



Laney LA

PROJECT NAME  
GREENHILL RESIDENCE

PROJECT NUMBER  
23007

CLIENT  
LIZ & MARK GREENHILL

PROJECT ADDRESS  
124 4th STREET  
MANHATTAN BEACH, CA  
90266

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



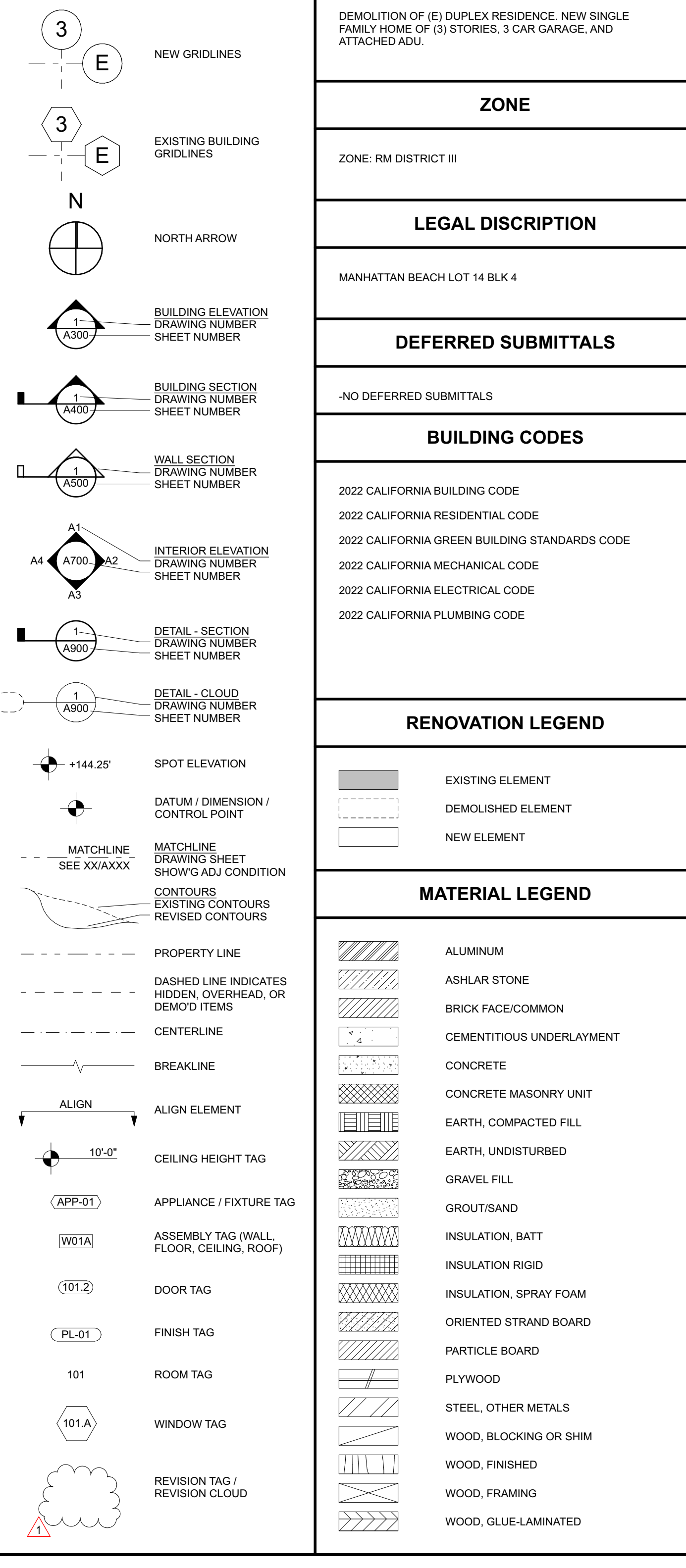
# GREENHILL RESIDENCE



## ABBREVIATIONS

Table of abbreviations for various materials, construction terms, and equipment. Includes items like ABS (Anchor Bolt), AFG (Above Finish Grade), and various pipe and material symbols.

## SYMBOLS



## VICINITY MAP



## SCOPE OF WORK

DEMOLITION OF (E) DUPLEX RESIDENCE, NEW SINGLE FAMILY HOME OF (3) STORIES, 3 CAR GARAGE, AND ATTACHED ADU.

**ZONE**

ZONE: RM DISTRICT III

**LEGAL DISCRIPTION**

MANHATTAN BEACH LOT 14 BLK 4

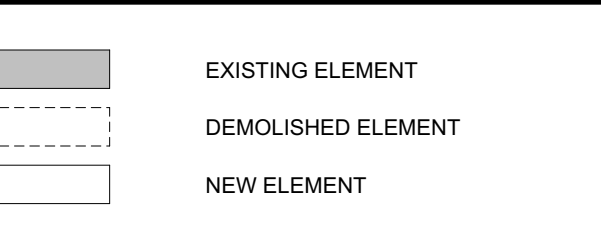
**DEFERRED SUBMITTALS**

-NO DEFERRED SUBMITTALS

## BUILDING CODES

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA PLUMBING CODE

## RENOVATION LEGEND



## MATERIAL LEGEND

[Symbol]	ALUMINUM
[Symbol]	ASHLAR STONE
[Symbol]	BRICK FACE/COMMON
[Symbol]	CEMENTITIOUS UNDERLAYMENT
[Symbol]	CONCRETE
[Symbol]	CONCRETE MASONRY UNIT
[Symbol]	EARTH, COMPACTED FILL
[Symbol]	EARTH, UNDISTURBED
[Symbol]	GRAVEL FILL
[Symbol]	GROUT/SAND
[Symbol]	INSULATION, BATT
[Symbol]	INSULATION RIGID
[Symbol]	INSULATION, SPRAY FOAM
[Symbol]	ORIENTED STRAND BOARD
[Symbol]	PARTICLE BOARD
[Symbol]	PLYWOOD
[Symbol]	STEEL, OTHER METALS
[Symbol]	WOOD, BLOCKING OR SHIM
[Symbol]	WOOD, FINISHED
[Symbol]	WOOD, FRAMING
[Symbol]	WOOD, GLUE-LAMINATED

## PROJECT INFORMATION

PROJECT DATA: NEW SINGLE FAMILY RESIDENCE BUILDING INFORMATION		
DESCRIPTION	EXISTING	PROPOSED
PARCEL NUMBER(S):	4180022014	4180022014
PROJECT ADDRESS(S):	124 4TH STREET MANHATTAN BEACH, CA 90266	
NO. OF STORIES:	2-STORY	3-STORY
TYPE OF CONSTRUCTION	TYPE V-B	TYPE V-B
CODE CYCLE:	N/A	2022 CALIFORNIA CODE OF REGULATIONS TITLE 24
OCCUPANT USE:	R3U	R3U
AUTOMATIC FIRE SPRINKLER SYSTEM:	N/A	NFA-13D
SPECIAL CONDITIONS:	N/A	N/A

MAIN RESIDENCE (GROSS FLOOR AREA)			
DESCRIPTION	EXISTING (SF)	PROPOSED (SF)	GRADING DATA
INSIDE FOOTPRINT	X SF		GRADING/SITE WORK (CY)
BASEMENT 1:	X SF	NA	CUT: XX CY
1ST FLOOR:	X SF	549.6 SF	FILL: XX CY
2ND FLOOR:	NA	1,665.7 SF	NET E' = .XX CY
3RD FLOOR:	NA	1,320.7 SF	
GARAGE:	X SF	680.0 SF	
DECKS OVER 30"	X SF	NA	
TOTAL:	X SF	4,216 SF	

ACCESSORY STRUCTURE (GROSS FLOOR AREA)				ADU (GROSS FLOOR AREA)			
<input type="checkbox"/> ATTACHED		<input type="checkbox"/> DETACHED		<input checked="" type="checkbox"/> ATTACHED		<input type="checkbox"/> DETACHED	
DESCRIPTION	EXISTING (SF)	PROPOSED(SF)	DESCRIPTION	EXISTING (SF)	PROPOSED(SF)		

