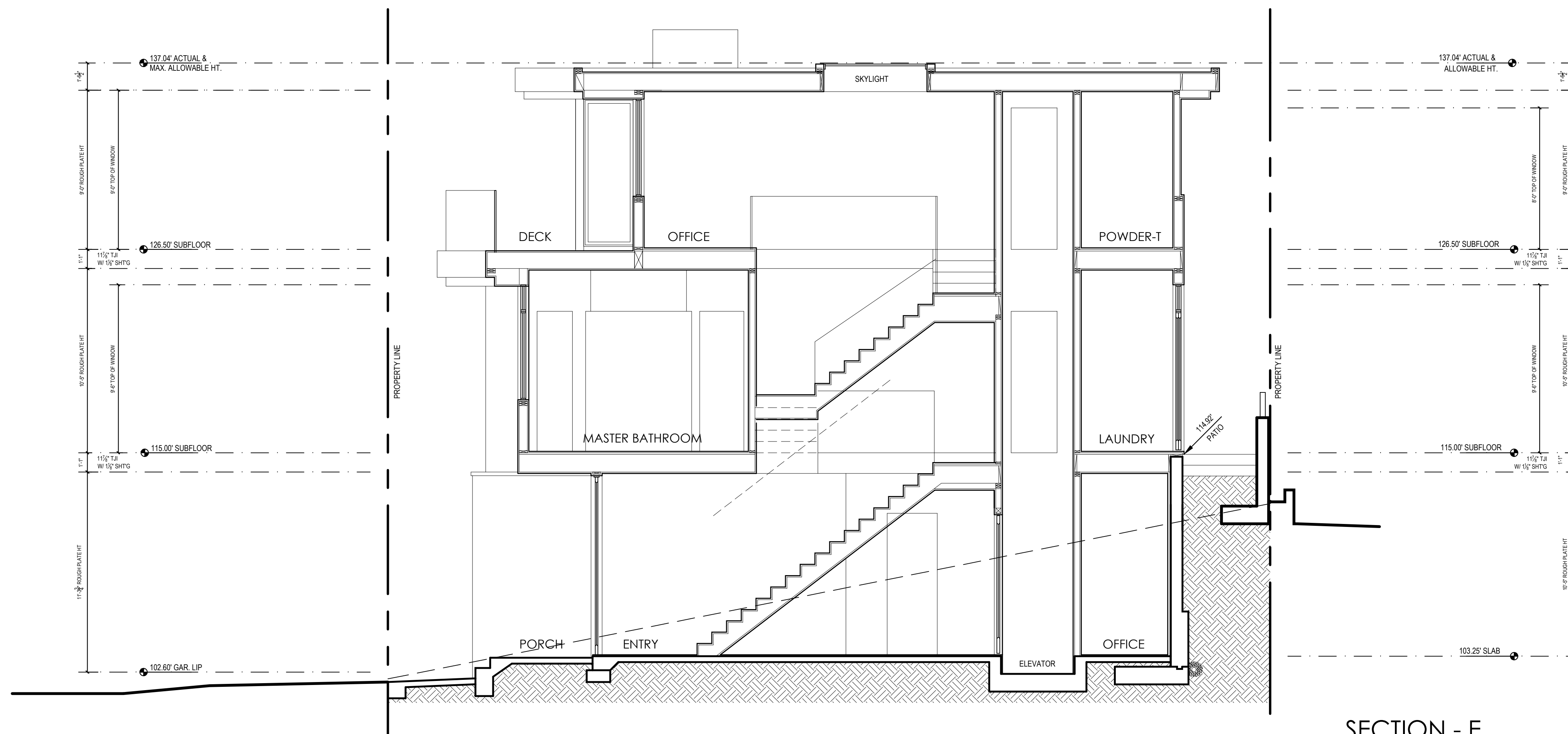
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SECTION - D
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SECTION - C
SCALE: 1/4"=1'-0"



SECTION - E
SCALE: 1/4"=1'-0"