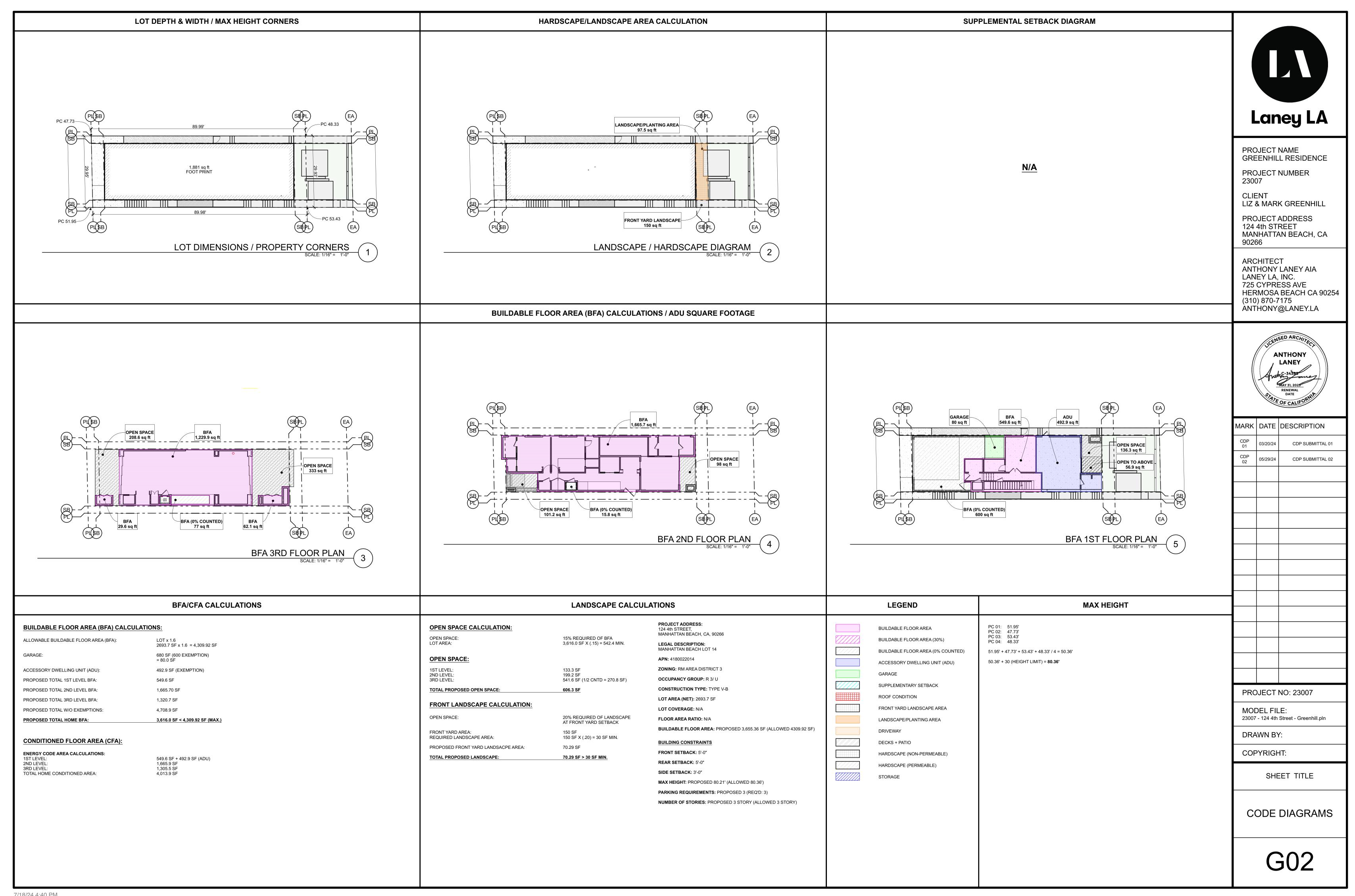
ABBREVIATIONS SYMBOLS SCOPE OF WORK GREENHILL RESIDENCE ANCHOR BOLT LENGTH DEMOLITION OF (E) DUPLEX RESIDENCE. NEW SINGLE AB ABS (3 ACRYLONITRILE BUTADIENE LAMINATE(D) FAMILY HOME OF (3) STORIES, 3 CAR GARAGE, AND LATERAL STYRENE ATTACHED ADU. A/C AFF AFG ACST ACOUS AIR CONDITIONING LAVATORY **NEW GRIDLINES** ABOVE FINISH FLOOR POUND(S) ABOVE FINISH GRADE LINEAL FOOT ACOUSTICAL ACOUSTIC / ACOUSTICAL LEFT HAND ZONE ADJ ALUM ACI ADA ADDL AHU AISC LHR LSCAPE ADJACENT / ADJUSTABLE LEFT HAND REVERSE LANDSCAPE ALUMINUM AMERICAN CONCRETE INSTITUTE AMERICANS WITH DISABILITIES ACT LOCATION **EXISTING BUILDING** LIVING ROOM GRIDLINES ADDITIONAL LIGHTING ZONE: RM DISTRICT III LAMINATED VENEER LUMBER AIR HANDLING UNIT AMERICAN INSTITUTE OF STEEL Laney LA MACHINE ROOM CONSTRUCTION ALT AMP ANCH APT APPROX ALTERNATE(TIVE) MAGNET(IC) AMPERAGE` MATERIAL **LEGAL DISCRIPTION** ANCHOR MAXIMUM APARTMENT MAILBOX NORTH ARROW MC MECH MEMB MEP MEZZ MFR APPROXIMATELY MEDICINE CABINE ARCH ASTM ARCHITECT / URAL MECHANICAL AMERICAN STANDARDS OF MEMBRANE MANHATTAN BEACH LOT 14 BLK 4 TESTING AND MATERIALS MECHANICAL, ELECTRICAL, PLUMBING PROJECT NAME ATTENUATION MF77ANINF GREENHILL RESIDENCE ARCHITECTURAL WOODWORKING MANUFACTURE(R),(D) **BUILDING ELEVATION** MTL MIN MISC INSTITUTE DRAWING NUMBER MINIMUM, MINUTE SHEET NUMBER MISCELLÁNEOUS PROJECT NUMBER **DEFERRED SUBMITTALS** BEDROOM MASONRY OPENING 23007 BITUMINOUS BITUM BLDG BLK(G) BM BO BOD BOF BOS BOW BSMT BTH RM MULLION BLOCK / BLOCKING MULTIPLE -NO DEFERRED SUBMITTALS **CLIENT** DRAWING NUMBER NEW **BOTTOM OF** SHEET NUMBER LIZ & MARK GREENHILL BASIS OF DESIGN NORTH NOT APPLICABLE BOTTOM OF FOOTING **BUILDING CODES** NEIGHBORING GRADE BOTTOM OF SLAB **PROJECT ADDRESS** NOT IN CONTRACT BOTTOM OF WALL BASEMENT NUMBER DRAWING NUMBER 124 4th STREET BATHROOM NOMINAL SHEET NUMBER BTU BRITISH THERMAL UNIT NOT TO SCALE 2022 CALIFORNIA BUILDING CODE MANHATTAN BEACH, CA CAB CB CER CFM CFOI 90266 CABINET 2022 CALIFORNIA RESIDENTIAL CODE OC OD OFF OPNG OPP OFLW OVHD OVHG CATCH BASIN ON CENTER "OUTSIDE DIAMETER, DIMENSION" 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE CUBIC FEET PER MINUTE OFFICE INTERIOR ELEVATION CONTRACTOR FURNISHED **ARCHITECT** OPENING DRAWING NUMBER 2022 CALIFORNIA MECHANICAL CODE OPPOSITE OVERFLOW OWNER INSTALLED SHEET NUMBER **ANTHONY LANEY AIA** 2022 CALIFORNIA ELECTRICAL CODE CAST-IN-PLACE **OVERHEAD** LANEY LA, INC. OVERHANG **CEILING JOIST** 2022 CALIFORNIA PLUMBING CODE **CONTROL JOINT** 725 CYPRESS AVE CJNI CL CLG CLOS CLR CMU CO CONC CONST CONT CONT COORD CPT CSMT CT CENTER LINE PARTICLE BOARD HERMOSA BEACH CA 90254 DRAWING NUMBER CLOSET CLEAR PEDESTAL SHEET NUMBER (310) 870-7175 PERFORATED CONCRETE MASONRY UNIT PERIMETER ANTHONY@LANEY.LA CLEAN OUT PERMANENT COLUMN PERPENDICULAR DRAWING NUMBER CONCRETE SHEET NUMBER **RENOVATION LEGEND** CONSTRUCTION PROPERTY LINE PLAM PLT PLAS PLWD POL CONTINUOUS PLASTIC LAMINATE ENSED ARCHITES COORDINATE / ION PLATE PLASTER CARPET(ED) SPOT ELEVATION +144.25 CASEMENT **PLYWOOD CERAMIC TILE** POLISHED **EXISTING ELEMENT** PREFAB PRELIM PREFABRICATED DATUM / DIMENSION / DEMOLISHED ELEMENT **LANEY** "DRYER; DEEP" PRELIMINARY CONTROL POINT PRI PRKG PROJ PROP PSF DBL *or DEG DEPT DIAG Ø or DIA DIM DN DR DS DTL PARKING NEW ELEMENT PROJECT **DEGREE** DRAWING SHEET DEPARTMENT PROPERTY SEE XX/AXXX POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH DIAGONAL DIAMETER SHOW'G ADJ CONDITION RENEWAL DATE CONTOURS EXISTING CONTOURS **MATERIAL LEGEND** DIMENSION PARALLEL STRAND LUMBER POST/PRE TENSION, PRESSURE REVISED CONTOURS DOOR / DINING ROOM TREATED' PAINT(ED) DOWNSPOUT PROJECT DIRECTORY **PROJECT INFORMATION** SHEET INDEX DETAIL ALUMINUM POLYVINYL ACRYLIC — – – — PROPERTY LINE DISHWASHER POLYVINYL CHLORIDE MARK DATE DESCRIPTION DRAWER ASHLAR STONE DASHED LINE INDICATES PORCELAIN WALL TILE HIDDEN, OVERHEAD, OR **EXISTING** COVERSHEET & GENERAL INFO PROJECT DATA: NEW SINGLE FAMILY RESIDENCE BUILDING INFORMATION DEMO'D ITEMS BRICK FACE/COMMON QUANTITY CDP MARK & LIZ GREENHILI CDP SUBMITTAL 01 COVER SHEET 124 4TH STREET DESCRIPTION PROPOSED CENTERLINE **EXISTING** EXTERIOR INSULATION AND RADIUS, RISFR" **CEMENTITIOUS UNDERLAYMENT** MANHATTAN BEACH CA 90266 G02 CODE DIAGRAMS REFLECTED CEILING PLAN FINISH SYSTEM CDP MARKG@SMALLEY.COM ELECT ELEV CDP SUBMITTAL 02 G03 **GENERAL NOTES** 5/29/24 PARCEL NUMBER(s): 4180022014 4180022014 ELECTRICAL "ROOF DRAIN, ROAD" CONCRETE BREAKLINE "ELEVATOR; ELEVATION" ROUGH OPENING PROJECT ADDRESS(s) 124 4TH STREET MANHATTAN BEACH, CA 9026 SURVEY LANEY LA, INC **ENGR** ENGINEER RECESSED CONCRETE MASONRY UNIT 725 CYPRESS AVE ELECTRICAL PANEL REFER(ENCE), REFRIGERATOR" NO. OF STORIES: 2-STORY 3-STORY V01 SURVEY ALIGN ELEMENT HERMOSA BEACH, CA 90254 EARTH, COMPACTED FILL EQUIP ESMT EST (310) 870-7175 TYPE OF CONSTRUCTION TYPE V-B TYPE V-B RES RESIL RESISTANT ANTHONY LANEY LANDSCAPE **FSTIMATE** RESILIENT EARTH, UNDISTURBED 2022 CALIFORNIA CODE OF REGULATIONS TITLE 24 ANTHONY@LANEY.LA CODE CYCLE: N/A LANDSCAPE PLAN CEILING HEIGHT TAG **FACH WAY** RFTAINING "REVERSE. REVIS(ED).(ION)" EXHST EXP **FXHAUST** OCCUPANT USE: R3/U R3/U **GRAVEL FILL** "RIGHT HAND, ROÒF HÀTCH **FXPANSION** DENN ENGINEERS **DEMOLITION PLANS** RIGHT HAND REVERSE EXTERIOR AUTOMATIC FIRE 3914 DEL AMO BLVD, SUITE 921 APPLIANCE / FIXTURE TAG N/A NFPA-13D DEMO PLAN GROUT/SAND TORRSNCE, CA 90503 SPRINKLER SYSTEM: FLUID-APPLIED-MEMBRANE ROUGH OPENING (310) 542-9433 FORCED AIR UNIT RIGHT-OF-WAY ASSEMBLY TAG (WALL INSULATION, BATT SPECIAL CONDITIONS: N/A CONTACT: GARY J. ROEHL SITE PLAN REVOLUTIONS PER MINUTE FLOOR, CEILING, ROOF) MCONRAD@DENN.COM FDN FOUNDATION A101 SITE PLAN MAIN RESIDENCE (GROSS FLOOR AREA) **ROOFTOP UNIT** INSULATION RIGID GEO-TECHNICAL ENGINEER NORCAL ENGINEERING FROST-FREE HOSE BIB 101.2 FLOOR PLANS DOOR TAG PROPOSED (SF) **GRADING DATA** DESCRIPTION **EXISTING (SF** INSULATION, SPRAY FOAM SELF-ADHERING MEMBRANE 10641 HUMBOLT STREET FINISH GRADE 1ST FLOOR PLAN FIXTURE LOS ALMITOS, CA 90720 **INSIDE FOOTPRINT** X SF **GRADING/SITE WORK (CY)** ORIENTED STRAND BOARD FINISH FLOOR ELEVATION SCHEDULE. 2ND FLOOR PLAN FINISH TAG PL-01 FLOWLINE STORM DRAIN CONTACT: SCOTT SPENSIERO BASEMENT 1 X SF CUT: XX CY FLR FLUOR 3RD FLOOR PLAN FI OOR SECTION SCOTT@NORCALENG.COM PARTICLE BOARD FLUORESCENT SQUARE FOOT/FEET A204 FILL: XX CY ROOF PLAN 1ST FLOOR: X S' 549.6 SF SINGLE-FAMILY RESIDENCE **ROOM TAG** STRUCTURAL ENGINEER PLYWOOD FACE OF CONCRETE FOUNDATION PLAN A205 2ND FLOOR: 1,665.7 SF NET E[∨] . XX CY COMPANY NAME STREET ADDRESS FOIC **FURNISHED BY OWNER** STANDPIPE STEEL, OTHER METALS 3RD FLOOR: 1,320.7 SF CITY, STATE ZIP CODE **ELEVATIONS** SPECIFICATION(S) / SPECIFIED $\langle 101.A \rangle$ WINDOW TAG (XXX) XXX-XXXX FOIO SPRINKLER ELEVATIONS WOOD, BLOCKING OR SHIM GARAGE: X SF 680.0 SF CONTACT: PROJECT LEAD NAME FOM FOP FOS FPL FRMG **EMAIL ADDRESS** A302 ELEVATIONS SQUARE INCH DECKS OVER 30" X SF FACE OF PLYWOOD STAINLESS STEEL WOOD, FINISHED CIVIL ENGINEER FACE OF STUD STANDING SEAM REVISION TAG / **SECTIONS** TOTAL: X SF 4,216 SF FIREPI ACE SANITARY SEWER REVISION CLOUD WOOD, FRAMING "STAIRS, STREET" STREET ADDRESS **BUILDING SECTIONS** FIRE-RETARDANT TREATED SOUND TRANSMISSION CLASS ACCESSORY STRUCTURE (GROSS FLOOR AREA) ADU (GROSS FLOOR AREA) CITY, STATE ZIP CODE \longrightarrow STANDARD **BUILDING SECTIONS** FOOT / FEET WOOD, GLUE-LAMINATED (XXX) XXX-XXXX STEEL X ATTACHED ATTACHED DETACHED CONTACT: PROJECT LEAD NAME EMAIL ADDRESS STRUCTURAL FIELD VERIFY DESCRIPTION EXISTING (SF) | PROPOSED(SF) DESCRIPTION EXISTING (SF) | PROPOSED(SF) SUSPEND(ED) MECHANICAL ENGINEER **VICINITY MAP** SHEET VINYL **INSIDE FOOTPRINT INSIDE FOOTPRINT** NATURAL GAS SYMMETRICAL Not in Transmittal Set 1 - WIP STREET ADDRESS CITY, STATE ZIP X SF X SF BASEMENT 2: NA NA **BASEMENT 2** GA MANUAL GYPSUM ASSOCIATION MANUAL (XXX) XXX-XY TONGUE AND GROOVE GAL GALV CONTACT: S X SF **BASEMENT 1** NA NA PROJECT NO: 23007 **BASEMENT 1** _CT LEAD NAME "GALVANIZED, GALVANIC TO BE DETERMINED GRAB BAR TFI FPHONE GENERAL CONTRACTOR TEMPERATURE, TEMPERED, 1ST FLOOR: X SF X SF 1ST FLOOR: NA 492.9 SF GEN TEMPORARY GENERAL MODEL FILE: TOP OF FINISH FLOOR 2ND FLOOR: X S' X SF 2ND FLOOR: NA NA GLULAM **GLUE LAMINATED WOOD** THICK(NESS) STREET ADDRESS 23007 - 124 4th Street - Greenhill.pln THROÙGH 3RD FLOOR: 3RD FLOOR: X St X SF NA NA CITY, STATE ZIP CODE GALVANIZED SHEET METAI (XXX) XXX-XXXX TOP OF BEAM GARAGE: X SF X SF GARAGE: NA NA CONTACT: PROJECT LEAD NAME GYPSUM WALL BOARD "TOP OF CONCRETE, CURB" DRAWN BY: EMAIL ADDRESS TOP OF FINISH DECKS OVER 30" X SF X SF **DECKS OVER 30"** NA TOP OF WALL ΓELEVISION HD HDR HDW HDWD HM HOR COMPANY NAME **COPYRIGHT**: HOI DDOWN TYPICAL STREET ADDRESS HEADER UNDERWRITERS LABORATORIES CITY, STATE ZIP CODE HARDWARE UNLESS NOTED OTHERWISE HARDWOOD (XXX) XXX-XXXX EXTERIOR DECK, PORCH, PATIO STRUCTURE JADU (GROSS FLOOR AREA) **HOLLOW METAL** UTIL URM CONTACT: PROJECT LEAD NAME (GROSS FLOOR AREA) SHEET TITLE UNREINFORCED MASONRY HORIZONTAL **EMAIL ADDRESS** ATTACHED **ENERGY/TITLE 24** VINYL COMPOSITE TILE DESCRIPTION EXISTING (SF) PROPOSED(SF) DESCRIPTION EXISTING (SF) | PROPOSED(SF) COMPANY NAME HEATING, VENTILATION, AIR STREET ADDRESS VERIFY IN FIELD **EXTERIOR FOOTPRINT** 1883.16 SF **INSIDE FOOTPRINT** 2363 SF CITY. STATE ZIP CODE HOT WATER HEATER VOLUME (XXX) XXX-XXXX **COVER SHEET** X SF X SF **BASEMENT 2** "WEST, WIDTH, WASHER" CONTACT: PROJECT LEAD NAME INTERNATIONAL BUILDING CODE EMAIL ADDRESS INSIDE DIAMETER / INTERIOR X SF BASEMENT 1 WASHER & DRYER INVERT ELEVATION 1ST FLOOR: X SF X SF IMPACT ISOLATION CLASS WITHOUT WATER CLOSET 2ND FLOOR: X SF X SF INSULATION WATERPROOF, WEATHERPROOF" 3RD FLOOR: X S X SF WDW WRB JOIST(S) X SF GARAGE: X SF WEATHER RESISTIVE BARRIER KITCHEN WEIGHT DECKS OVER 30" KILOWATT YARD 7/18/24 4:40 PM