JADU (GROSS FLOOR AREA)						EXTERIOR DECK, PORCH, PATIO STRUCTURE (GROSS FLOOR AREA)								
<input type="checkbox"/> ATTACHED			<input type="checkbox"/> DETACHED			DESCRIPTION			EXISTING (SF)			PROPOSED(SF)		
INSIDE FOOTPRINT						EXTERIOR FOOTPRINT								
BASEMENT 2:	X SF	X SF	BASEMENT 2:	NA	NA									
BASEMENT 1:	X SF	X SF	BASEMENT 1:	NA	NA									
1ST FLOOR:	X SF	X SF	1ST FLOOR:	NA	492.9 SF									
2ND FLOOR:	X SF	X SF	2ND FLOOR:	NA	NA									
3RD FLOOR:	X SF	X SF	3RD FLOOR:	NA	NA									
GARAGE:	X SF	X SF	GARAGE:	NA	NA									
DECKS OVER 30"	X SF	X SF	DECKS OVER 30"	NA	NA									

JADU (GROSS FLOOR AREA)						EXTERIOR DECK, PORCH, PATIO STRUCTURE (GROSS FLOOR AREA)								
<input type="checkbox"/> ATTACHED			<input type="checkbox"/> DETACHED			DESCRIPTION			EXISTING (SF)			PROPOSED(SF)		
INSIDE FOOTPRINT						EXTERIOR FOOTPRINT								
BASEMENT 2:	X SF	X SF	BASEMENT 2:	NA	NA									
BASEMENT 1:	X SF	X SF	BASEMENT 1:	NA	NA									
1ST FLOOR:	X SF	X SF	1ST FLOOR:	NA	492.9 SF									
2ND FLOOR:	X SF	X SF	2ND FLOOR:	NA	NA									
3RD FLOOR:	X SF	X SF	3RD FLOOR:	NA	NA									
GARAGE:	X SF	X SF	GARAGE:	NA	NA									
DECKS OVER 30"	X SF	X SF	DECKS OVER 30"	NA	NA									

## PROJECT DIRECTORY

<b>OWNER</b> MARK & LIZ GREENHILL 124 4TH STREET MANHATTAN BEACH, CA 90266 MARKGS@SMALLEY.COM	<b>ARCHITECT</b> LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH, CA 90254 (310) 870-7175 ANTHONY@LANEY.LA	<b>STRUCTURAL ENGINEER</b> CORCORAN ENGINEERING 1084 HUMBOLDT STREET LOS ALMITOS, CA 90720 (526) 799-9469 CONTACT: SCOTT SPENSIERO SCOTT@CORCALENG.COM	<b>CIVIL ENGINEER</b> COMPANY NAME STREET ADDRESS CITY, STATE ZIP CODE (XXX) XXX-XXXX CONTACT: PROJECT LEAD NAME EMAIL ADDRESS	<b>MECHANICAL ENGINEER</b> COMPANY NAME STREET ADDRESS CITY, STATE ZIP CODE (XXX) XXX-XXXX CONTACT: PROJECT LEAD NAME EMAIL ADDRESS	<b>PLUMBING ENGINEER</b> COMPANY NAME STREET ADDRESS CITY, STATE ZIP CODE (XXX) XXX-XXXX CONTACT: PROJECT LEAD NAME EMAIL ADDRESS	<b>ENERGY/TITLE 24</b> COMPANY NAME STREET ADDRESS CITY, STATE ZIP CODE (XXX) XXX-XXXX CONTACT: PROJECT LEAD NAME EMAIL ADDRESS
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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02
01 - WIP		Not in Transmittal Set
PROJECT NO: 23007		
MODEL FILE: 23007 - 124 4th Street - Greenhill.pln		
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SHEET TITLE		
COVER SHEET		
G01		



Laney LA

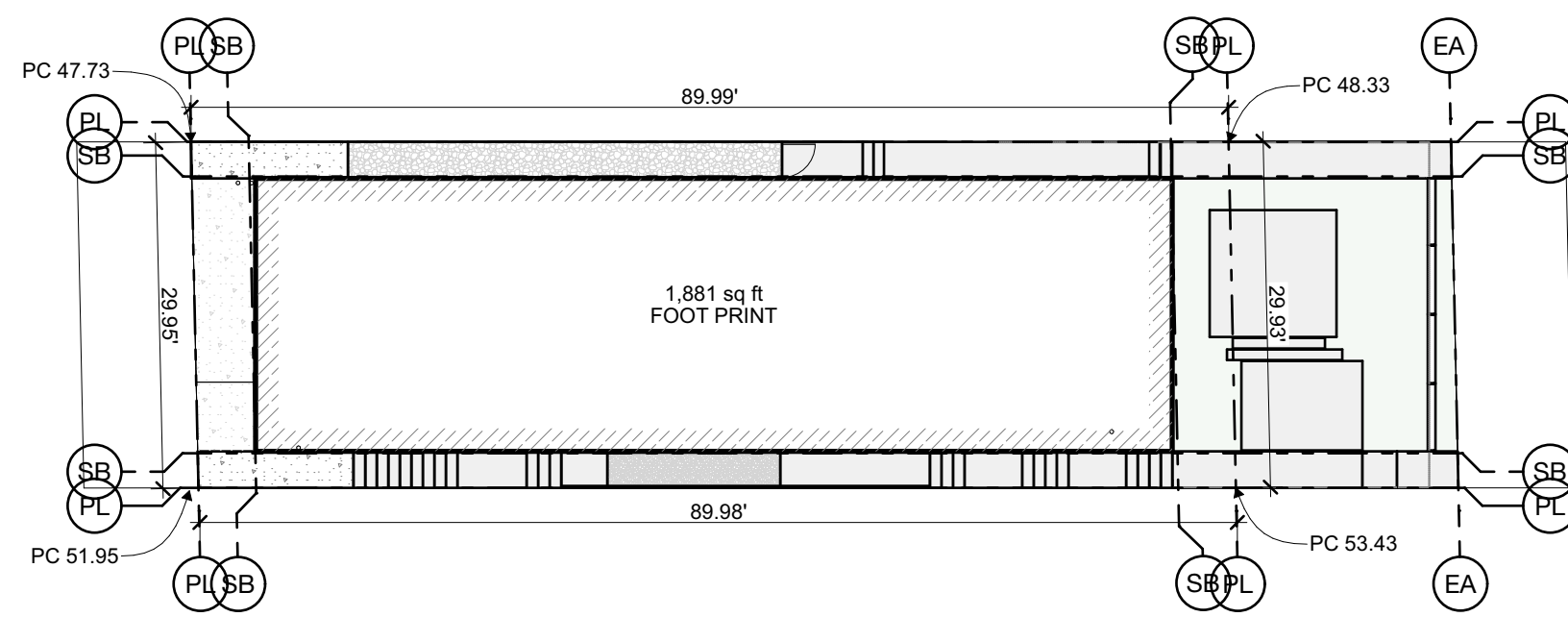
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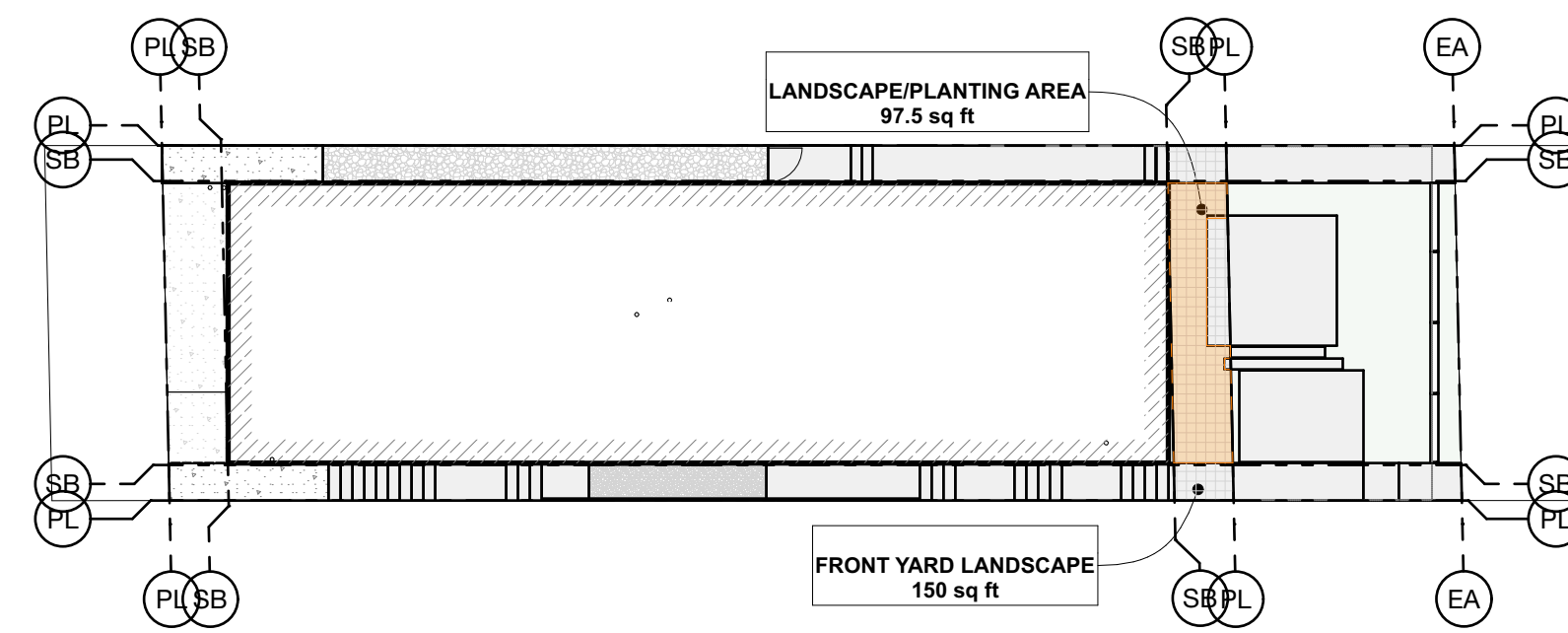
MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