_	PUBLIC WORKS	BUILDING AND SAFETY CONT.	BUILDING AND SAFETY
-	PUBLIC WORKS	BUILDING AND SAFETY CONT.	BUILDING AND SAFETY
	BACK FLOW DEVICES: ALL LANDSCAPE IRRIGATION BACK FLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION. WASTE REMOVAL: NO DISCHARGE OF CONSTRUCTION	23) LAUNDRY VENTILATION: LAUNDRY VENTILATION EXHAUST SHALL TERMINATE AT LEAST 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO ANY BUILDINGS. [CMC 504.5]	1) CONSTRUCTION TIMES: CONTRACTOR SHALL CONFIRM HOURS FOR CONSTRUCTION ACTIVITY WITH LOCAL AGENCY AND ONLY OPERATE DURING APPROVED HOURS. NO CONSTRUCTION IS PERMITTED OUTSIDE OF THOSE HOURS.
	WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY	24) CLOTHES DRYER DUCT: A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET. INCLUDING TWO 90 DEGREES ELBOWS. TWO FEET SHALL BE	2) CONSTRUCTION SIGNS: THE CONTRACTOR SHALL CONFIRM REQUIREMENTS FOR CONSTRUCTION SITE SIGNAGE WITH LOCAL AGENCY. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE REQUIRED SIGNAGE AT THE PROJECT SITE AT ALL TIMES.
	REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASK LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING	DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. [CMC 504.4.2.1]	3) CONSTRUCTION FENCE: THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE PER CBC 3303 AT THE PUBLIC RIGHT-OF-WAY FOR PEDESTRIAN PROTECTION IF ANY WORK IS TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO THE PUBLIC RIGHT-OF-WAY.
	ORDINANCE. 3) SEWER CLEANOUT: A PROPERTY LINE CLEANOUT MUST BE INSTALLED ON A 6-DEGREE SANITARY SEWER LATERAL. IF THERE IS NO 6-DEGREE LATERAL, THEN A NEW ONE MUST BE		4) DEMOLITION: NO DEMOLITION SHALL COMMENCE WITHOUT A VALID DEMOLITION PERMIT. WORK COMMENCES WITHOUT A VALID PERMIT MAY BE SUBJECT TO A SPECIAL INVESTIGATION BEFORE A PERMIT MAY BE ISSUED.
	INSTALLED WITHIN THE PROPERTY LINES. SEE THE LOCAL PUBLIC WORKS DEPARTMENT FOR TYPICAL CONSTRUCTION DETAILS. 4) BACKWATER VALVE: A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES		5) GRADING PERMIT: A GRADING PERMIT IS REQUIRED WHEN GRADING OR EXCAVATION INVOLVES A CUT OR FILL DEPTH OF 3' OR MORE AND/OR 200 CUBIC YARDS. SUBMIT THE GRADING PLAN AND SOIL REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED
	FROM FIXTURES WITH FLOOD-LEVEL RIMS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER. SEE THE LOCAL PUBLIC WORKS DEPARTMENT FOR TYPICAL CONSTRUCTION DETAILS. 5) EXISTING SEWER LATERAL: IF AN EXISTING SEWER		CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS OF EXCAVATING. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION. 6) SHORING PERMIT: A SHORING PERMIT IS REQUIRED FOR
	LATERAL IS USED, IT MUST BE TELEVISED TO VERIFY ITS STRUCTURAL INTEGRITY. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT. THE LOCAL PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY LATERAL NEEDS REPAIRING, OR REPLACING, OR IF IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS		ANY VERTICAL CUT OR FILL THAT IS EQUAL TO OR GREATER THAN 5' IN HEIGHT. ENGINEERED SHORING PLAN CALCULATIONS AND SOIL REPORTS MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PER SECTION 3301.2 OF THE CBC. THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE
	PRESENT CONDITION. 6) UNUSED LATERALS: ANY UNUSED WATER OR SANITARY SEWER LATERALS MUST BE ABANDONED AT THE CITY MAIN.		SUCH EXCAVATION IS TO COMMENCE. AN OSHA PERMIT IS ALSO REQUIRED - A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DEVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.
	7) PROTECTION OF PROPERTY: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, PARKING METERS, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST, OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY STREET MARKINGS THAT ARE DAMAGED OR REMOVED BY THE		7) SANDBLASTING: THE SANDBLASTING MUST BE WET SANDBLASTING AND ALL THE PRECAUTIONARY MEASURES MUST BE TAKEN BY THE CONTRACTOR TO PROTECT THE LIFE AND PROPERTY OF NEIGHBORS, RESIDENTS, AND THE PUBLIC. ADJACENT PROPERTY OWNERS MUST BE NOTIFIED AT LEAST (2) DAYS PRIOR TO SANDBLASTING.
	CONTRACTOR'S OPERATIONS. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIERS. 8) WATER METERS: WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE PROPERTY AND OUT OF THE PROPERTY AND ADDROACH WHEN EVER THE PROPERTY AND OUT OF THE PROPERTY.		8) SITE DRAINAGE: PROVIDE ROOF GUTTERS AND DOWNSPOUTS OR CONCRETE PAVEMENT/SWALE ON THE GROUND TO DIVERT OR CARRY SURFACE WATER AWAY FROM THE BUILDING TO CATCH BASIN AND DRAIN PIPES THROUGH CURB TO THE STREET AND STORM DRAIN SYSTEM.
	LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. THE WATER METER BOX MUST BE PURCHASED FROM THE CITY AND MUST HAVE A TRAFFIC-RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY. 9) PARKWAY TREES: IF ANY PARKWAY TREES ARE REMOVED.		9) STAIRWAYS: THE WIDTH OF STAIRWAYS SHALL BE 36" MIN CLEAR TAKEN FROM THE FACE OF THE FINISH. GUARDRAILS OR HANDRAIL PICKETS SHALL HAVE A MAXIMUM 4" SPACING BETWEEN PICKETS. 10) GARAGE DOOR: GARAGE DOOR OPENING INCLUDING
	THEY MUST BE REPLACED WITH TREES SELECTED FROM THE CITY'S APPROVED PARKWAY TREE LIST AND PLANTED IN ROOT BARRIER BOXES. 10) BEST MANAGEMENT PRACTICES: EROSION AND SEDIMENT CONTROL DEVICES BMPS (BEST MANAGEMENT		HARDWARE SHALL BE 7' MINIMUM AND 18' WIDE. GARAGE DOOR SPRINGS AND OPENERS SHALL BE STATE-APPROVED AND WITH MANUFACTURER'S LABEL. THE DOOR LEADING FROM THE GARAGE TO THE DWELLING UNIT SHALL BE A 20 MINUTE FIRE RATED, 1-3/8" SOLID WOOD, SELF-CLOSING, AND TIGHT FITTING DOOR.
	PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGE TO THE STREET AND ADJACENT PROPERTIES. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER FROM ENTERING THE SITE.		11) NAILS: ONLY COMMON NAILS SHALL BE PERMITTED FOR THE REQUIRED NAILINGS ON VERTICAL AND HORIZONTAL DIAPHRAGMS SUCH AS SHEAR WALLS AND ROOF/FLOOR SHEATHINGS RESPECTIVELY.
	11) DRAIN LINES: ALL DRAIN LINES INSTALLED WITHIN THE STREET RIGHT-OF-WAY MUST BE CONSTRUCTED OF DUCTILE IRON PIPE. DRAINS MUST BE SHOWN ON PLANS. 12) RUNOFF DISCHARGE: ALL RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE		12) REBAR WELDING: WELDING OF REBAR SHALL COMPLY WITH CBC, STANDARD 19-1. THE CONTRACTOR IS TO SUBMIT WELDING PROCEDURES AND QUALIFICATION OF DEPUTY/ SPECIAL INSPECTIONS IN ACCORDANCE WITH THE SPECIAL INSPECTION PROGRAM TO THE BUILDING DIVISION FOR APPROVAL PRIOR TO ANY WELDING WORK.
	ONTO STREET. 13) UNDERGROUND UTILITIES: A) ALL NEW OR EXISTING BUILDINGS AND STRUCTURES IN THE CITY OF MANHATTAN BEACH SHALL PROVIDE UNDERGROUND ELECTRICAL AND COMMUNICATION SERVICE		13) FUTURE UTILITIES: CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT FOR FUTURE ELECTRICAL LINES AT THE FRONT PROPERTY LINES. CONTRACTOR TO COORDINATE WITH THE INSPECTOR FOR ADDITIONAL COMMENTS.
	LATERALS ON THE PREMISES TO BE SERVED, AS REQUIRED IN MBMC 9.12.050. B) ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEMS, AND SIMILAR SERVICE WIRES AND CABLES THAT PROVIDE DIRECT SERVICE TO NEW MAIN BUILDINGS, NEW ACCESSORY BUILDINGS, AND STRUCTURES, SHALL BE		14) EXTERIOR WALL ASSEMBLIES: 1 - TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER APPLIED OVER WOOD BASE SHEATHING. (CRC R703.7.3 & R703.2). 2 -A MINIMUM OF 0.019 INCH (No. 26 GALVANIZED SHEET PAGE) CORROSION-RESISTANT WEEP SCREED. (CRC R703.1.1 & R703.7.2.1).
	INSTALLED UNDERGROUND IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES, SAFETY REGULATIONS, AND ORDERS, RULES OF THE PUBLIC UTILITIES COMMISSION OF THE STATE OF CALIFORNIA, AND SPECIFICATIONS OR STANDARDS OF THE PUBLIX WORKS DEPARTMENT.		3 - THE SCREED SHALL BE INSTALLED WITH THE WEEP OPENINGS LOCATED A MINIMUM 1 INCH BELOW THE FOUNDATION PLATE LINE AND 4 INCHES ABOVE THE FINISH GRADE OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.1.1 & R703.7.2.1). 4- BEHIND SIDING PROVIDE MINIMUM OF ONE LAYER OF No.
	C) ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEMS, AND SIMILAR SERVICE WIRES AND CABLES SHALL ALSO BE PLACED UNDERGROUND WHEN EXISTING BUILDINGS, EXISTING ACCESSORY BUILDINGS, AND		15 ASPHALT FELT, FREE FROM HOLES AND BREAK COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER WALLS. (CRC R703.2). 15) BUILDING PAPER & WEEP: BUILDING PAPER & WEEP SCREED SHALL BE PROVIDED AND DETAILED BEHIND
	STRUCTURES ARE REPAIRED, REMODELED, ALTERED OR EXPANDED, WHERE THE VALUE, AS DETERMINED FOR BUILDING PERMIT FEE PURPOSES, BY THE BUILDING CODE OF THE CITY OF MANHATTAN BEACH, OF SUCH REPAIRS OR REMODELLING, OR EXPANSION EXCEEDS FIFTY PERCENT (50%) OF THE VALUE OF THE BUILDING OR STRUCTURE AS		ADHERED AND/OR ANCHORED STONE OR MASONRY VENEER, SIMILAR TO STUCCO WALL ASSEMBLIES. (CRC R703.8) 16) SLEEPERS OR SILLS: SLEEPERS OR SILL ON A CONCRETE OR MASONRY SLAB IN DIRECT CONTACT WITH EARTH
	DETERMINED BY THE CALIFORNIA BUILDING CODE. D) WRITING BETWEEN THE ACCESSORY BUILDINGS AND THE MAIN BUILDINGS SHALL BE IN AN UNDERGROUND SYSTEM. E) FUTURE UNDERGROUND UTILITY SERVICES EQUIPMENT		UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. (R317.1 CRC) 17) VENEER: VENEER IS LIMITED TO LESS THAN 2 INCHES THICK AND LESS THAN 25 PSF INSTALLED SYSTEM WEIGHT.
	SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION FOR NEW OR EXISTING BUILDINGS AND STRUCTURES. FUTURE UNDERGROUND UTILITY EQUIPMENT SHALL INCLUDE ALL CONDUITS, WIRES, PULLBOXES, ELECTRICAL PANELS, AND OTHER APPURTENANCES THAT MAY BE REQUIRED FOR		(CRC R703.3(1)) 18) OUTDOOR LIGHTING: PER 150.0 (k)3A OUTDOOR LIGHTING MUST EITHER HAVE PHOTOCELL AND MOTION SENSOR, OR PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL,
	FUTURE UNDERGROUND UTILITY SERVICES FROM THE BUILDING OR STRUCTURE TO AN APPROVED LOCATION ON THE PROPERTY LINE OF THE PARCEL. WHERE A BUILDING OR STRUCTURE IS SERVED BY UTILITIES NOT SITUATED ON THE SAME SIDE OF THE PUBLIC STREET, OR, NOT LOCATED IN THE PUBLIC RIGHT-OF-WAY AT THE FRONT OF THE PROPERTY, THE		ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM. SHOW ALL EXTERIOR LIGHTING ON THE PLANS. 19) WATER HEATER: REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE: (BEES 150.0 (N)1A0D)
	PROPERTY MAY CONTINUE TO BE SERVED FROM THE ALTERNATE LOCATION AND BY OVERHEAD WIRES UNTIL COMPLETION SAID FUTURE UNDERGROUND UTILITY CONVERSION. F) THE CONTRACTOR AND OWNER ARE JOINTLY AND		 a. A 120V electrical receptacle that is within 3 feet from the water heater. b. A Category III or IV vent, or a Type B vent with straight pipe. c. Condensate drain that is no more than 2 inches higher than the finish surface below.
	SEVERALLLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF MBMC 9.12.050 AND SHALL MAKE THE NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANIES SERVICING THE STRUCTURE FOR THE INSTALLATION OF SUCH FACILITIES.		d. A gas supply line with available capacity for not less than a 200,000 BTU/hr system. 3. All Plumbing fixtures and fittings shall comply with the following maximum flowrates: (CGBSC 4.303.1) a. Water Closets 1.28 gallons/flush b. Showerheads – single 1.8 gpm @ 80 psi c. Showerheads – multiple 1.8 gpm @ 80 psi combined d. Lavatory faucets
			1.2 gpm @ 60 psi e. Kitchen faucets 1.5 gpm @ 60 psi 20) EXHAUST VENTILATION: PROVIDE LOCAL EXHAUST VENTILATION FOR EACH KITCHEN OR SIMILAR COOKING
			area with: (CMC 504.2 and ASHRAE 62.2) (BEES 150.0(o) a. Minimum exhaust rate of 100 cfm; b. Maximum sound rating of 3 sones @100 cfm; and, c. Venting directly to the building exterior.
			21) SHOWERS & TUB-SHOWER: SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120 DEGREES F. [CPC 408.3]
			22) CLOTHES DRYER: WHEN A DOMESTIC CLOTHES DRYER IS LOCATED IN A CLOSET, A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR. [CMC 504.4.1]