LOT DEPTH & WIDTH / MAX HEIGHT CORNERS



LOT DIMENSIONS / PROPERTY CORNERS  
SCALE: 1/16" = 1'-0" 1

HARDSCAPE/LANDSCAPE AREA CALCULATION

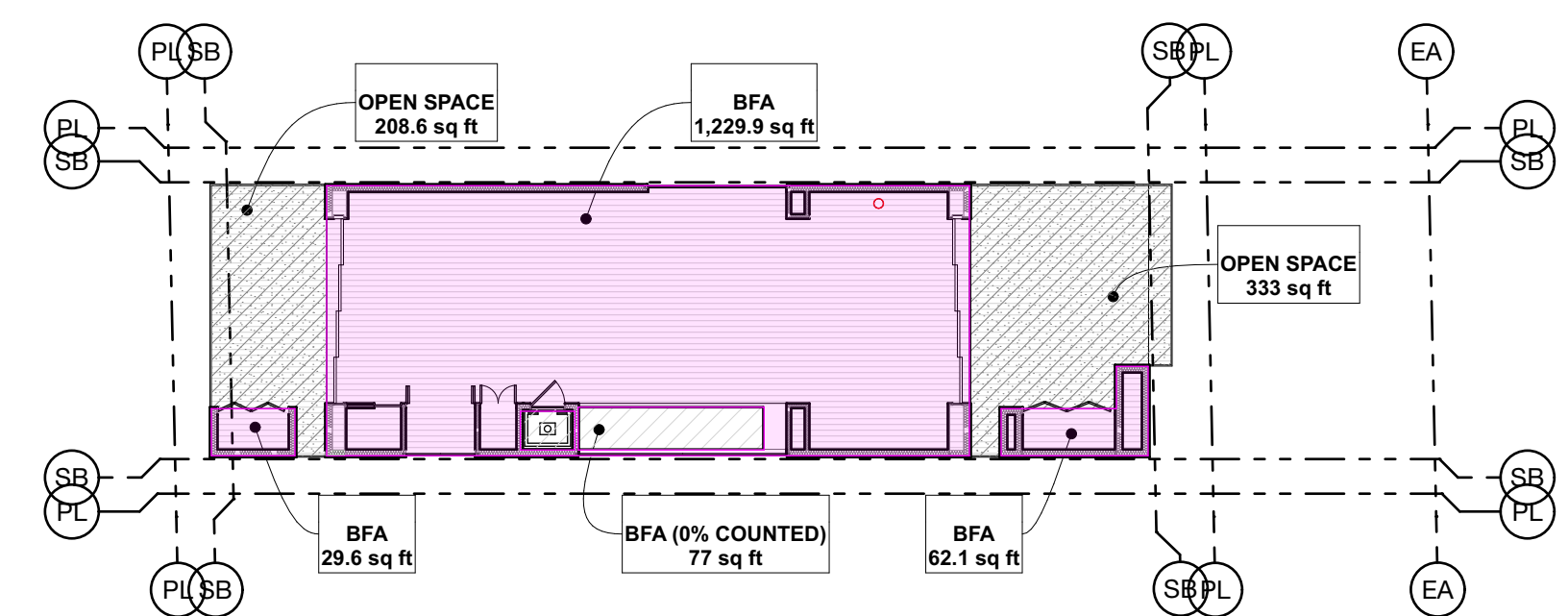


LANDSCAPE / HARDSCAPE DIAGRAM  
SCALE: 1/16" = 1'-0" 2

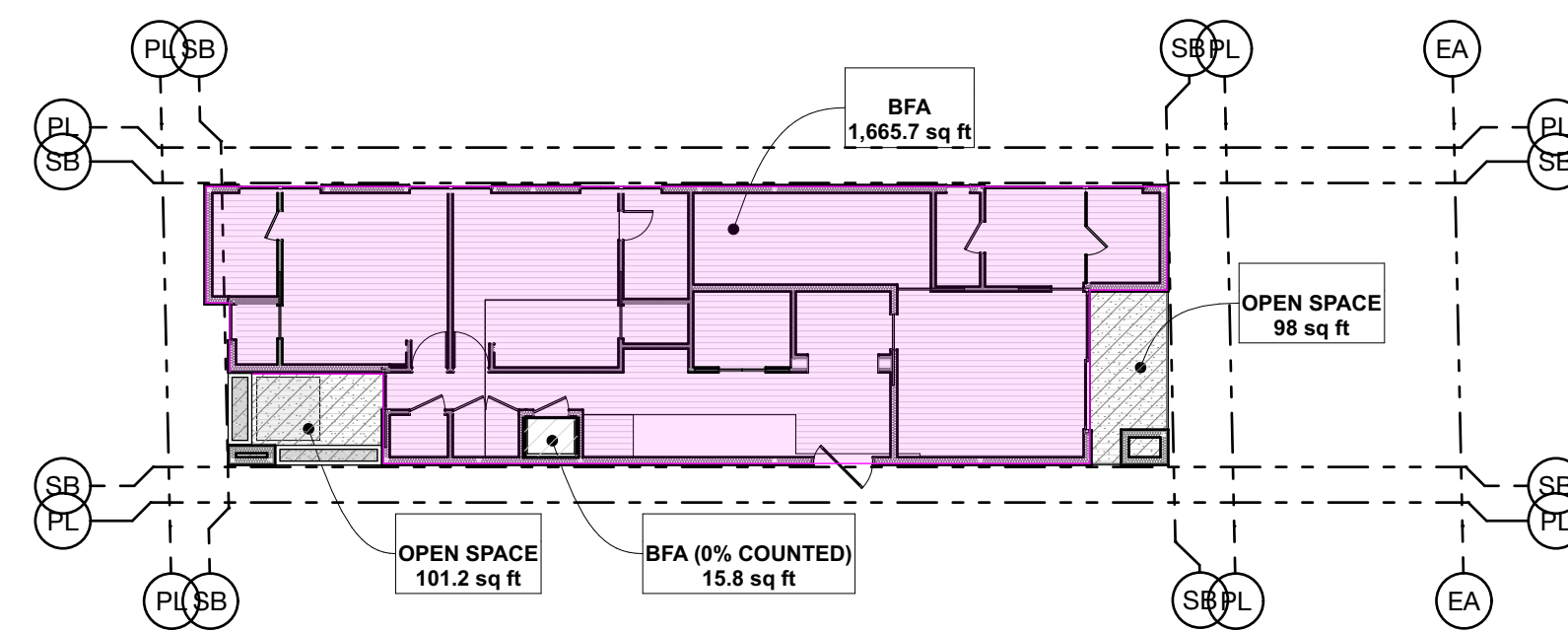
SUPPLEMENTAL SETBACK DIAGRAM

N/A

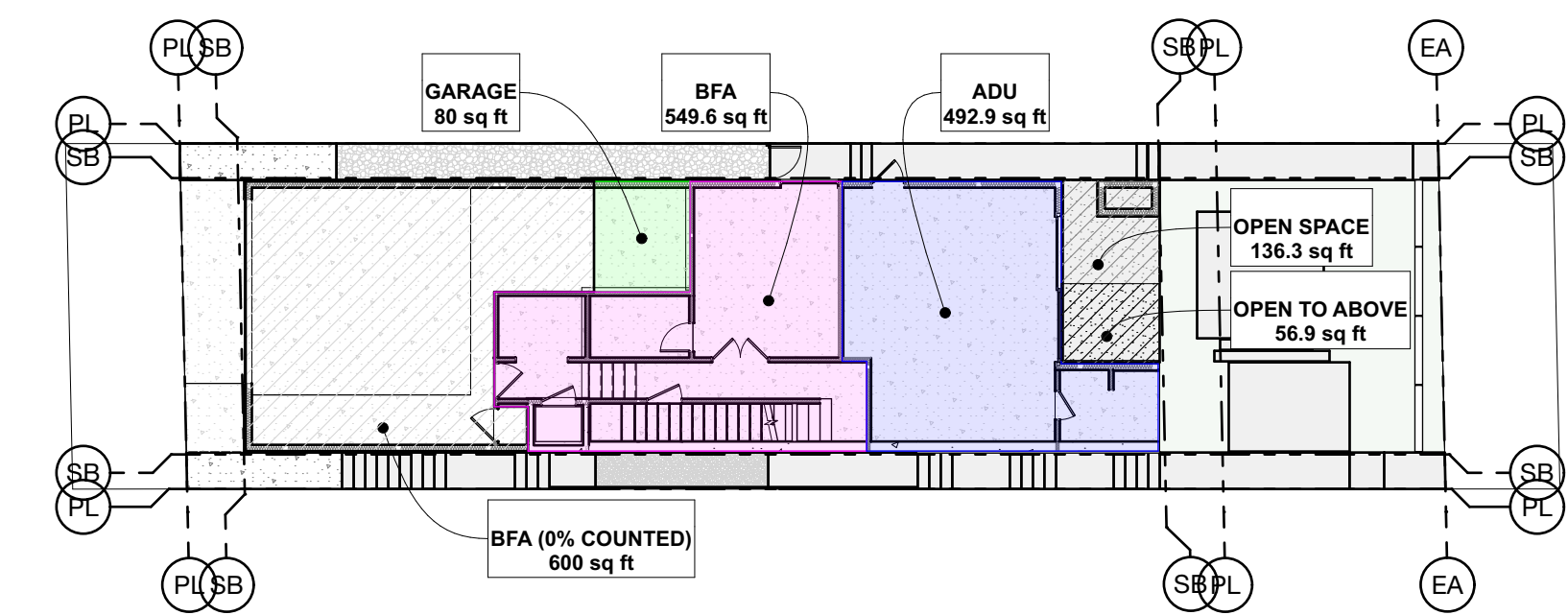
BUILDABLE FLOOR AREA (BFA) CALCULATIONS / ADU SQUARE FOOTAGE



BFA 3RD FLOOR PLAN  
SCALE: 1/16" = 1'-0" 3



BFA 2ND FLOOR PLAN  
SCALE: 1/16" = 1'-0" 4



BFA 1ST FLOOR PLAN  
SCALE: 1/16" = 1'-0" 5

BFA/CFA CALCULATIONS

BUILDABLE FLOOR AREA (BFA) CALCULATIONS:

ALLOWABLE BUILDABLE FLOOR AREA (BFA):	LOT x 1.6 2693.7 SF x 1.6 = 4,309.92 SF
GARAGE:	680 SF (600 EXEMPTION) = 80.0 SF
ACCESSORY DWELLING UNIT (ADU):	492.9 SF (EXEMPTION)
PROPOSED TOTAL 1ST LEVEL BFA:	549.6 SF
PROPOSED TOTAL 2ND LEVEL BFA:	1,665.70 SF
PROPOSED TOTAL 3RD LEVEL BFA:	1,320.7 SF
PROPOSED TOTAL W/O EXEMPTIONS:	4,708.9 SF
<b>PROPOSED TOTAL HOME BFA:</b>	<b>3,616.0 SF &lt; 4,309.92 SF (MAX.)</b>

CONDITIONED FLOOR AREA (CFA):

ENERGY CODE AREA CALCULATIONS:	549.6 SF + 492.9 SF (ADU)
1ST LEVEL:	1,665.9 SF
2ND LEVEL:	1,305.5 SF
3RD LEVEL:	4,013.9 SF

LANDSCAPE CALCULATIONS

OPEN SPACE CALCULATION:

OPEN SPACE:	15% REQUIRED OF BFA 3,616.0 SF X (.15) = 542.4 MIN.
-------------	--

OPEN SPACE:

1ST LEVEL:	133.3 SF
2ND LEVEL:	199.2 SF
3RD LEVEL:	541.6 SF (1/2 CNTD = 270.8 SF)
<b>TOTAL PROPOSED OPEN SPACE:</b>	<b>606.3 SF</b>

FRONT LANDSCAPE CALCULATION:

OPEN SPACE:	20% REQUIRED OF LANDSCAPE AT FRONT YARD SETBACK
FRONT YARD AREA:	150 SF
REQUIRED LANDSCAPE AREA:	150 SF X (.20) = 30 SF MIN.
PROPOSED FRONT YARD LANDSCAPE AREA:	70.29 SF
<b>TOTAL PROPOSED LANDSCAPE:</b>	<b>70.29 SF &gt; 30 SF MIN.</b>

PROJECT ADDRESS:  
124 4th STREET,  
MANHATTAN BEACH, CA, 90266  
LEGAL DESCRIPTION:  
MANHATTAN BEACH LOT 14  
APN: 4180022014  
ZONING: RM AREA DISTRICT 3  
OCCUPANCY GROUP: R 3/ U  
CONSTRUCTION TYPE: TYPE V-B  
LOT AREA (NET): 2693.7 SF  
LOT COVERAGE: N/A  
FLOOR AREA RATIO: N/A  
BUILDABLE FLOOR AREA: PROPOSED 3,655.36 SF (ALLOWED 4309.92 SF)  
BUILDING CONSTRAINTS  
FRONT SETBACK: 5'-0"  
REAR SETBACK: 5'-0"  
SIDE SETBACK: 3'-0"  
MAX HEIGHT: PROPOSED 80.21' (ALLOWED 80.36')  
PARKING REQUIREMENTS: PROPOSED 3 (REQ'D: 3)  
NUMBER OF STORIES: PROPOSED 3 STORY (ALLOWED 3 STORY)

LEGEND

- BUILDABLE FLOOR AREA
- BUILDABLE FLOOR AREA (30%)
- BUILDABLE FLOOR AREA (0% COUNTED)
- ACCESSORY DWELLING UNIT (ADU)
- GARAGE
- SUPPLEMENTARY SETBACK
- ROOF CONDITION
- FRONT YARD LANDSCAPE AREA
- LANDSCAPE/PLANTING AREA
- DRIVEWAY
- DECKS + PATIO
- HARDSCAPE (NON-PERMEABLE)
- HARDSCAPE (PERMEABLE)
- STORAGE

MAX HEIGHT

PC 01:	51.95'
PC 02:	47.73'
PC 03:	53.43'
PC 04:	48.33'
$51.95' + 47.73' + 53.43' + 48.33' / 4 = 50.36'$	
$50.36' + 30' \text{ (HEIGHT LIMIT)} = \mathbf{80.36'}$	

PROJECT NO: 23007

MODEL FILE:  
23007 - 124 4th Street - Greenhill.pln

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SHEET TITLE

CODE DIAGRAMS

G02



## BOUNDARY SURVEY WITH TOPOGRAPHY

FOR  
LIZ & MARK GREENHILL  
124 4TH STREET  
MANHATTAN BEACH, CA 90266  
PHONE

### JOB ADDRESS

124 4TH STREET  
MANHATTAN BEACH, CA 90266

### LEGAL DESCRIPTION

LOT 14, BLOCK 4  
MANHATTAN BEACH  
M.B. 1-49-30  
APN 4180-022-014  
LOT AREA = 2,694 SQFT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY  
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF  
PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY FM CHECK BY TS