7/18/24 4:40 PM

BE PERMANENTLY AFFIXED TO THE BUILDING IN ACCORDANCE WITH MCBF 505.1 PRIOR TO THE FINAL FIRE INSPECTION. [MBMC 3.16.29]. 5) EXHAUST FAN: NO EXHAUST FANS OR VENTS SHALL SERVE MORE THAN ONE (1) DWELLING UNIT 6) WATER PIPES: ALL WATER PIPES TO SINKS AND LAUNDRY FACILITIES SHALL BE INSTALLED WITH SOUND-DEADENING MATERIALS TO PREVENT THE TRANSFER OF NOISE. 7) PIPE NOISE: ALL VOIDS AROUND PIPES SHALL BE PACKED WITH ROCK WOOL OR EQ. SOUND-DEADENING MATERIALS TO PREVENT THE TRANSFER OF NOISE. 8) PLUMBING LOCATION: NO PLUMBING VENTS OR SIMILAR EQUIPMENT SHALL BE PLACED BACK TO BACK BETWEEN SEPARATE DWELLING UNITS. **BEST MANAGEMENT PRACTICES** 1) TYPE OF CONSTRUCTION: ALL PERSONS WORKING ON THE SITE SHOULD OBTAIN, READ, AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE(S) OF CONSTRUCTION BEING DONE. 2) SITE WASH-OFF: STOCKPILES OF SOILS, DEMOLITION RECEPTACLE. AS RESEEDING.

PLANNING NOTES 1) **SEPARATE PERMITS**: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR PANELS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED. 2) VERTICAL PROJECTIONS IN SETBACKS: FENCE, WALL, AND HANDRAIL HEIGHTS AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE UNI ESS LOCATED IN A LINE-OF-SIGHT OR DRIVEWAY VISIBILITY AREA CONTRACTOR TO CONFIRM HEIGHT LIMITATIONS WITH THE LOCAL PLANNING DEPARTMENT 3) ADDRESS NUMBERS: BUILDING ADDRESS NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND AND BE 4" MINIMUM HIGH WITH A MINIMUM STROKE WIDTH OF 0.5" PER CBC 4) ON-SITE PARKING: PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT FOR A 20' WIDE FRONT YARD DRIVEWAY. 5) FUTURE SOLAR WATER HEATING: A "CAPPED TEE" FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. PIT RELIEF VALVE SHALL TERMINATE OUTSIDE THE 6) UNDERGROUND CONDUIT: ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS STANDARD DETAILS. STUB OUT FOR PROPERTY LINE FOR FUTURE UNDER-GROUNDING OF UTILITIES WHEN APPLICABLE. 7) MECHANICAL EQUIPMENT SCREENING: PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS. TOP NEED NOT BE SCREENED IF LOCATED ON THE INTERIOR SIDE OF THE DWELLING. 8) METER CLEARANCE: GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0" AND 6'-0" HEIGHT X 2'- 6" WIDTH. (COORDINATE WITH UTILITY COMPANY) 9) CESSPOOL LOCATIONS: IF THERE IS AN EXISTING CESSPOOL ON SITE, IT MUST BE LOCATED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED. THE CONTRACTOR IS TO VERIEV THE EXISTENCE OF THE CESSPOOL WITH THE LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES. 10) FENCE, WALL, HANDRAIL, HEDGE HEIGHTS: FENCE/WALL/ HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES. MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN THE DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE. MANHATTAN BEACH CITY NOTES 1) REFUSE STORAGE: RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF MBMC 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT 2) DRIVEWAY HEIGHT: THE BACK OF THE DRIVEWAY APPROACH MUST BE 6" HIGHER THAN THE FLOW LINE ON THE STREET PER MBMC 9.76.030. 3) PUBLIC WAY IMPROVEMENTS: SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES THE COMBINED SLOPE OF THE PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK, TO MAINTAIN ADEQUATE CROSSINGS FOR VEHICLES AND FOR PEDESTRIANS. (MBMC 17.16.100) 4) PROPERTY ADDRESS: THE PROPERTY ADDRESS(S) MUST

EGRESS NOTES 1) BASEMENT AND BEDROOMS SHALL HAVE A LEAST ONE FXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING MEETING ALL OF THE FOLLOWING: 1. A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET 2. A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES. 3. A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. 4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" INCHES MEASURED FROM THE FLOOR PER SECTION R310.1 AND R310.2. 2) EMERGENCY ESCAPE AND RESCUE OPENING WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL BE PROVIDED WITH A WINDOW WELL MEETING THE FOLLOWING: HORIZONTAL SREA SHALL BE AT 9 SQUARE FEET. MINIMUM DIMENSION OF 36 INCHES AND WITH AN APPROVED PERMANENT LADDER WHEN THE WELL HAS A VERTICAL DEPTH OF MORE THAN 44 INCHES PER SECTION C) THE WINDOW WELL SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM OR BY AN APPROVED ALTERNATE METHOD PER SECTION R310.2.3.2. LIGHT AND VENTILATION 1) SINGLE FAMILY RESIDENCE AND ACCESSORY DWELLING UNITS SHALL EACH HAVE A WHOLE BUILDING VENTILATION SYSTEM USING THE CENTRAL HVAC SYSTEM OR DEDICATED EXHAUST FAN - PER SECTION 150.0(O). THE DEDICATED VENTILATION AIR DUCT SHALL CONNECT TO THE RETURN PLENUM OF THE AIR HANDLER AND THE DWELLING EXTERIOR. CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED. REGISTERED. AND SIGNED/CERTIFIED BY THE HERS RATER THE REGISTERED CE3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER. B) PER CRC R303.1-1: A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING .35 AIR CHANGES PER HOUR IN THE HABITABLE ROOMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE **FIRE SPRINKLER NOTES** 1) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE DWELLING AND OTHER AREAS AS REQUIRED BY THE FIRE CODE OFFICIAL 2) AUTOMATIC RESIDENTIAL FIRE SPRINKLERS SHALL COMPLY WITH THE MANHATTAN BEACH FIRE DEPARTMENT MINIMUM REQUIREMENTS FOR NFPA 13D FIRE SPRINKLER 3) FIRE SPRINKLERS SHALL BE UNDER SEPARATE PLAN CHECK AND PERMIT [R313 CRC, 903.2.8.2 CFC AS AMENDED 4) ANY EXISTING FIRE SPRINKLER OR FIRE ALARM SYSTEM MUST BE SUBMITTED FOR SEPARATE PLAN REVIEW. 5) THE FIRE SPRINKLER SHALL BE UNDER A SEPARATE PLAN CHECK PERMIT, ANY CHANGE TO EXISTING FIRE SPRINKLERS. OR FIRE ALARM SYSTEMS MUST BE SUBMITTED FOR A SEPARATE PLAN REVIEW. [FIRE PREVENTION BUREA MANHATTAN BEACH FIRE DEPARTMENT] 6) HORN/STROBE ALARM DEVICES SHALL BE PLACED ON THE ADDRESS SIDE OF THE BUILDING UNLESS OTHERWISE SPECIFIED BY FIRE DEPARTMENT PERSONNEL.

1) THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. AUTHORIZED REPRODUCTION MUST BEAR THE NAME OF THE FIRM. 2) IN CASE OF DISCREPANCY OR AMBIGUITY. CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY WORK 3) DRAWINGS INDICATE THE INTENT OF GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR

GENERAL CONSTRUCTION CONT.

27) LATERAL MOVEMENT: ALL CONSTRUCTION SHALL BE

THE IBC IN THE LOCAL JURISDICTION AND IN STRICT

PLUM, SQUARE, LEVEL, AND IN PROPER ALIGNMENT.

THAT THE FINISH WALL SURFACES WILL BE FLUSH.

30) SEPARATE PERMITS: MECHANICAL. ELECTRICAL.

SPRINKLER WORK SHALL BE CONDUCTED LINDER A

SEPARATE PERMIT AND SHALL NOT BE A PART OF THIS

31) MANUFACTURER SPECIFICATIONS: THE CONTRACTOR

32) GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL

WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP

CODES

1) ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE

CODES AS PRESCRIBED BY THE GOVERNING JURISDICTION

WHERE THE PROJECT IS LOCATED. THE ENERGY CODE AND

JURISDICTION. IN CASE OF CONFLICT WHERE METHODS OR

STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO

NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS

OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY

2) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

3) ALL CONSTRUCTION WORK INCLUDING THE MATERIALS OF

DISPOSING OF, AND INSTALLING MATERIALS SHALL CONFIRM TO THE LATEST ADOPTED CODES OF THE LOCAL AUTHORITY

DRAWINGS

AND EACH AND EVERY SUBTRADE/SUBCONTRACTOR TO

ENSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE

WITH THE PREVAILING CODES. NOTIFY THE ARCHITECT OF

CONSTRUCTION AND PROCEDURES FOR STORING,

MECHANICAL CODE SHALL ALSO BE IN ACCORDANCE WITH

THE CODES AS PRESCRIBED BY THE GOVERNING

THE ARCHITECT OF ANY CONFLICT.

ANY CONFLICT.

HAVING JURISDICTION.

FOR ONE YEAR AFTER COMPLETION AND ACCEPTANCE.

FAULTY WORK SHALL BE REPLACED OR REPAIRED AS

REQUIRED AT THE CONTRACTOR'S EXPENSE

AND/OR SUBCONTRACTOR IS TO INSTALL ALL FIXTURES.

EQUIPMENT, AND MATERIALS PER MANUFACTURER'S

SPECIFICATIONS.

PLUMBING, VERTICAL TRANSPORTATION, AND FIRE

STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE

WITH REQUIREMENTS OF THE LATEST ADOPTED EDITION OF

ACCORDANCE WITH THE STRUCTURAL DETAILS OF THIS SET

28) WORK QUALITY: ALL WORK SHALL BE INSTALLED TRUE,

29) OFFSET STUDS: OFFSET STUDS WHERE REQUIRED SO

CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED ONLY SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT. 4) THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL PRIOR TO THE MANUFACTURE OF ANY CABINET WORK, MILLWORK, AND ANY OTHER SPECIAL

ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK. 5) DRAWINGS INCLUDE ABBREVIATIONS THAT ARE COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF

CONDITIONS OR MATERIALS SPECIFICALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY DEFINITION OR TERM IN QUESTION.

6) WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS NIC OR BY SEPARATE CONTRACTORS IS NOT INCLUDED WITH THE CONTRACT OR CONSTRUCTION DOCUMENTS FOR THE PROJECT. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS CONTRACTED WITH THE OWNER.

SUPPLEMENTARY DRAWINGS AND

SPECIFICATIONS

1) STRUCTURAL. MECHANICAL, ELECTRICAL, PLUMBING, AND

FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY OF

THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE

DRAWINGS OR SPECIFICATIONS AND SHALL NOTIFY THE

CONFLICT WITH THESE CONTRACT DOCUMENTS SHALL BE

2) THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT

CORRECTED SOLELY AT THE EXPENSE OF THE CONTRACTOR

SUBMITTALS FOR REVIEW DURING CONSTRUCTION PRIOR TO THE COMMENCEMENT OF SPECIFIC WORK, SUBMITTALS

INCLUDE BUT ARE NOT LIMITED TO, MATERIAL DATA SHEETS.

SUBMITTED THROUGH A CHANGE ORDER AND APPROVED BY

PHYSICAL SAMPLES, AND SHOP DRAWINGS AND SHALL BE

3) NO SUBSITUTIONS ARE ALLOWED UNLESS PROPERLY

SUPPLIED TO THE ARCHITECT AS REQUESTED.

THE OWNER AND ARCHITECT.

ARCHITECT OF ALL DISCREPANCIES WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN

THE WORK OF EACH CONSULATING ENGINEER WITH THESE

EROSION PROTECTION NOTES

1.28 GALLONS/FLUSH

1.8 GPM @ 80 PSI COMB.

1.8 GPM @ 80 PSI

1.2 GPM @ 60 PSI 1.5 GPM @ 60 PSI

PLUMBING NOTES

ALL PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH

THE FOLLOWING MAXIMUM FLOW RATES (CGBSC 4.303.1)

1. WATER CLOSETS

2. SHOWERHEADS-SINGLE

3. SHOWERHEADS-MULTI

4. LAVATORY FAUCETS

5. KITCHEN FAUCETS

1) APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE PLACED AT THE END OF EACH DAY'S

DEBRIS, CEMENT, SAND, TOPSOIL, ETC., MUST BE COVERED WITH WATERPROOF MATERIALS OR BERMED TO PREVENT BEING WASHED OFF-SITE.

3) LIQUID MATERIALS: FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS MUST NOT BE WASHED INTO THE

4) CONCRETE WASTE: WASTE CONCRETE MUST NOT BE WASHED INTO STREETS, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT-OF-WAY, ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING WET-DRY VACUUM OR EQUIVALENT.

5) SOLID WASTE: TRASH AND OTHER CONSTRUCTION SOLID WASTE MUST BE PLACED IN A COVERED TRASH

6) ERODED SOIL: ERODED SOIL FROM DISTURBED SLOPED MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH

7) WASH WATER: WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHIN A CONTAINMENT AREA.

8) CONCRETE DRIVEWAY: CONSTRUCT NEW COMMERCIAL CONCRETE DRIVEWAY TYPE WHERE NOTED ON THE SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.

9) PREFABRICATED BEAMS: SUBMIT A CERTIFICATE OF INSTALLATION OF SUCH BEAM.

PREFABRICATED BEAMS TO BUILDING INSPECTOR PRIOR TO

4) ANY VALUE ENGINEERING OR SUBSTITUTE OF REQUIREMENTS. NOTED IN THE CONTRACT DOCUMENTS. 1) CERTIFICATE OF INSTALLATION (CE2R-ENV. CE2R-LTG. AND TAKEN WITHOUT WRITTEN CONSENT FROM THE ARCHITECT CFR2-MECH) SHALL BE COMPLETED BY THE APPLICABLE SHALL RELEASE THE ARCHITECT FROM ANY AND ALL CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HER FIELD VERFICATION OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED

ENERGY NOTES

ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA

REGISTR. THE CF2R FORMS SHALL BE POSTED AT THE JOB

SITE IN A CONSPICUOUS LOCATION.

LIABILITY FOR THAT PORTION OF THE PROJECT.

DIMENSIONS

1) DO NOT SCALE THESE DRAWINGS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.

2) ALL DIMENSIONS ARE TO THE FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS WITHIN THE CONTRACT DOCUMENTS.

3) THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTING DIMENSIONS BETWEEN ARCHITECTURAL + ENGINEERING DRAWINGS. THE DRAWINGS SHALL NOT BE

1) CONSTRUCTION DOCUMENTS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WILL ALL NOTES INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BRING ANY AND ALL DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONSTRUCTION DRAWINGS, SPECIFICATIONS. ADDENDUMS, AND ANY REVISIONS ISSUED AND SHALL REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY IN WRITING, DO NOT VARY OR MODIFY THE WORK SHOWN EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT. THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, AND ADDENDUMS.

GENERAL CONSTRUCTION

2) MEANS AND METHODS; THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE REPRESENTATIONAL OF THE FINISHED STRUCTURE AND DO NOT INDICATE THE MEANS METHODS OF CONSTRUCTION, TECHNIQUES, SEQUENCING, OR PROCEDURES REQUIRED FOR CONSTRUCTION.

3) SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES IN ORDER TO PROTECT ALL PERSONS INVOLVED WITH THE WORK OR VISIT THE SITE DURING THE CONSTRUCTION PERIOD.

ALL EXIT DOORS, EXIT ACCESS, AND COORIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. MATERIALS SHALL NOT BE STORED OR STOCKPILED IN A MATTER THAT BLOCKS EGRESS OR CREATES AN UNSAFE CONDITION.

THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTOR, THEIR AGENT, EMPLOYEES, OR SUBCONTRACTORS.

4) APPROVED DRAWING SET: THE CONTRACTOR SHALL KEEP

AND MAINTAIN THE JURISDICTION-APPROVED RECORD SET

APPROVED REVISIONS OR ADDENDA 5) MINIMUM STANDARDS OF WORK: IF ANY CONFLICT EXISTS IN QUALITY OF WORK OR CODE REQUIREMENTS, THE HIGHER

CONTRACTOR SHALL KEEP THE SET CURRENT WITH ANY

OF DRAWINGS AT THE JOB SITE AT ALL TIMES. THE

QUALITY AND MORE RESTRICTIVE SHALL APPLY.

CONTRACTORS CONTRACTED WITH THE OWNER.

6) NOT IN SCOPE: WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS N.I.C. OR BY SEPARATE CONTRACTORS, IS NOT INCLUDED WITHIN THE CONTRACT OR CONSTRUCTION DOCUMENTS FOR THE PROJECT. CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE

7) CODE COMPLIANCE: THE WORK SHALL BE COMPLIANT WITH ALL APPLICABLE CODE, ORDINANCES, AND REGULATIONS LISTED IN THE CONSTRUCTION DOCUMENTS AND AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.

8) OSHA COMPLIANCE: WORK SHALL COMPLY WITH PERTINENT HEALTH AND SAFETY REGULATIONS FOR REQUIRED METHODS TO PROTECT ALL PERSONS INVOLVED WITH THE WORK OR VISITING THE SITE DURING THE CONSTRUCTION PERIOD.

9) SITE MEASUREMENTS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DRAWINGS TO THE ARCHITECT PRIOR TO CONTINUING WORK.

11) DETAILS: DETAILS PROVIDED WITHIN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED PER FIELD CONDITIONS. THE CONTRACTOR TO NOTIFY THE ARCHITECT OF SUCH REVISIONS.

12) SUBSTITUTIONS: NO SUBSTITUTIONS ARE ALLOWED UNLESS SPECIFICATIONS ARE SUBMITTED TO AND APPROVED BY THE OWNER AND ARCHITECT.

13) CONTRACT DEVIATIONS: ANY VALUE ENGINEERING OR SUBSTITUTION OF REQUIREMENTS NOTED IN THE CONTRACT DOCUMENTS TAKEN WITHOUT WRITTEN CONSENT FROM THE ARCHITECT, SHALL RELEASE THE ARCHITECT FROM ANY AND ALL LIABILITY FOR THAT PORTION OF THE PROJECT.

14) COORDINATION WITH CONTRACTORS/CONSULTANTS: THE CONTRACTOR SHALL COORDINATE THEIR WORK WILL ALL OTHER TRADES CONSULTANTS AND SUB-CONTRACTORS WORKING ON THE PROJECT WHETHER

UNDER CONTRACT OF THE CONTRACTOR OR OWNER. 16) SITE ACCESS: THE CONTRACTOR SHALL GIVE THE CLIENT, ARCHITECT, CONSULTANTS, AND INSPECTORS ACCESS TO THE JOB SITE DURING NORMAL BUSINESS HOURS FOR THE

DURATION OF CONSTRUCTION. 17) SITE OBSERVATION: ANY SITE OBSERVATION BY THE ARCHITECT DURING CONSTRUCTION IS FOR THE SOLE PURPOSE OF REVIEWING THE WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INSPECTION OF PROTECTIVE

MEASURES OR THE CONSTRUCTION PROCEDURES OR FOR

GUARANTEEING THE CONTRACTOR'S WORK. 18) DAMAGES: EACH CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORK/AREAS ADJACENT TO THE CONSTRUCTION SITE AND IS LIABLE FOR ANY DAMAGE TO WORK/AREAS CAUSED BY THE MOVEMENT OF MATERIALS, EQUIPMENT, OR DUST, ALL DAMAGE INCURRED SHALL BE REPAIRED AT THE CONTRACTOR'S

19) SITE EGRESS: ALL EXIT DOORS, EXIT ACCESS, AND CORRIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. MATERIALS SHALL NOT BE STORED OR STOCKPILED IN A MANNER THAT BLOCKS EGRESS OR CREATES AN UNSAFE

EXPENSE

CONDITION.

20) SITE CLEANLINESS: THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE FREE OF TRASH AND DEBRIS. WORK AREAS SHALL BE MAINTAINED IN BROOM-CLEAN CONDITIONS AT THE END OF EACH WORK DAY/SHIFT.

21) STORING + DISPOSING OF MATERIALS: ALL CONSTRUCTION WORK INCLUDING MATERIALS OF CONSTRUCTION AND PROCEDURES FOR STORING, DISPOSING OF, AND INSTALLING MATERIALS SHALL CONFORM TO THE LATEST ADOPTED CODES OF THE LOCAL AUTHORITY HAVING JURISDICTION.

22) ROUGH UTILITIES: CONTRACTOR SHALL FURNISH AND INSTALL ROUGH PLUMBING AND ELECTRICAL AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES, APPLIANCES, AND

23) ACCESS PANELS: CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL ACCESS PANELS REQUIRED IN CEILINGS. WALLS, OR FLOORS FOR ACCESS TO ALL EQUIPMENT AS REQUIRED PER APPLICABLE CODE.

24) EQUIPMENT STANDARDS: ALL ELECTRICAL, MECHANICAL AND PLUMPING FIXTURES/EQUIPMENT SHOULD BE LISTED

AND LABELED BY AN APPROVED TESTING AGENCY. 25) SUBMITTALS: THE CONTRACTOR SHALL SUBMIT TO THE

ARCHITECT SUBMITTALS FOR REVIEW DURING CONSTRUCTION PRIOR TO THE COMMENCEMENT OF SPECIFIC WORK. SUBMITTALS INCLUDE MATERIAL DATA SHEETS, PHYSICAL SAMPLES, AND SHOP DRAWINGS AND SHALL BE SUPPLIED TO THE ARCHITECT AS REQUESTED.

26) BLOCKING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING, BUCKOUTS, BACKING, AND JACKS AS REQUIRED FOR THE INSTALLATION OF ALL WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH THE ARCHITECT AND/OR OWNER FOR THE LOCATION OF ALL MOUNTED ITEMS WITH THE ARCHITECT



PROJECT NAME

GREENHILL RESIDENCE PROJECT NUMBER

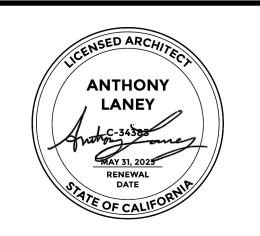
> CLIENT LIZ & MARK GREENHILL

23007

90266

PROJECT ADDRESS 124 4th STREET MANHATTAN BEACH, CA

ARCHITECT **ANTHONY LANEY AIA** LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH CA 90254 (310) 870-7175 ANTHONY@LANEY.LA



MARK DATE DESCRIPTION

3/20/24

CDP SUBMITTAL 01

CDP CDP SUBMITTAL 02 05/29/24

PROJECT NO: 23007

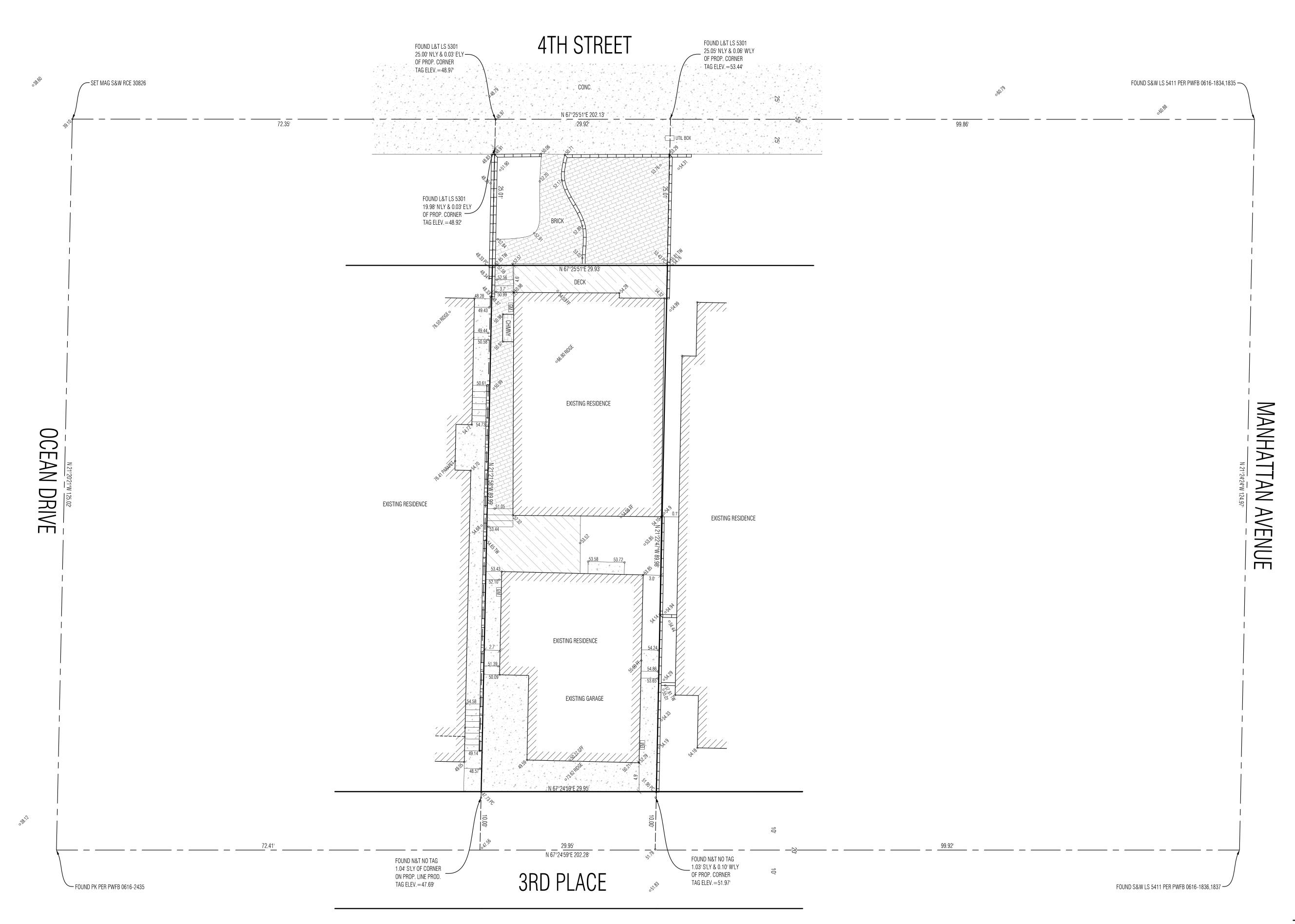
MODEL FILE: 23007 - 124 4th Street - Greenhill.pln

DRAWN BY:

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SHEET TITLE

GENERAL NOTES





SCALE 1" = 8'

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:

USA NATIONAL TITLE COMPANY ORDER NO. 072336246-30 DATED DECEMBER 4, 2023 3914 DEL AMO BLVD, SUITE 921 TORRANCE, CA 90503 (310) 542-9433

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR LIZ & MARK GREENHILL

124 4TH STREET MANHATTAN BEACH, CA 90266

PHONE

JOB ADDRESS

124 4TH STREET MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION
LOT 14, BLOCK 4

MANHATTAN BEACH M.B. 1-49-50 APN 4180-022-014

LOT AREA = 2,694 SQFT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL

NV FM OUFOV DV TO

R.C.E. 30826

DRAWN ON JAN

SURVEY UPDATE JANUARY 5, 20

LEGEND

EXISTING
BUILDING

CONCRETE

• 106.76

EXISTING ELEVATION

100

EXISTING CONTOUR

BCR BEGINNING OF CURB RETURN
CATV CABLE TV PULL BOX

C.L.F. / W.I.F. CHAIN LINK FENCE / WROUGHT IRON FENCE

CONC. CONCRETE
CHMNY CHIMNEY
CEFB CITY ENGINEERS FIELD BOOK
C/I. CENTERLINE

E'LY EASTERLY
EG EDGE OF GUTTER
EM ELECTRIC METER
FF FINISH FLOOR
FH FIRE HYDRANT

FL FLOW LINE
GFF GARAGE FINISH FLOOR
GM GAS METER
GUY / GW GUY WIRE

I.P. IRON PIPE MONUMENT
L&T LEAD AND TACK / TAG MONUMENT
MH MANHOLE (SANITARY SEWER / STORM DRAIN)

N&T / N&W NAIL AND TAG / NAIL AND WASHER MONUMENT
PB PULL BOX (EDISON / TRAFFIC / STREET LIGHT
PB (CONT) TELEPHONE / CABLE TV)
PC PROPERTY CORNER / PROP. CORNER
PL PROPERTY LINE / PROP. LINE

PP / UP POWER POLE / UTILITY POLE
PPT PARAPET
PWFB PUBLIC WORKS FIELD BOOK
R.R. RAIL ROAD

R.R. RAIL ROAD
RDFB ROAD DEPARTMENT FIELD BOOK
R.S. RECORD OF SURVEY
SPK / S&W SPIKE / SPIKE AND WASHER MONII

SPK / S&W SPIKE / SPIKE AND WASHER MONUMENT
S'LY SOUTHERLY
SSCO SANITARY SEWER CLEANOUT
STK / STK&T STAKE / STAKE AND TAG MONUMENT

STLT / LT STREET LIGHT POLE / LIGHT POLE
TC TOP OF CURB
TX / BX TOP OF APRON / BOTTOM OF APRON
WLY WESTERLY
WM WATER METER

WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN

ARE MEASURED TO EXTERIOR SURFACE OF

BUILDINGS UNLESS OTHERWISE NOTED.

(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THIS SURVEY PLAT FOR OFFSET
DIMENSIONS. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION BY PHONE AT:

MAY BE JOINED.

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SHEET 1 OF 1

JOB NO. 23-446

LANDSCAPE NOTES

1) DRIP IRRIGATION: ALL PLANTING TO BE ON DRIP IRREGATION SYSTEM.

2) HEDGE HEIGHT:
ALL PROPOSED FUTURE HEDGES ARE NOT TO EXCEED 42" IN
THE REQUIRED FRONT YARD SETBACK AND NOT EXCEED 6'
WITHOUT NEIGHBOR CONSENT ALONG THE SIDE AND REAR
SETBACK.