DRAWN ON JANUARY 5, 2023

REVISIONS

SURVEY UPDATE JANUARY 5, 2024

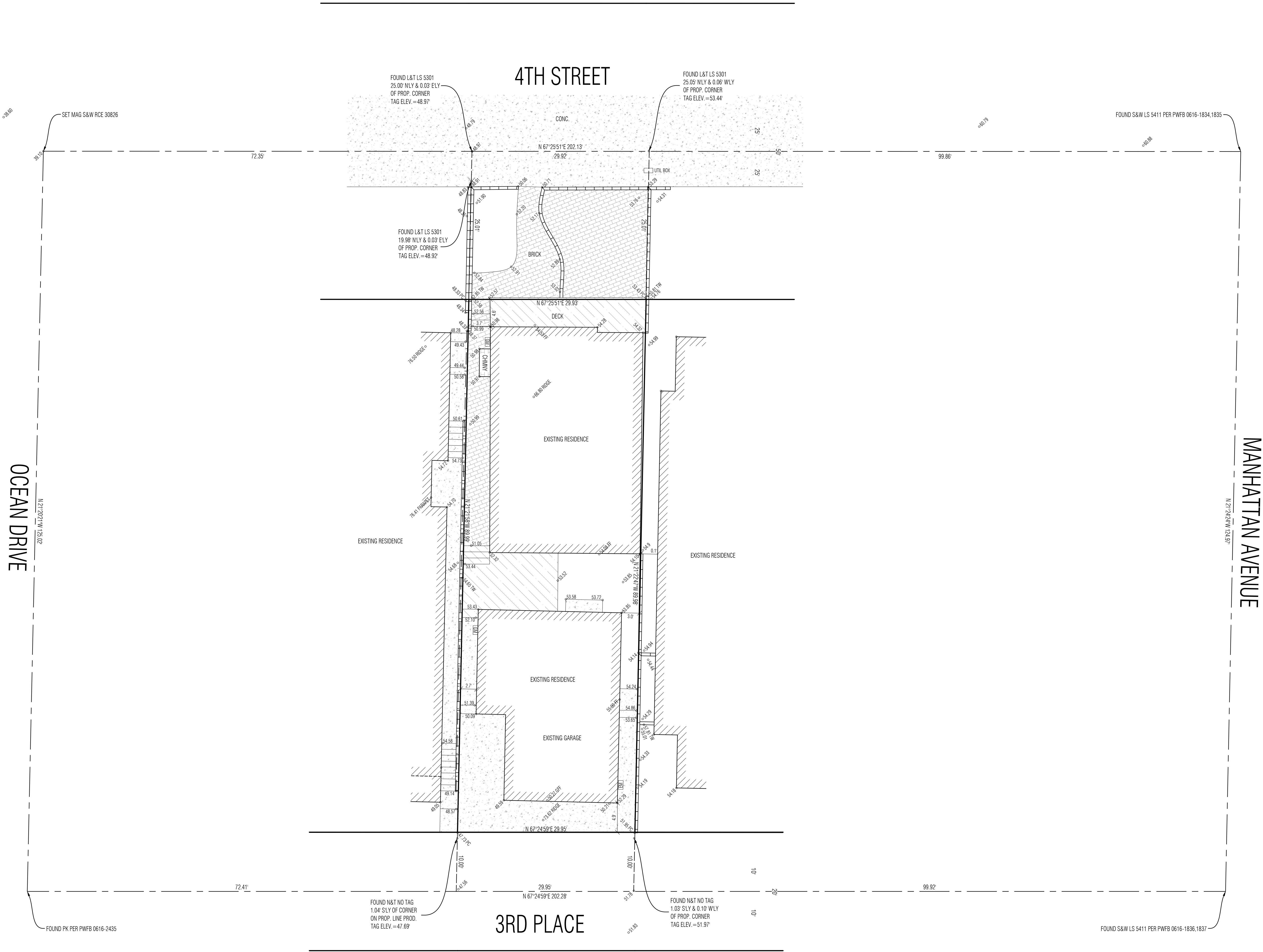
### LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+106.76	EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN	IP	IRON PIPE MONUMENT
CATV	CABLE TV PULL BOX	L&T	LEAD AND TAG THIS MONUMENT
CONC	CONCRETE	MH	MANHOLE (SANITARY SEWER / STORM DRAIN)
CHIMN	CHIMNEY	N&T	NORTHLY
CEFB	CITY ENGINEERS FIELD BOOK	N&T / N&W	N&L AND TAG / N&L AND WASHER MONUMENT
CL	CENTERLINE	PB	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)
C.L.F. / W.L.F.	CHAIN LINK FENCE / WROUGHT IRON FENCE	PB (CONT)	TELEPHONE / CABLE TV
ELY	EASTERLY	PC	PROPERTY CORNER / PROP. CORNER
EG	EDGE OF GUTTER	PL	PROPERTY LINE / PROP. LINE
EM	ELECTRIC METER	PP / LP	POWER POLE / UTILITY POLE
FF	FINISH FLOOR	PRFT	PRIVET
FI	FIRE HYDRANT	PWFB	PUBLIC WORKS FIELD BOOK
FL	FLOW LINE	R.R.	RAIL ROAD
GFF	GARAGE FINISH FLOOR	R&B	ROAD DEPARTMENT FIELD BOOK
GM	GAS METER	R.S.	RECORD OF SURVEY
GW / SW	GUY WIRE	SPK / S&W	SPIKE / SPIKE AND WASHER MONUMENT
IP	IRON PIPE MONUMENT	SSD	SANITARY SEWER CLEAOUT
L&T	LEAD AND TAG THIS MONUMENT	ST / ST&T	STAKE / STAKE AND TAG MONUMENT
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)	ST / LT	STREET LIGHT POLE / LIGHT POLE
N&T	NORTHLY	TC	TOP OF CURB
N&T / N&W	N&L AND TAG / N&L AND WASHER MONUMENT	TX / BK	TOP OF APRON / BOTTOM OF APRON
PB	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)	WLY	WESTELY
PB (CONT)	TELEPHONE / CABLE TV	WM	WATER METER
PC	PROPERTY CORNER / PROP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / LP	POWER POLE / UTILITY POLE		
PRFT	PRIVET		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
R&B	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPK / S&W	SPIKE / SPIKE AND WASHER MONUMENT		
SSD	SANITARY SEWER CLEAOUT		
ST / ST&T	STAKE / STAKE AND TAG MONUMENT		
ST / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BK	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTELY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN  
ARE MEASURED TO EXTERIOR SURFACE OF  
BUILDINGS UNLESS OTHERWISE NOTED.  
BOUNDARY MONUMENTS ARE NOT NECESSARILY  
SET ON PROPERTY CORNERS. PLEASE REFER TO  
THE NOTATION ON THIS SURVEY PLAN FOR OFFSET  
DIMENSIONS. IF THERE ARE ANY QUESTIONS,  
PLEASE DO NOT HESITATE TO CONTACT DENN  
ENGINEERS FOR CLARIFICATION BY PHONE AT:  
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

### COPYRIGHT

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT  
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DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY  
ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDINGS THAT DENN ENGINEERS  
MAY BE JOINED.



NOTE:  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.  
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:

USA NATIONAL TITLE COMPANY  
ORDER NO. 012336246-30  
DATED DECEMBER 4, 2023



SCALE 1" = 8'

LANDSCAPE NOTES

- 1) DRIP IRRIGATION:  
ALL PLANTING TO BE ON DRIP IRRIGATION SYSTEM.
- 2) HEDGE HEIGHT:  
ALL PROPOSED FUTURE HEDGES ARE NOT TO EXCEED 42" IN THE REQUIRED FRONT YARD SETBACK AND NOT EXCEED 6' WITHOUT NEIGHBOR CONSENT ALONG THE SIDE AND REAR SETBACK.



Laney LA

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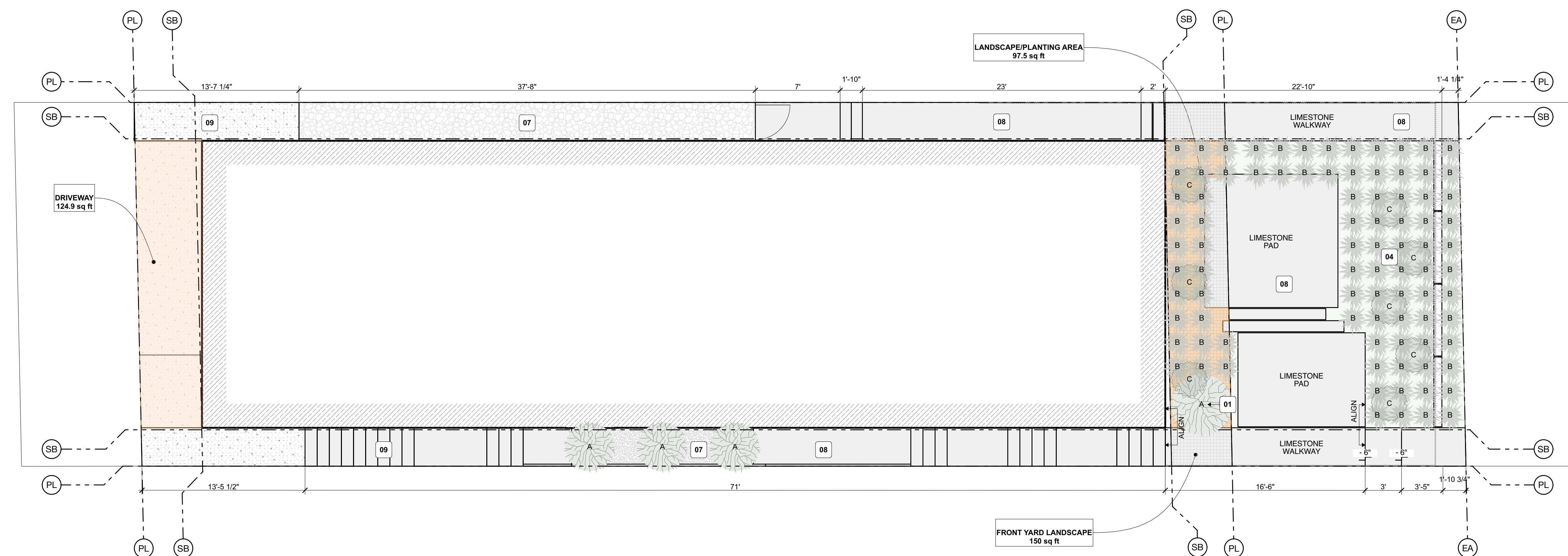
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MARK DATE DESCRIPTION

CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02



LANDSCAPE PLAN 1  
SCALE: 3/16" = 1'-0"

LEGEND

	EARTH		PLANT SYMBOL		PLANT SYMBOL
	GRAVEL		PLANT SYMBOL		
	GRASS / TURF				
	CONCRETE				
	LIMESTONE				
	DRIVEWAY				
	LANDSCAPE/PLANTING AREA				

PLANTING SCHEDULE

SYM.	SCIENTIFIC NAME	COMMON	USAGE	SIZE
A	MELALEUCA NESOPHILIA	PINK MELALEUCA	LOW	36" BOX
B	NASSELLA TENUSSIMA	MEXICAN FEATHER GRASS	LOW	5 GALLON
C	AGAVE TEQUILANA	BLUE AGAVE	LOW	10 GALLON

WATER USAGE CALCULATIONS

LOT AREA = 2893.7 SF  
BLDG FOOTPRINT = 1881.5 SF  
DRIVEWAY = 124.9 SF

LANDSCAPE/HARDSCAPE AREA  
= LOT - BLDG FTPRINT - DRIVEWAY  
= 2893.7 SF - 1881.5 SF - 124.9 SF  
= 886.6 SF

MAX AREA OF HIGH WATER USE PLANTS  
= 886.6 x 20%  
= 137.46 SF

PROPOSED AREA = MAXIMUM AREA  
0 SF < 137.32 SF

20% FRONT LANDSCAPING  
FRONT YARD SETBACK AREA  
= 150 SF  
PROPOSED LANDSCAPED AREA  
= 97.5 SF

MINIMUM LANDSCAPED AREA  
= 150 SF x 20%  
= 30 SF  
PROPOSED AREA = MINIMUM AREA  
= 97.5 SF > 30 SF

LANDSCAPE KEYNOTES

- 01 NEW SPECIMEN TREE - REFER TO SCHEDULE.
- 02 MAX 42" HIGH PLANTING.
- 03 GROUNDSCAPE - REFER TO SCHEDULE
- 04 MIXED PLANTING - REFER TO SCHEDULE.
- 05 HEDGE -REFER TO SCHEDULE.
- 06 POOL/SPA.
- 07 GRAVEL.
- 08 LIMESTONE.
- 09 CONCRETE.
- 10 NOT IN USE.

PROJECT NO: 23007

MODEL FILE:  
23007 - 124 4th Street - Greenhill.pln

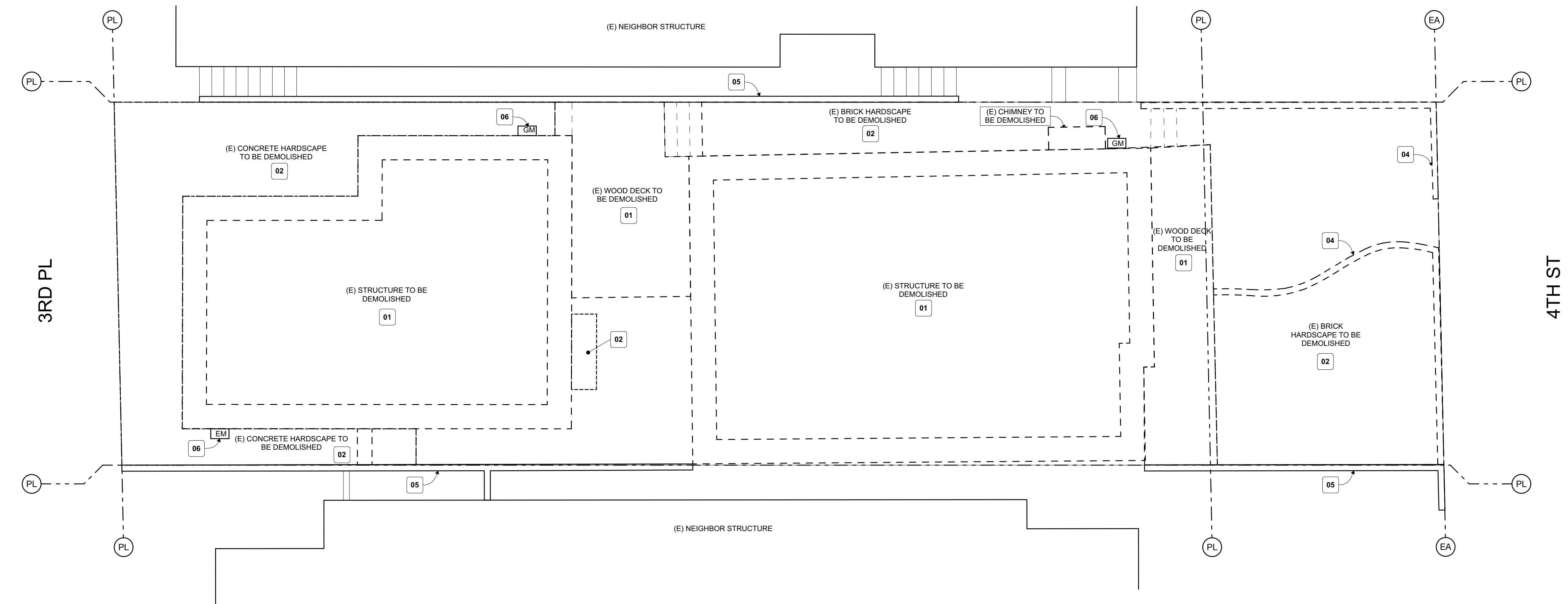
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SHEET TITLE