PROJECT NAME GREENHILL RESIDENCE

PROJECT NUMBER 23007

CLIENT LIZ & MARK GREENHILL

PROJECT ADDRESS 124 4th STREET MANHATTAN BEACH, CA 90266

ARCHITECT ANTHONY LANEY AIA LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH CA 90254 (310) 870-7175 ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02
PROJECT NO: 23007		
	MODEL FILE: 23007 - 124 4th Street - Greenhill.pln	

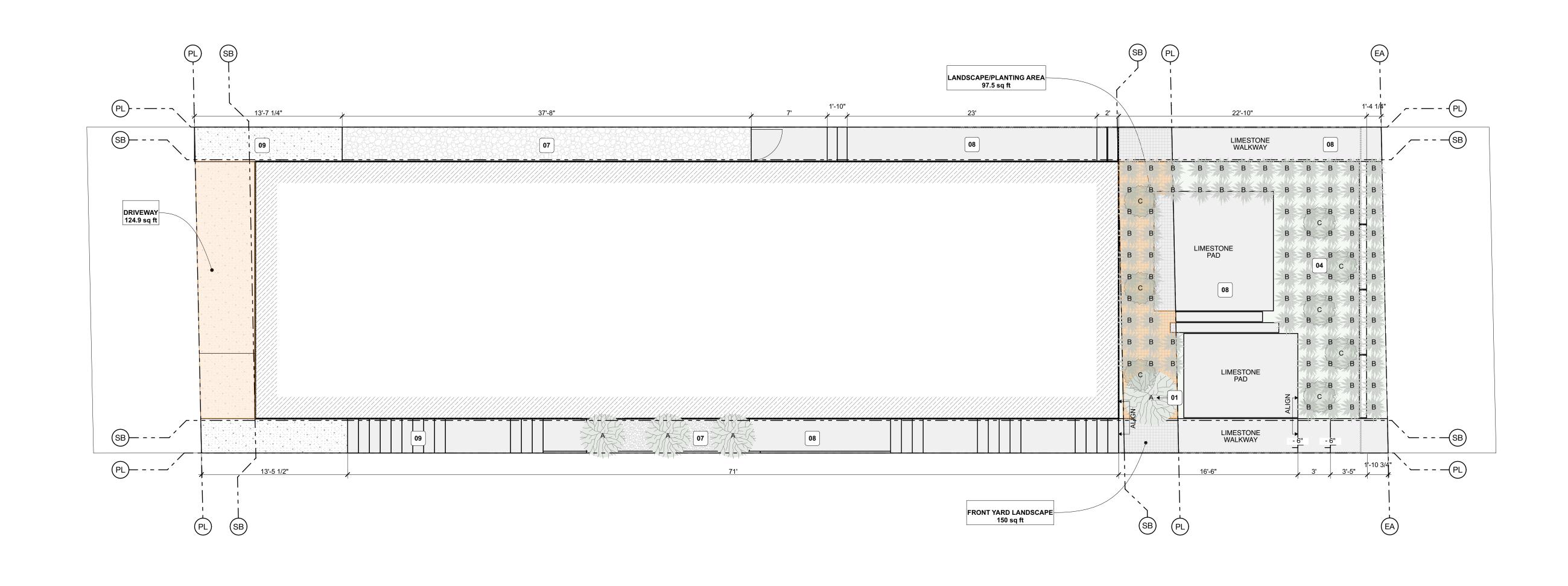
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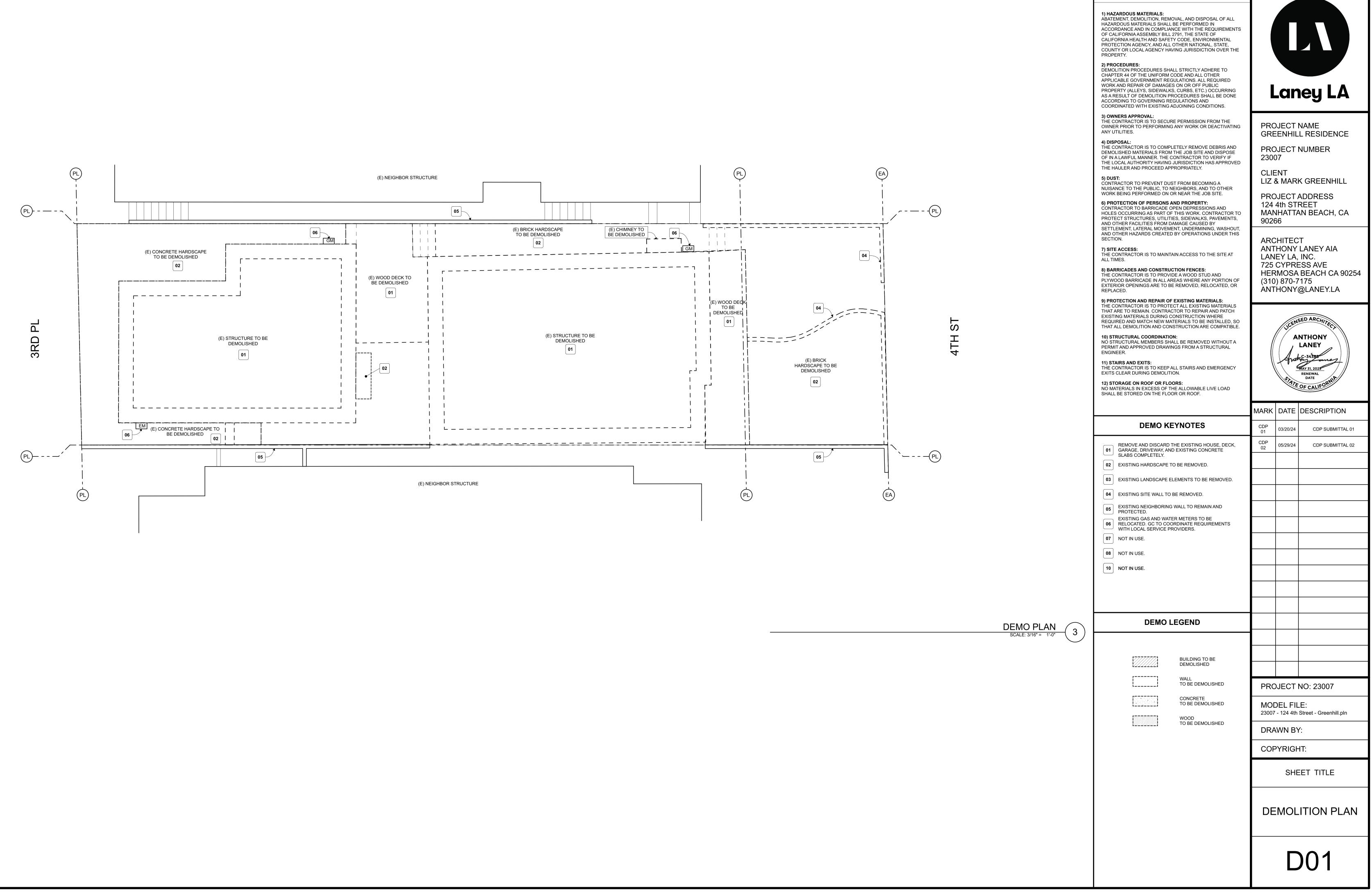
LANDSCAPE PLAN



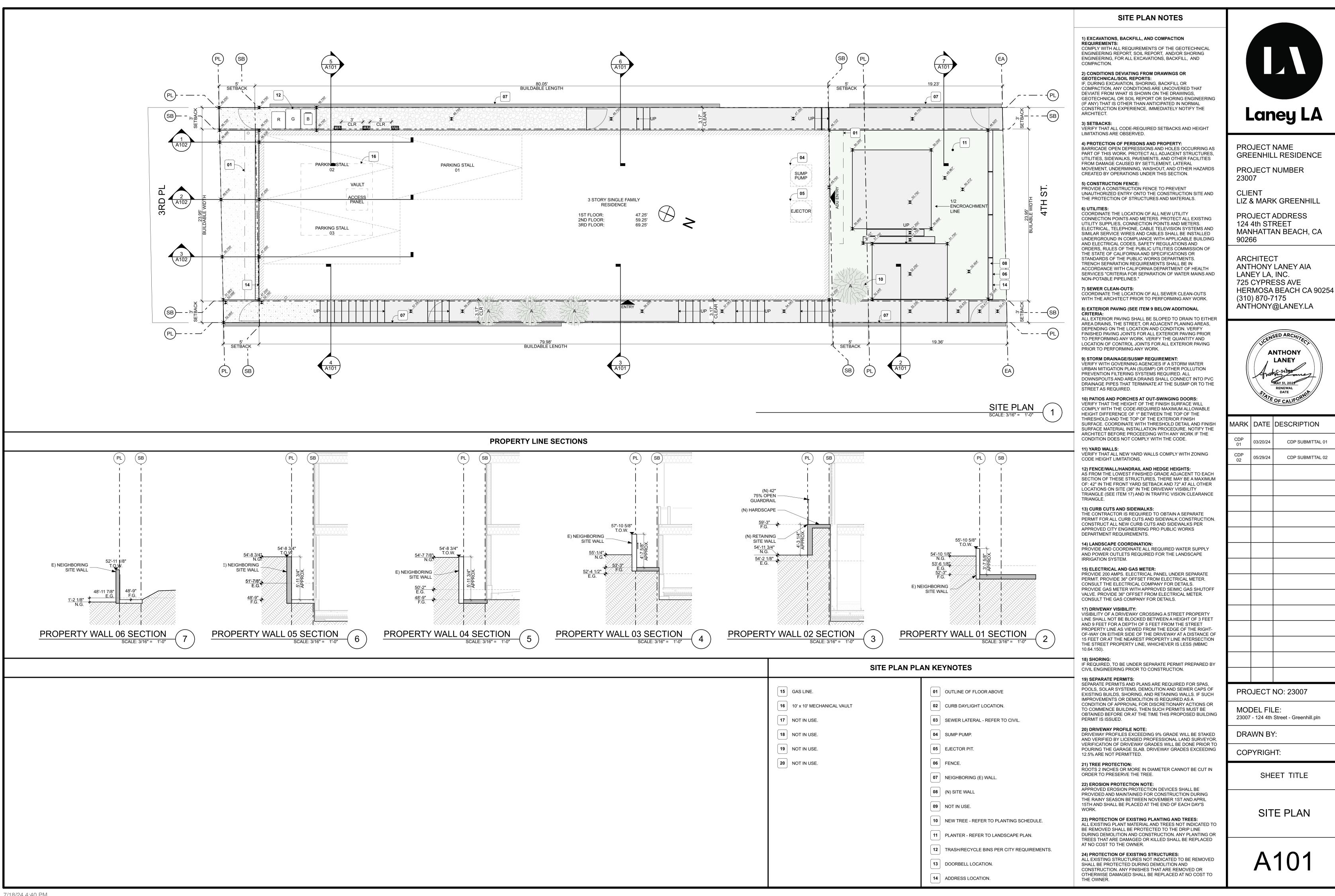
LANDSCAPE PLAN

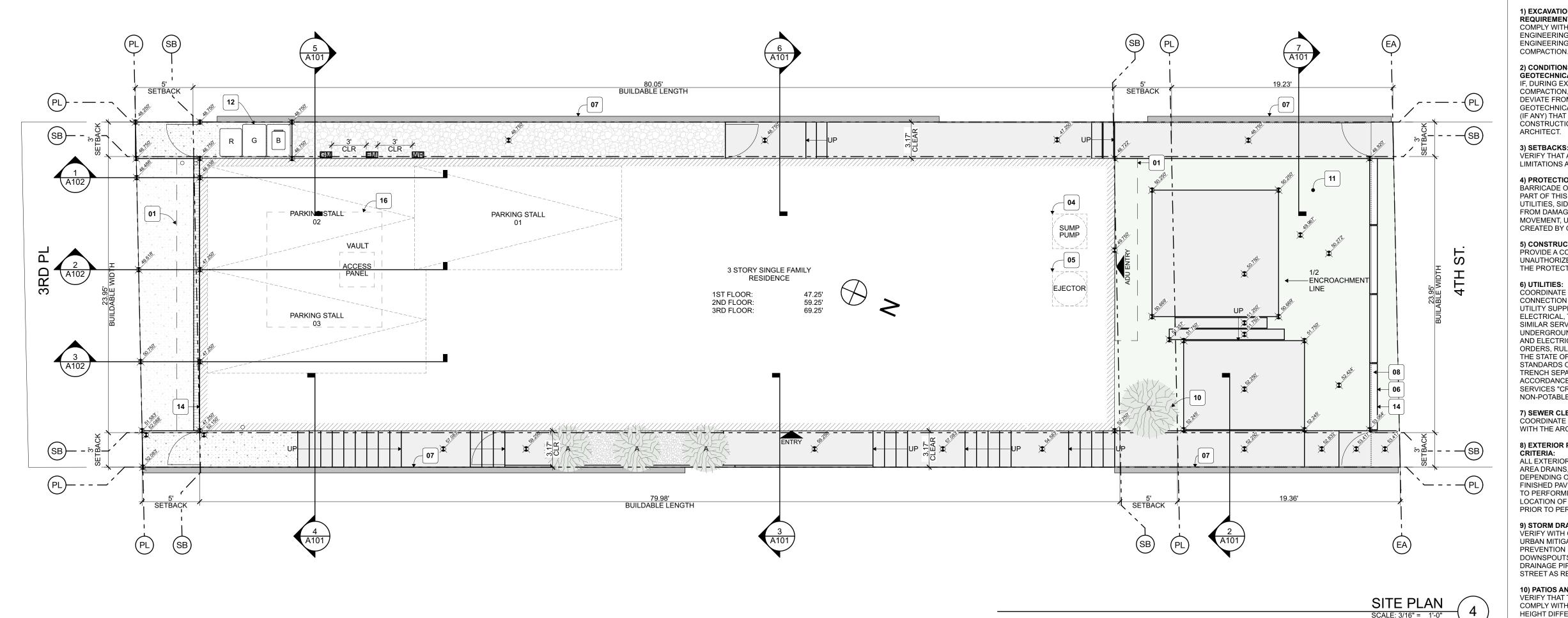
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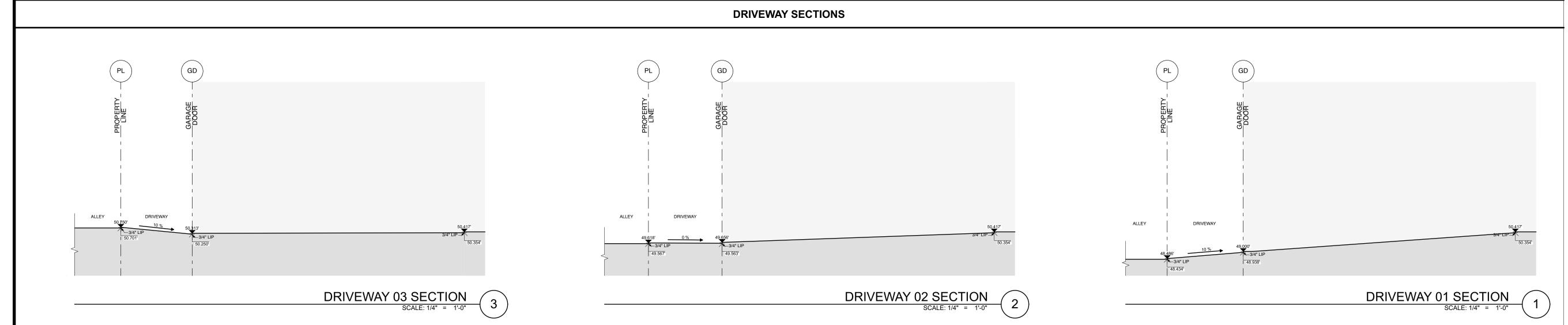
LEGEND	PLANTING SCHEDULE	WATER USAGE CALCULATIONS	LANDSCAPE KEYNOTES
EARTH GRAVEL GRASS / TURF CONCRETE LIMESTONE LANDSCAPE/PLANTING AREA	SYM. SCIENTIFIC NAME COMMON USAGE SIZE A MELALEUCA NESOPHILIA PINK MELALEUCA LOW BOX B NASSELLA TENUSSIMA MEXICAN FEATHER GRASS LOW GALLON C AGAVE TEQUILANA BLUE AGAVE LOW GALLON	LOT AREA = 2693.7 SF BLDG FOOTPRINT = 1881.5 SF DRIVEWAY = 124.9 SF LANDSCAPE/HARDSCAPE AREA =L.OT - BLDG FTPRNT - DRIVEWAY = 2693.7 SF - 1881.5 SF - 124.9 SF = 686.6 SF MAX AREA OF HIGH WATER USE PLANTS = 686.6 x 20% = 137.46 SF PROPOSED AREA < MAXIMUM AREA 0 SF < 137.32 SF 20% FRONT LANDSCAPING FRONT YARD SETBACK AREA = 150 SF PROPOSED LANDSCAPED AREA = 97.5 SF MINIMUM LANDSCAPED AREA = 150 SF x 20% = 30 SF PROPOSED AREA > MINIMUM AREA = 97.5 SF > 30 SF	01 NEW SPECIMEN TREE - REFER TO SCHEDULE. 02 MAX 42" HIGH PLANTING. 03 GROUNDSCAPE - REFER TO SCHEDULE 04 MIXED PLANTING - REFER TO SCHEDULE. 05 HEDGE -REFER TO SCHEDULE. 06 POOL/SPA. 07 GRAVEL. 08 LIMESTONE. 09 CONCRETE. 10 NOT IN USE.



DEMO NOTES







SITE PLAN NOTES

1) EXCAVATIONS, BACKFILL, AND COMPACTION REQUIREMENTS: COMPLY WITH ALL REQUIREMENTS OF THE GEOTECHNICAL ENGINEERING REPORT, SOIL REPORT, AND/OR SHORING ENGINEERING, FOR ALL EXCAVATIONS, BACKFILL, AND

COMPACTION. 2) CONDITIONS DEVIATING FROM DRAWINGS OR **GEOTECHNICAL/SOIL REPORTS:**

IF, DURING EXCAVATION, SHORING, BACKFILL OR COMPACTION, ANY CONDITIONS ARE UNCOVERED THAT DEVIATE FROM WHAT IS SHOWN ON THE DRAWINGS. GEOTECHNICAL OR SOIL REPORT OR SHORING ENGINEERING (IF ANY) THAT IS OTHER THAN ANTICIPATED IN NORMAL CONSTRUCTION EXPERIENCE, IMMEDIATELY NOTIFY THE ARCHITECT.