LANDSCAPE PLAN

L.01



DEMO PLAN  
SCALE: 3/16" = 1'-0" 3

**DEMO NOTES**

- 1) HAZARDOUS MATERIALS:** ABATEMENT, DEMOLITION, REMOVAL, AND DISPOSAL OF ALL HAZARDOUS MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA ASSEMBLY BILL 2791, THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE, ENVIRONMENTAL PROTECTION AGENCY AND ALL OTHER NATIONAL, STATE, COUNTY OR LOCAL AGENCY HAVING JURISDICTION OVER THE PROPERTY.
- 2) PROCEDURES:** DEMOLITION PROCEDURES SHALL STRICTLY ADHERE TO CHAPTER 44 OF THE UNIFORM CODE AND ALL OTHER APPLICABLE GOVERNMENT REGULATIONS. ALL REQUIRED WORK AND REPAIR OF DAMAGES ON OR OFF PUBLIC PROPERTY (ALLEYS, SIDEWALKS, CURBS, ETC.) OCCURRING AS A RESULT OF DEMOLITION PROCEDURES SHALL BE DONE ACCORDING TO GOVERNING REGULATIONS AND COORDINATED WITH EXISTING ADJOINING CONDITIONS.
- 3) OWNERS APPROVAL:** THE CONTRACTOR IS TO SECURE PERMISSION FROM THE OWNER PRIOR TO PERFORMING ANY WORK OR DEACTIVATING ANY UTILITIES.
- 4) DISPOSAL:** THE CONTRACTOR IS TO COMPLETELY REMOVE DEBRIS AND DEMOLISHED MATERIALS FROM THE JOB SITE AND DISPOSE OF IN A LAWFUL MANNER. THE CONTRACTOR TO VERIFY IF THE LOCAL AUTHORITY HAVING JURISDICTION HAS APPROVED THE HAULER AND PROCEED APPROPRIATELY.
- 5) DUST:** CONTRACTOR TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE JOB SITE.
- 6) PROTECTION OF PERSONS AND PROPERTY:** CONTRACTOR TO BARRICADE OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THIS WORK. CONTRACTOR TO PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY OPERATIONS UNDER THIS SECTION.
- 7) SITE ACCESS:** THE CONTRACTOR IS TO MAINTAIN ACCESS TO THE SITE AT ALL TIMES.
- 8) BARRICADES AND CONSTRUCTION FENCES:** THE CONTRACTOR IS TO PROVIDE A WOOD STUD AND PLYWOOD BARRICADE IN ALL AREAS WHERE ANY PORTION OF EXTERIOR OPENINGS ARE TO BE REMOVED, RELOCATED, OR REPLACED.
- 9) PROTECTION AND REPAIR OF EXISTING MATERIALS:** THE CONTRACTOR IS TO PROTECT ALL EXISTING MATERIALS THAT ARE TO REMAIN. CONTRACTOR TO REPAIR AND PATCH EXISTING MATERIALS DURING CONSTRUCTION WHERE REQUIRED AND MATCH NEW MATERIALS TO BE INSTALLED, SO THAT ALL DEMOLITION AND CONSTRUCTION ARE COMPATIBLE.
- 10) STRUCTURAL COORDINATION:** NO STRUCTURAL MEMBERS SHALL BE REMOVED WITHOUT A PERMIT AND APPROVED DRAWINGS FROM A STRUCTURAL ENGINEER.
- 11) STAIRS AND EXITS:** THE CONTRACTOR IS TO KEEP ALL STAIRS AND EMERGENCY EXITS CLEAR DURING DEMOLITION.
- 12) STORAGE ON ROOF OR FLOORS:** NO MATERIALS IN EXCESS OF THE ALLOWABLE LIVE LOAD SHALL BE STORED ON THE FLOOR OR ROOF.



**Laney LA**

PROJECT NAME  
GREENHILL RESIDENCE

PROJECT NUMBER  
23007

CLIENT  
LIZ & MARK GREENHILL

PROJECT ADDRESS  
124 4th STREET  
MANHATTAN BEACH, CA  
90266

ARCHITECT  
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LANEY LA, INC.  
725 CYPRESS AVE  
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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

**DEMO KEYNOTES**

- 01** REMOVE AND DISCARD THE EXISTING HOUSE, DECK, GARAGE, DRIVEWAY, AND EXISTING CONCRETE SLABS COMPLETELY.
- 02** EXISTING HARDSCAPE TO BE REMOVED.
- 03** EXISTING LANDSCAPE ELEMENTS TO BE REMOVED.
- 04** EXISTING SITE WALL TO BE REMOVED.
- 05** EXISTING NEIGHBORING WALL TO REMAIN AND PROTECTED.
- 06** EXISTING GAS AND WATER METERS TO BE RELOCATED. GC TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE PROVIDERS.
- 07** NOT IN USE.
- 08** NOT IN USE.
- 10** NOT IN USE.

**DEMO LEGEND**

- BUILDING TO BE DEMOLISHED
- WALL TO BE DEMOLISHED
- CONCRETE TO BE DEMOLISHED
- WOOD TO BE DEMOLISHED

PROJECT NO: 23007

MODEL FILE:  
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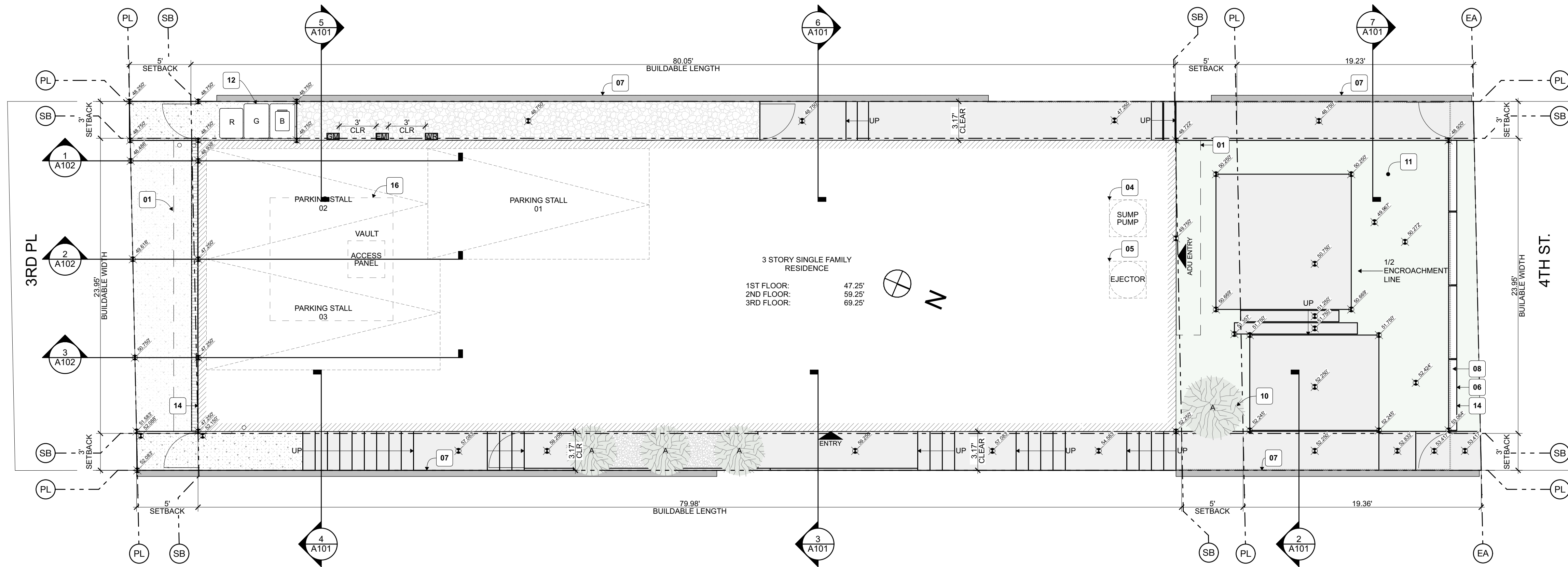
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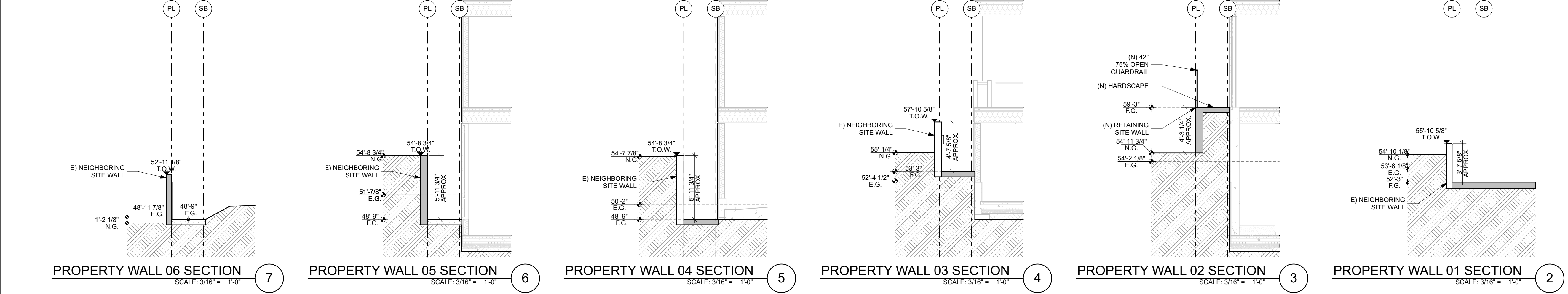
DEMOLITION PLAN