3) SETBACKS: VERIFY THAT ALL CODE-REQUIRED SETBACKS AND HEIGHT LIMITATIONS ARE OBSERVED.

4) PROTECTION OF PERSONS AND PROPERTY: BARRICADE OPEN DEPRESSIONS AND HOLES OCCURRING AS

PART OF THIS WORK. PROTECT ALL ADJACENT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY OPERATIONS UNDER THIS SECTION.

5) CONSTRUCTION FENCE: PROVIDE A CONSTRUCTION FENCE TO PREVENT UNAUTHORIZED ENTRY ONTO THE CONSTRUCTION SITE AND THE PROTECTION OF STRUCTURES AND MATERIALS.

COORDINATE THE LOCATION OF ALL NEW UTILITY CONNECTION POINTS AND METERS. PROTECT ALL EXISTING UTILITY SUPPLIES, CONNECTION POINTS AND METERS. ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEMS AND SIMILAR SERVICE WIRES AND CABLES SHALL BE INSTALLED UNDERGROUND IN COMPLIANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES, SAFETY REGULATIONS AND ORDERS, RULES OF THE PUBLIC UTILITIES COMMISSION OF THE STATE OF CALIFORNIA AND SPECIFICATIONS OR STANDARDS OF THE PUBLIC WORKS DEPARTMENTS. TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENT OF HEALTH SERVICES "CRITERIA FOR SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES."

7) SEWER CLEAN-OUTS: COORDINATE THE LOCATION OF ALL SEWER CLEAN-OUTS

WITH THE ARCHITECT PRIOR TO PERFORMING ANY WORK.

8) EXTERIOR PAVING (SEE ITEM 9 BELOW ADDITIONAL CRITERIA:

ALL EXTERIOR PAVING SHALL BE SLOPED TO DRAIN TO EITHER AREA DRAINS, THE STREET, OR ADJACENT PLANING AREAS, DEPENDING ON THE LOCATION AND CONDITION. VERIFY FINISHED PAVING JOINTS FOR ALL EXTERIOR PAVING PRIOR TO PERFORMING ANY WORK. VERIFY THE QUANTITY AND LOCATION OF CONTROL JOINTS FOR ALL EXTERIOR PAVING PRIOR TO PERFORMING ANY WORK.

9) STORM DRAINAGE/SUSMP REQUIREMENT: VERIFY WITH GOVERNING AGENCIES IF A STORM WATER URBAN MITIGATION PLAN (SUSMP) OR OTHER POLLUTION PREVENTION FILTERING SYSTEMS REQUIRED. ALL DOWNSPOUTS AND AREA DRAINS SHALL CONNECT INTO PVC DRAINAGE PIPES THAT TERMINATE AT THE SUSMP OR TO THE STREET AS REQUIRED.

10) PATIOS AND PORCHES AT OUT-SWINGING DOORS: VÉRIFY THAT THE HEIGHT OF THE FINISH SURFACE WILL COMPLY WITH THE CODE-REQUIRED MAXIMUM ALLOWABLE HEIGHT DIFFERENCE OF 1" BETWEEN THE TOP OF THE THRESHOLD AND THE TOP OF THE EXTERIOR FINISH SURFACE. COORDINATE WITH THRESHOLD DETAIL AND FINISH SURFACE MATERIAL INSTALLATION PROCEDURE. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK IF THE CONDITION DOES NOT COMPLY WITH THE CODE.

11) YARD WALLS: VÉRIFY THAT ALL NEW YARD WALLS COMPLY WITH ZONING CODE HEIGHT LIMITATIONS.

12) FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS: AS FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, THERE MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK AND 72" AT ALL OTHER LOCATIONS ON SITE (36" IN THE DRIVEWAY VISIBILITY TRIANGLE (SEE ITEM 17) AND IN TRAFFIC VISION CLEARANCE

13) CURB CUTS AND SIDEWALKS: THE CONTRACTOR IS REQUIRED TO OBTAIN A SEPARATE PERMIT FOR ALL CURB CUTS AND SIDEWALK CONSTRUCTION. CONSTRUCT ALL NEW CURB CUTS AND SIDEWALKS PER APPROVED CITY ENGINEERING PRO PUBLIC WORKS DEPARTMENT REQUIREMENTS.

14) LANDSCAPE COORDINATION: PROVIDE AND COORDINATE ALL REQUIRED WATER SUPPLY AND POWER OUTLETS REQUIRED FOR THE LANDSCAPE IRRIGATION SYSTEM.

15) ELECTRICAL AND GAS METER: PROVIDE 200 AMPS. ELECTRICAL PANEL UNDER SEPARATE PERMIT. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE ELECTRICAL COMPANY FOR DETAILS. PROVIDE GAS METER WITH APPROVED SEIMIC GAS SHUTOFF VALVE. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE GAS COMPANY FOR DETAILS.

17) DRIVEWAY VISIBILITY:VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTION THE STREET PROPERTY LINE, WHICHEVER IS LESS (MBMC

IF REQUIRED, TO BE UNDER SEPARATE PERMIT PREPARED BY CIVIL ENGINEERING PRIOR TO CONSTRUCTION.

19) SEPARATE PERMITS:

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAPS OF EXISTING BUILDS, SHORING, AND RETAINING WALLS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

20) DRIVEWAY PROFILE NOTE: DRIVEWAY PROFILES EXCEEDING 9% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 12.5% ARE NOT PERMITTED.

21) TREE PROTECTION: RÓOTS 2 INCHES OR MORE IN DIAMETER CANNOT BE CUT IN ORDER TO PRESERVE THE TREE.

22) EROSION PROTECTION NOTE: APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE PLACED AT THE END OF EACH DAY'S

23) PROTECTION OF EXISTING PLANTING AND TREES: ALL EXISTING PLANT MATERIAL AND TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED TO THE DRIP LINE DURING DEMOLITION AND CONSTRUCTION. ANY PLANTING OR TREES THAT ARE DAMAGED OR KILLED SHALL BE REPLACED AT NO COST TO THE OWNER.

24) PROTECTION OF EXISTING STRUCTURES: ALL EXISTING STRUCTURES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. ANY FINISHES THAT ARE REMOVED OR OTHERWISE DAMAGED SHALL BE REPLACED AT NO COST TO



PROJECT NAME GREENHILL RESIDENCE

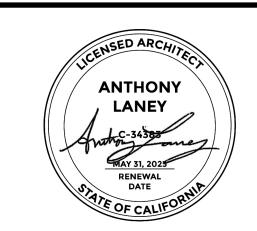
PROJECT NUMBER 23007

CLIENT LIZ & MARK GREENHILL

PROJECT ADDRESS 124 4th STREET MANHATTAN BEACH, CA

90266

ARCHITECT ANTHONY LANEY AIA LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH CA 90254 (310) 870-7175 ANTHONY@LANEY.LA



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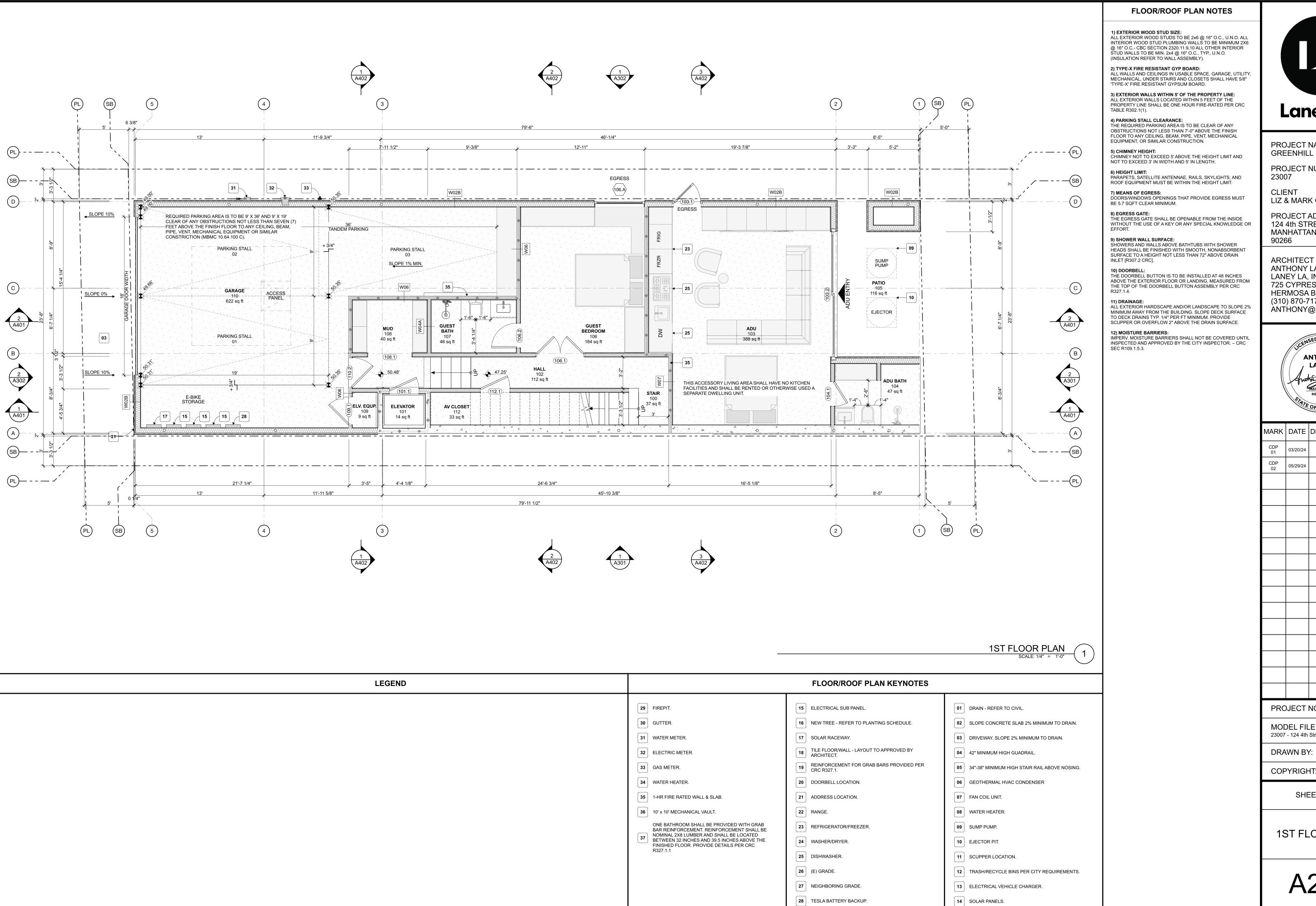
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DRIVEWAY **PROFILES**



Laney LA

PROJECT NAME **GREENHILL RESIDENCE**

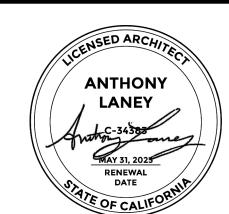
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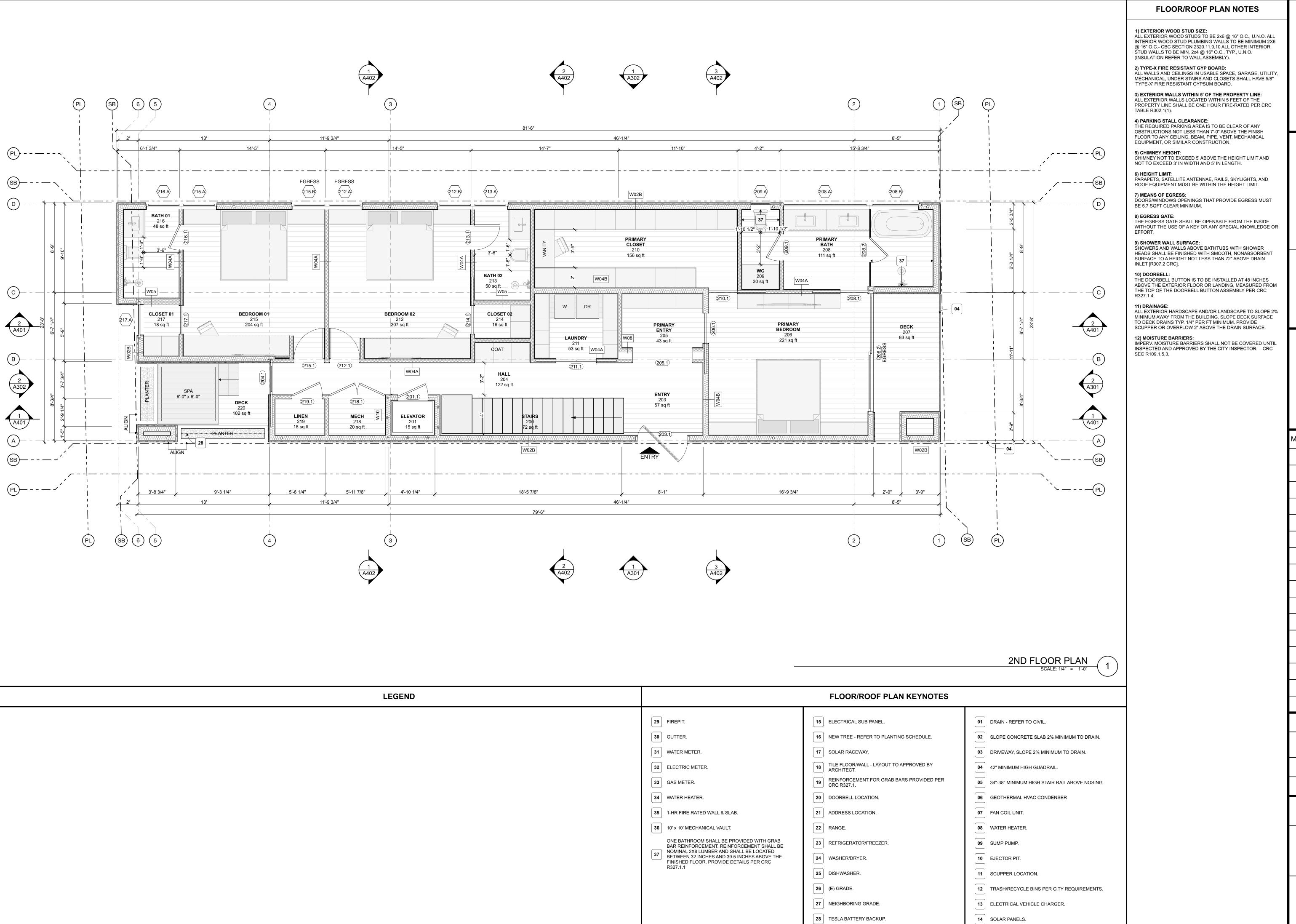
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1ST FLOOR PLAN





PROJECT NAME GREENHILL RESIDENCE

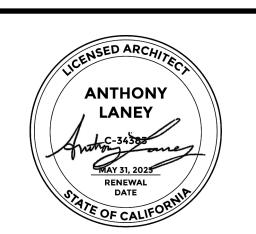
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CLIENT LIZ & MARK GREENHILL

PROJECT ADDRESS

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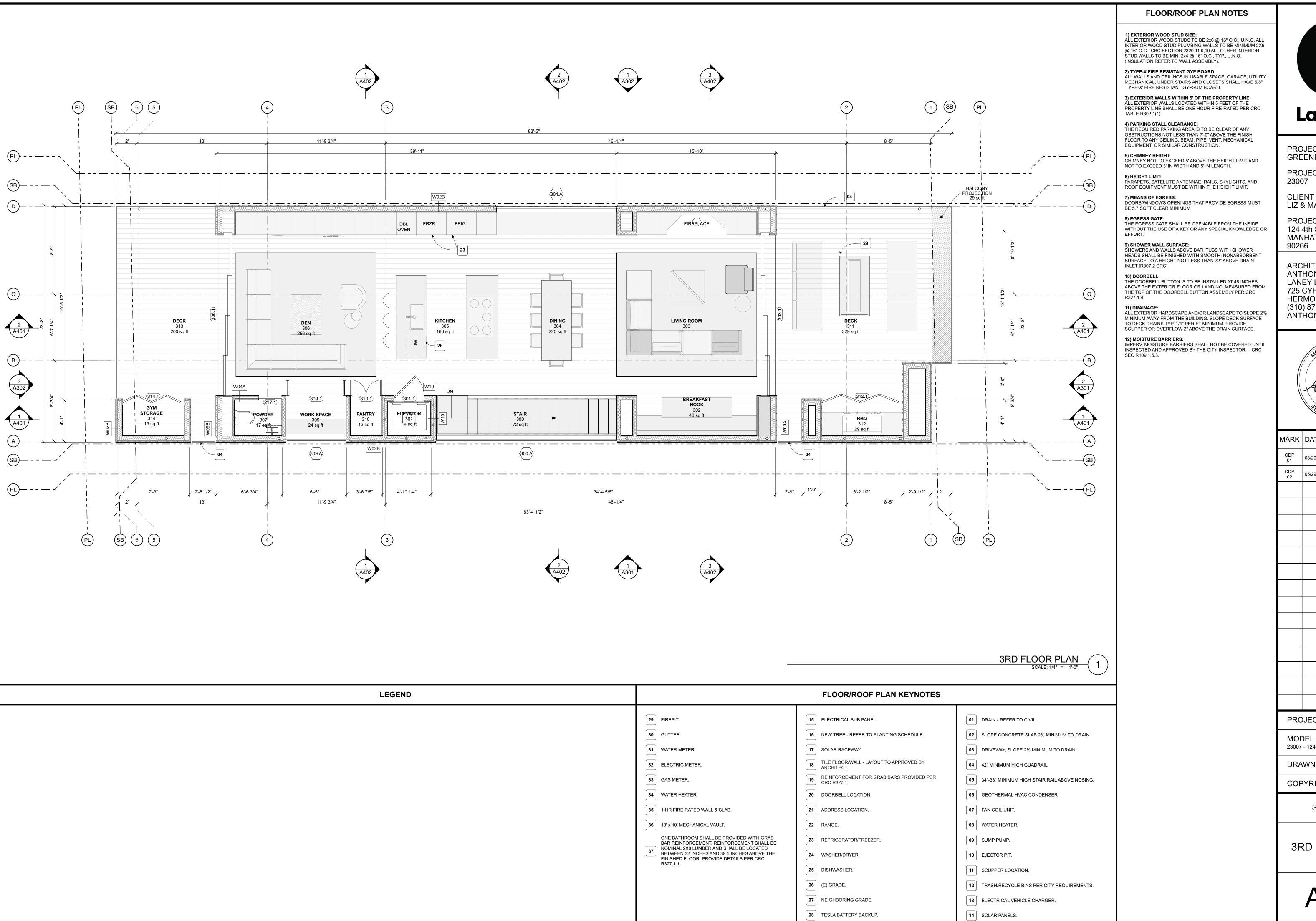
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2ND FLOOR PLAN

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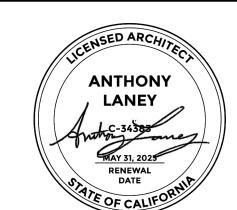
PROJECT NAME **GREENHILL RESIDENCE**

PROJECT NUMBER

LIZ & MARK GREENHILL

PROJECT ADDRESS 124 4th STREET MANHATTAN BEACH, CA

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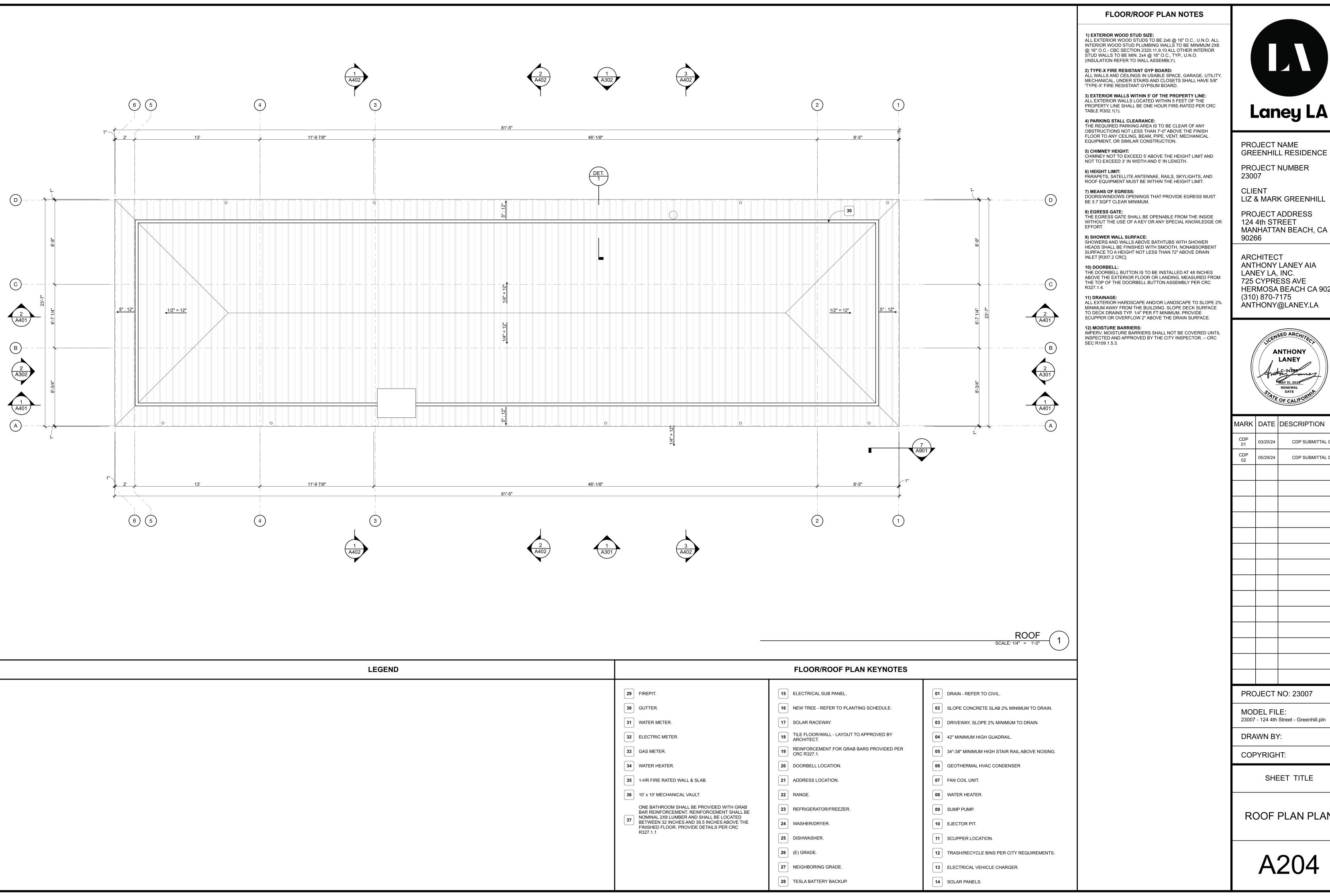
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3RD FLOOR PLAN



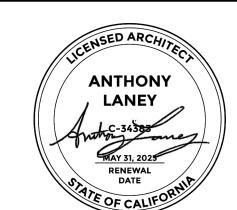


GREENHILL RESIDENCE

LIZ & MARK GREENHILL

MANHATTAN BEACH, CA

ANTHONY LANEY AIA HERMOSA BEACH CA 90254 ANTHONY@LANEY.LA

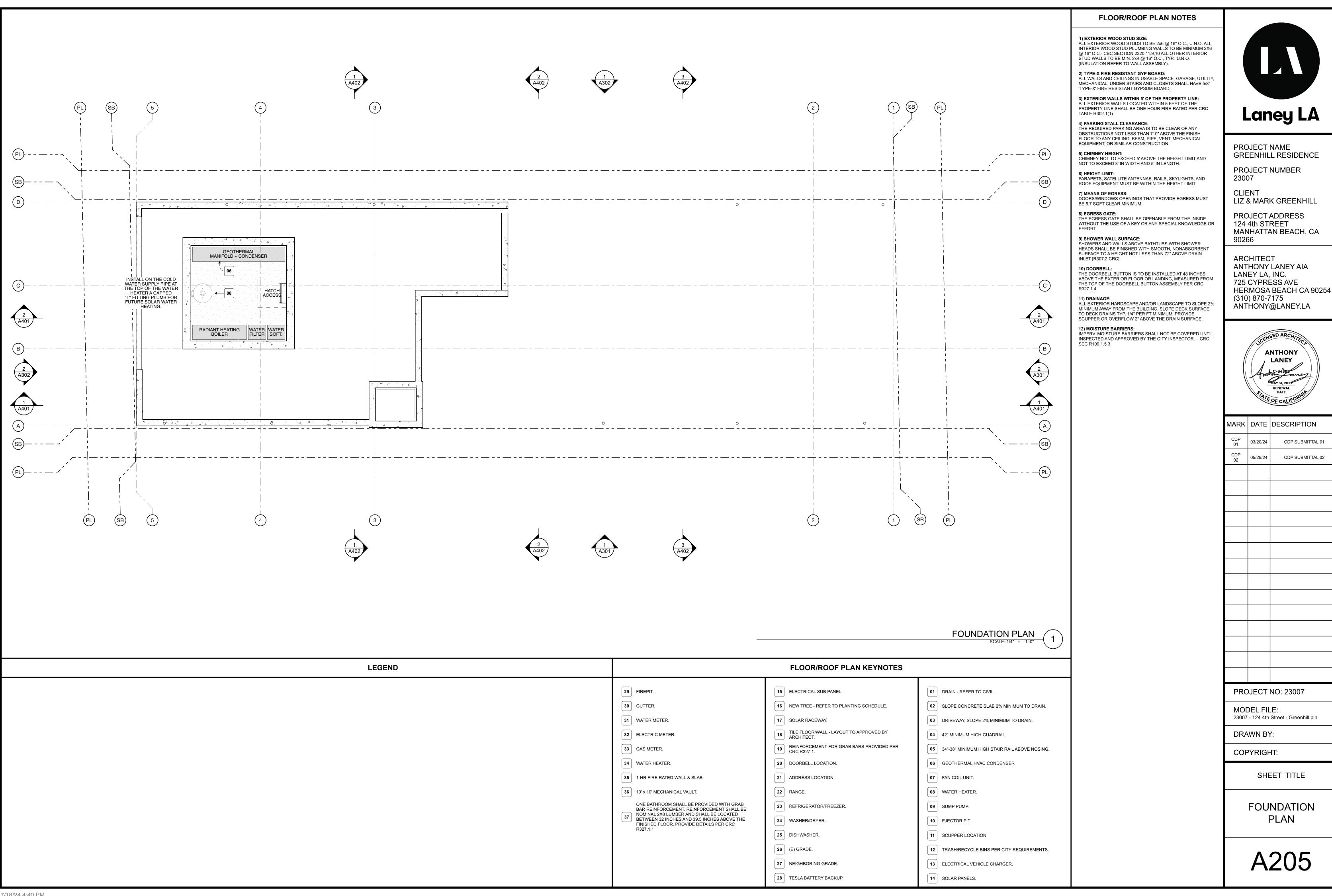


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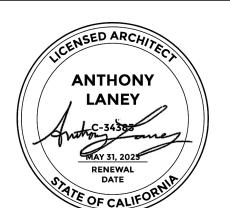
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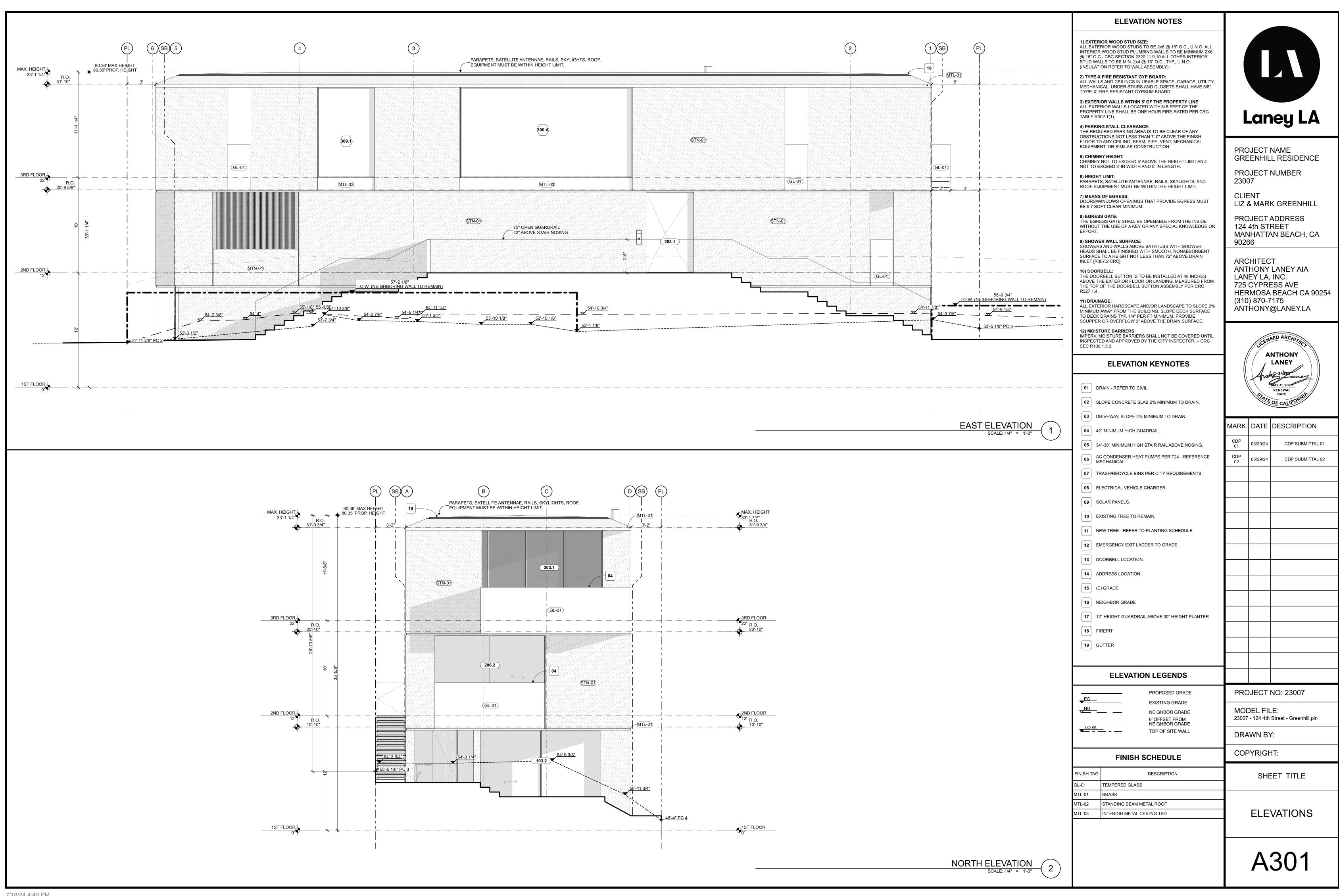
ROOF PLAN PLAN



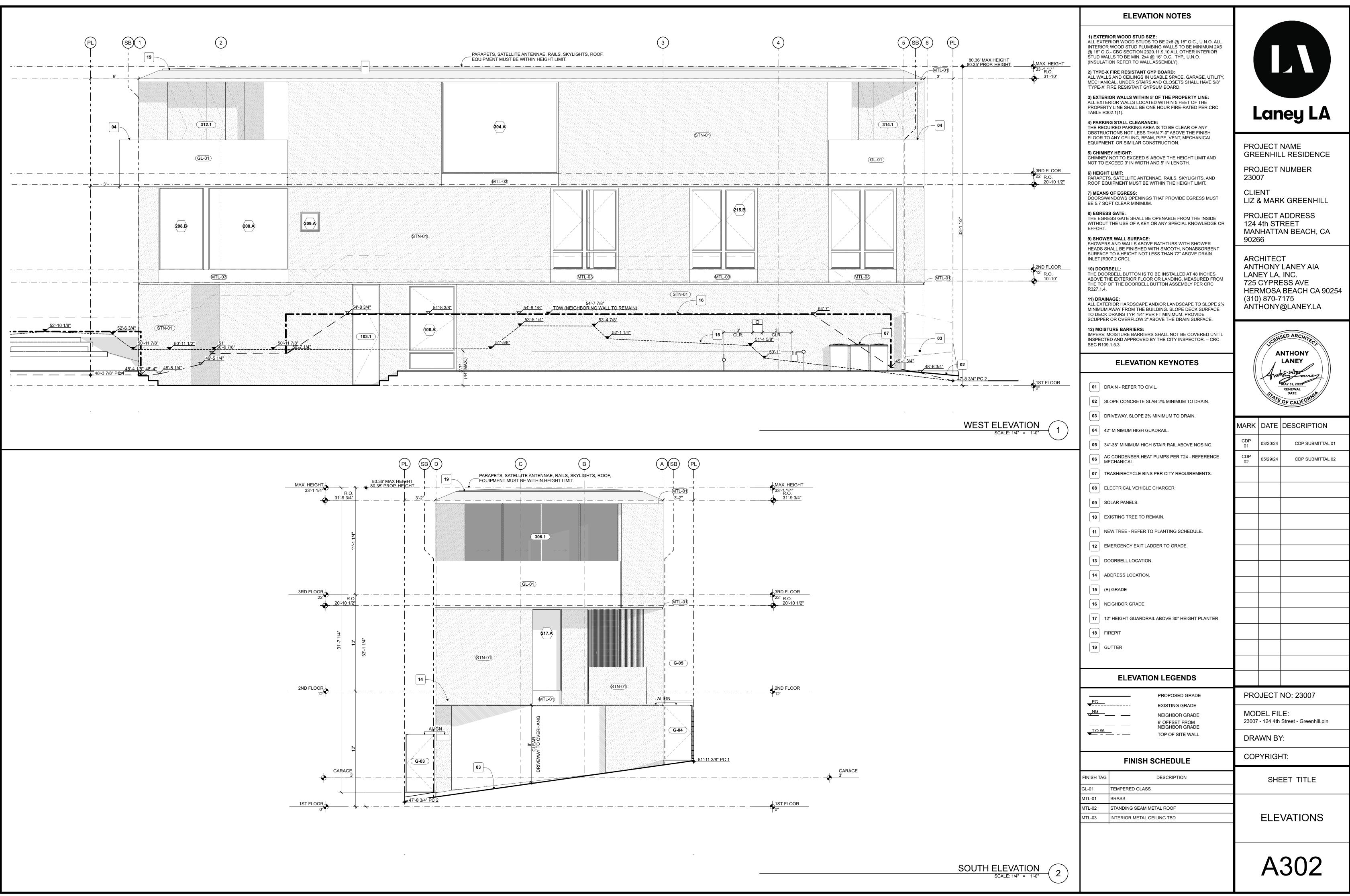




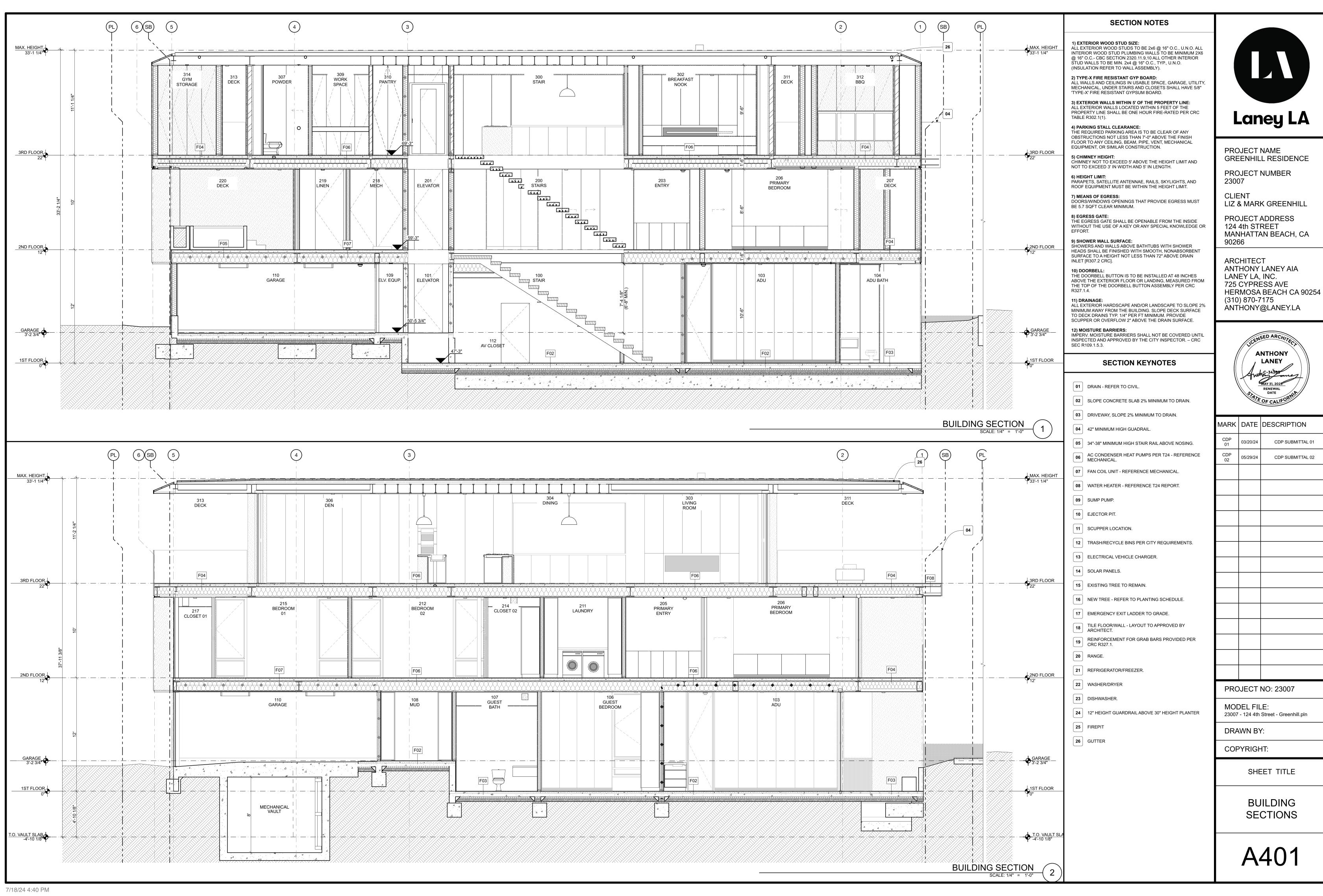
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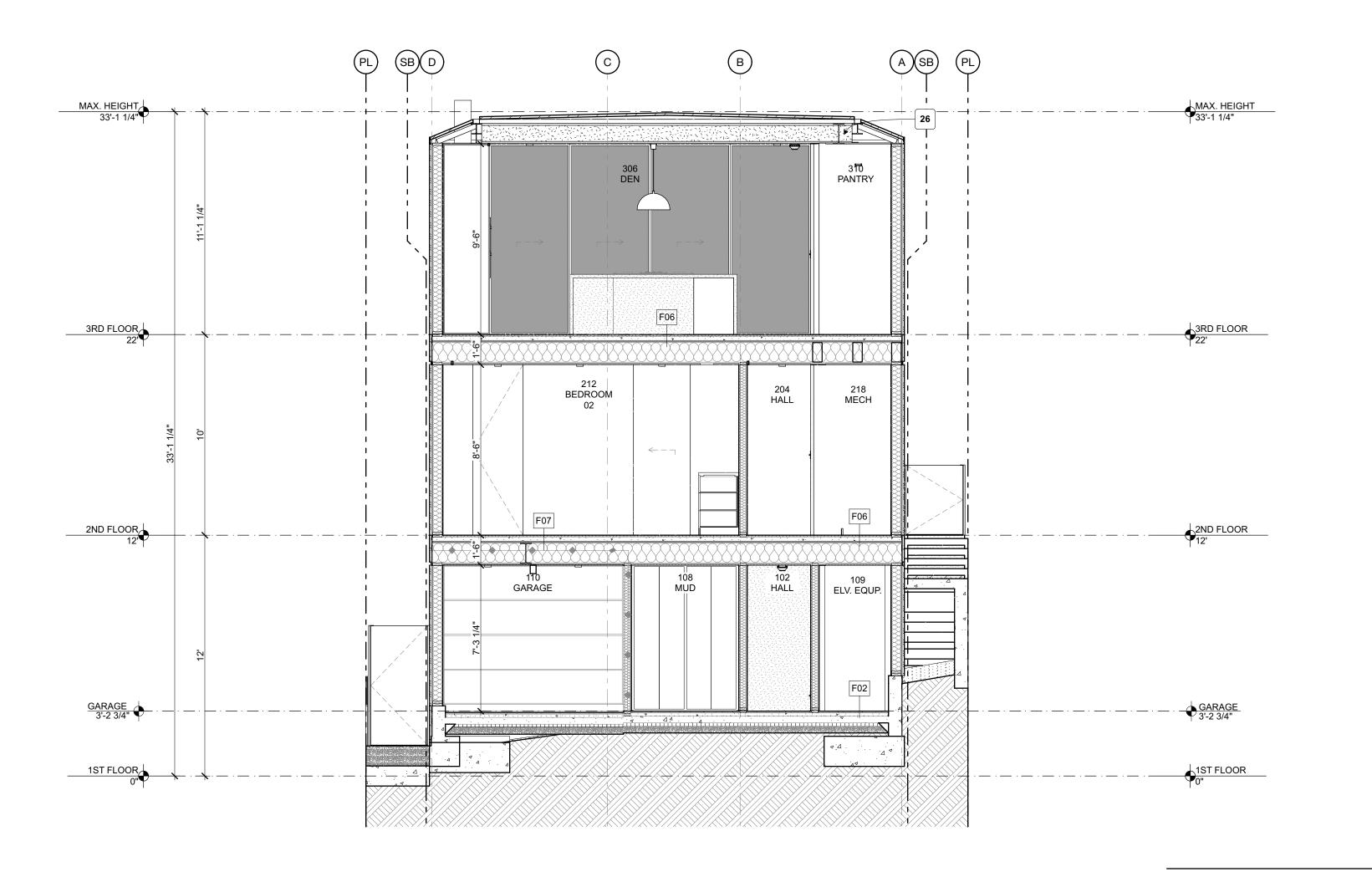


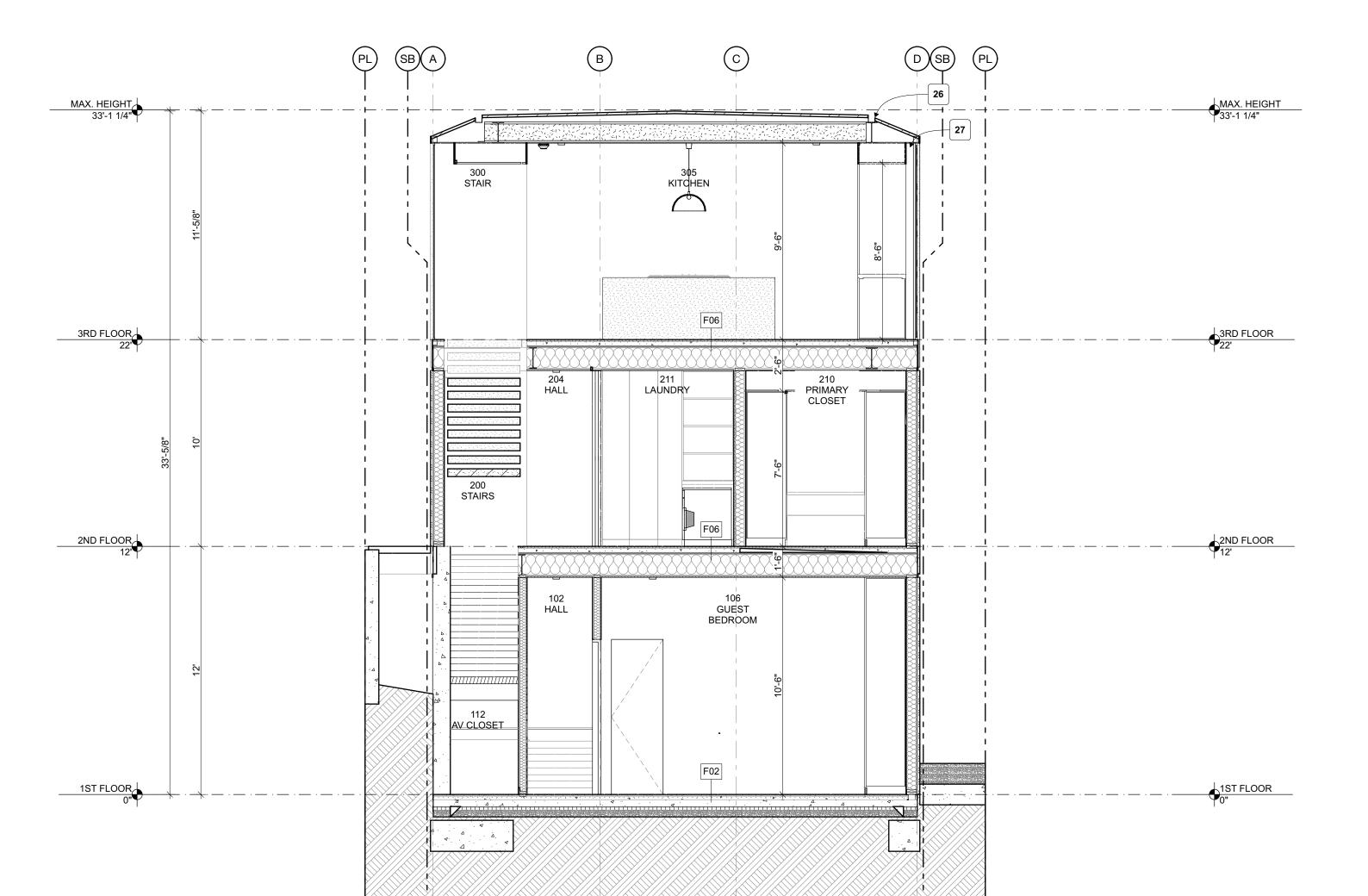
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SECTION NOTES

1) EXTERIOR WOOD STUD SIZE:
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C.- CBC SECTION 2320.11.9,10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP., U.N.O. (INSULATION REFER TO WALL ASSEMBLY).

(INSULATION REFER TO WALL ASSEMBLY).

2) TYPE-X FIRE RESISTANT GYP BOARD:
ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY,

MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" 'TYPE-X' FIRE RESISTANT GYPSUM BOARD.

3) EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:

ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).

4) PARKING STALL CLEARANCE:
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY

OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.

5) CHIMNEY HEIGHT: CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.

6) HEIGHT LIMIT:
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

7) MEANS OF EGRESS: DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.

8) EGRESS GATE:
THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE
WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR

9) SHOWER WALL SURFACE: SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET [R307.2 CRC].

10) DOORBELL:
THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES
ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM
THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC

11) DRAINAGE:
ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2%
MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE
TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE
SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.

12) MOISTURE BARRIERS:
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL
INSPECTED AND APPROVED BY THE CITY INSPECTOR. – CRC
SEC R109.1.5.3.

SECTION KEYNOTES

- 01 DRAIN REFER TO CIVIL.
- **02** SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.
- 03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- **04** 42" MINIMUM HIGH GUADRAIL.
- 05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- AC CONDENSER HEAT PUMPS PER T24 REFERENCE MECHANICAL.
- 67 FAN COIL UNIT REFERENCE MECHANICAL.
- 08 WATER HEATER REFERENCE T24 REPORT.
- 09 SUMP PUMP.
- 10 EJECTOR PIT.
- 11 SCUPPER LOCATION.
- 12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 13 ELECTRICAL VEHICLE CHARGER.
- 14 SOLAR PANELS.
- **15** EXISTING TREE TO REMAIN.
- 16 NEW TREE REFER TO PLANTING SCHEDULE.
- 17 EMERGENCY EXIT LADDER TO GRADE.
- TILE FLOOR/WALL LAYOUT TO APPROVED BY ARCHITECT.
- REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.
- 20 RANGE.21 REFRIGERATOR/FREEZER.
- 22 WASHER/DRYER
- 23 DISHWASHER.
- 24 12" HEIGHT GUARDRAIL ABOVE 30" HEIGHT PLANTER
- 25 FIREPIT
- 26 GUTTER
- 21
- 28
- 29
- 30



PROJECT NAME

GREENHILL RESIDENCE
PROJECT NUMBER

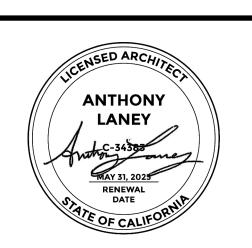
23007

90266

CLIENT LIZ & MARK GREENHILL

PROJECT ADDRESS 124 4th STREET MANHATTAN BEACH, CA

ARCHITECT
ANTHONY LANEY AIA
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725 CYPRESS AVE
HERMOSA BEACH CA 90254
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SHEET TITLE

BUILDING SECTIONS

A402

BUILDING SECTION

SCALE: 1/4" = 1'-0"

BUILDING SECTION