D01



**SITE PLAN**  
SCALE: 3/16" = 1'-0" 1

**PROPERTY LINE SECTIONS**



**PROPERTY WALL 06 SECTION** SCALE: 3/16" = 1'-0" 7  
**PROPERTY WALL 05 SECTION** SCALE: 3/16" = 1'-0" 6  
**PROPERTY WALL 04 SECTION** SCALE: 3/16" = 1'-0" 5  
**PROPERTY WALL 03 SECTION** SCALE: 3/16" = 1'-0" 4  
**PROPERTY WALL 02 SECTION** SCALE: 3/16" = 1'-0" 3  
**PROPERTY WALL 01 SECTION** SCALE: 3/16" = 1'-0" 2

**SITE PLAN PLAN KEYNOTES**

15 GAS LINE.	01 OUTLINE OF FLOOR ABOVE
16 10' x 10' MECHANICAL VAULT	02 CURB DAYLIGHT LOCATION.
17 NOT IN USE.	03 SEWER LATERAL - REFER TO CIVIL.
18 NOT IN USE.	04 SUMP PUMP.
19 NOT IN USE.	05 EJECTOR PIT.
20 NOT IN USE.	06 FENCE.
	07 NEIGHBORING (E) WALL.
	08 (N) SITE WALL
	09 NOT IN USE.
	10 NEW TREE - REFER TO PLANTING SCHEDULE.
	11 PLANTER - REFER TO LANDSCAPE PLAN.
	12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
	13 DOORBELL LOCATION.
	14 ADDRESS LOCATION.

**SITE PLAN NOTES**

- EXCAVATIONS, BACKFILL, AND COMPACTION REQUIREMENTS:** COMPLY WITH ALL REQUIREMENTS OF THE GEOTECHNICAL ENGINEERING REPORT, SOIL REPORT, AND/OR SHORING ENGINEERING. FOR ALL EXCAVATIONS, BACKFILL, AND COMPACTION.
- CONDITIONS DEVIATING FROM DRAWINGS OR GEOTECHNICAL/SOIL REPORTS:** IF, DURING EXCAVATION, SHORING, BACKFILL OR COMPACTION, ANY CONDITIONS ARE UNCOVERED THAT DEVIATE FROM WHAT IS SHOWN ON THE DRAWINGS, GEOTECHNICAL OR SOIL REPORT OR SHORING ENGINEERING (IF ANY) THAT IS OTHER THAN ANTICIPATED IN NORMAL CONSTRUCTION EXPERIENCE, IMMEDIATELY NOTIFY THE ARCHITECT.
- SETBACKS:** VERIFY THAT ALL CODE-REQUIRED SETBACKS AND HEIGHT LIMITATIONS ARE OBSERVED.
- PROTECTION OF PERSONS AND PROPERTY:** BARRICADE OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THIS WORK. PROTECT ALL ADJACENT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY OPERATIONS UNDER THIS SECTION.
- CONSTRUCTION FENCE:** PROVIDE A CONSTRUCTION FENCE TO PREVENT UNAUTHORIZED ENTRY ONTO THE CONSTRUCTION SITE AND THE PROTECTION OF STRUCTURES AND MATERIALS.
- UTILITIES:** COORDINATE THE LOCATION OF ALL NEW UTILITY CONNECTION POINTS AND METERS. PROTECT ALL EXISTING UTILITY SUPPLIES, CONNECTION POINTS AND METERS. ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEMS AND SIMILAR SERVICE WIRES AND CABLES SHALL BE INSTALLED UNDERGROUND IN COMPLIANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES. SAFETY REGULATIONS AND ORDERS, RULES OF THE PUBLIC UTILITIES COMMISSION OF THE STATE OF CALIFORNIA AND SPECIFICATIONS OR STANDARDS OF THE PUBLIC WORKS DEPARTMENTS. TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENT OF HEALTH SERVICES' CRITERIA FOR SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES."
- SEWER CLEAN-OUTS:** COORDINATE THE LOCATION OF ALL SEWER CLEAN-OUTS WITH THE ARCHITECT PRIOR TO PERFORMING ANY WORK.
- EXTERIOR PAVING (SEE ITEM 9 BELOW ADDITIONAL CRITERIA):** ALL EXTERIOR PAVING SHALL BE SLOPED TO DRAIN TO EITHER AREA DRAINS, THE STREET, OR ADJACENT PLANNING AREAS, DEPENDING ON THE LOCATION AND CONDITION. VERIFY FINISHED PAVING JOINTS FOR ALL EXTERIOR PAVING PRIOR TO PERFORMING ANY WORK. VERIFY THE QUANTITY AND LOCATION OF CONTROL JOINTS FOR ALL EXTERIOR PAVING PRIOR TO PERFORMING ANY WORK.
- STORM DRAINAGE/SUMP REQUIREMENT:** VERIFY WITH GOVERNING AGENCIES IF A STORM WATER URBAN MITIGATION PLAN (SUMUP) OR OTHER POLLUTION PREVENTION FILTERING SYSTEMS REQUIRED. ALL DOWNSPOUTS AND AREA DRAINS SHALL CONNECT INTO PVC DRAINAGE PIPES THAT TERMINATE AT THE SUMP OR TO THE STREET AS REQUIRED.
- PATIOS AND PORCHES AT OUT-SWINGING DOORS:** VERIFY THAT THE HEIGHT OF THE FINISH SURFACE WILL COMPLY WITH THE CODE-REQUIRED MAXIMUM ALLOWABLE HEIGHT DIFFERENCE OF 1" BETWEEN THE TOP OF THE THRESHOLD AND THE TOP OF THE EXTERIOR FINISH SURFACE. COORDINATE WITH THRESHOLD DETAIL AND FINISH SURFACE MATERIAL INSTALLATION PROCEDURE. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK IF THE CONDITION DOES NOT COMPLY WITH THE CODE.
- YARD WALLS:** VERIFY THAT ALL NEW YARD WALLS COMPLY WITH ZONING CODE HEIGHT LIMITATIONS.
- FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS:** AS FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, THERE MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK AND 72" AT ALL OTHER LOCATIONS ON SITE (36" IN THE DRIVEWAY VISIBILITY TRIANGLE (SEE ITEM 17) AND IN TRAFFIC VISION CLEARANCE TRIANGLE.
- CURB CUTS AND SIDEWALKS:** THE CONTRACTOR IS REQUIRED TO OBTAIN A SEPARATE PERMIT FOR ALL CURB CUTS AND SIDEWALK CONSTRUCTION. CONSTRUCT ALL NEW CURB CUTS AND SIDEWALKS PER APPROVED CITY ENGINEERING PRO PUBLIC WORKS DEPARTMENT REQUIREMENTS.
- LANDSCAPE COORDINATION:** PROVIDE AND COORDINATE ALL REQUIRED WATER SUPPLY AND POWER OUTLETS REQUIRED FOR THE LANDSCAPE IRRIGATION SYSTEM.
- ELECTRICAL AND GAS METER:** PROVIDE 200 AMPS. ELECTRICAL PANEL UNDER SEPARATE PERMIT. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE ELECTRICAL COMPANY FOR DETAILS. PROVIDE GAS METER WITH APPROVED SEISMIC GAS SHUTOFF VALVE. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE GAS COMPANY FOR DETAILS.
- DRIVEWAY VISIBILITY:** VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTION THE STREET PROPERTY LINE, WHICHEVER IS LESS (M.B.M.C. 10.64.150).
- SHORING:** IF REQUIRED, TO BE UNDER SEPARATE PERMIT PREPARED BY CIVIL ENGINEERING PRIOR TO CONSTRUCTION.
- SEPARATE PERMITS:** SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAPS OF EXISTING BUILDS, SHORING, AND RETAINING WALLS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- DRIVEWAY PROFILE NOTE:** DRIVEWAY PROFILES EXCEEDING 9% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 12.5% ARE NOT PERMITTED.
- TREE PROTECTION:** ROOTS 2 INCHES OR MORE IN DIAMETER CANNOT BE CUT IN ORDER TO PRESERVE THE TREE.
- EROSION PROTECTION NOTE:** APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE PLACED AT THE END OF EACH DAY'S WORK.
- PROTECTION OF EXISTING PLANTING AND TREES:** ALL EXISTING PLANT MATERIAL AND TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED TO THE DRIP LINE DURING DEMOLITION AND CONSTRUCTION. ANY PLANTING OR TREES THAT ARE DAMAGED OR KILLED SHALL BE REPLACED AT NO COST TO THE OWNER.
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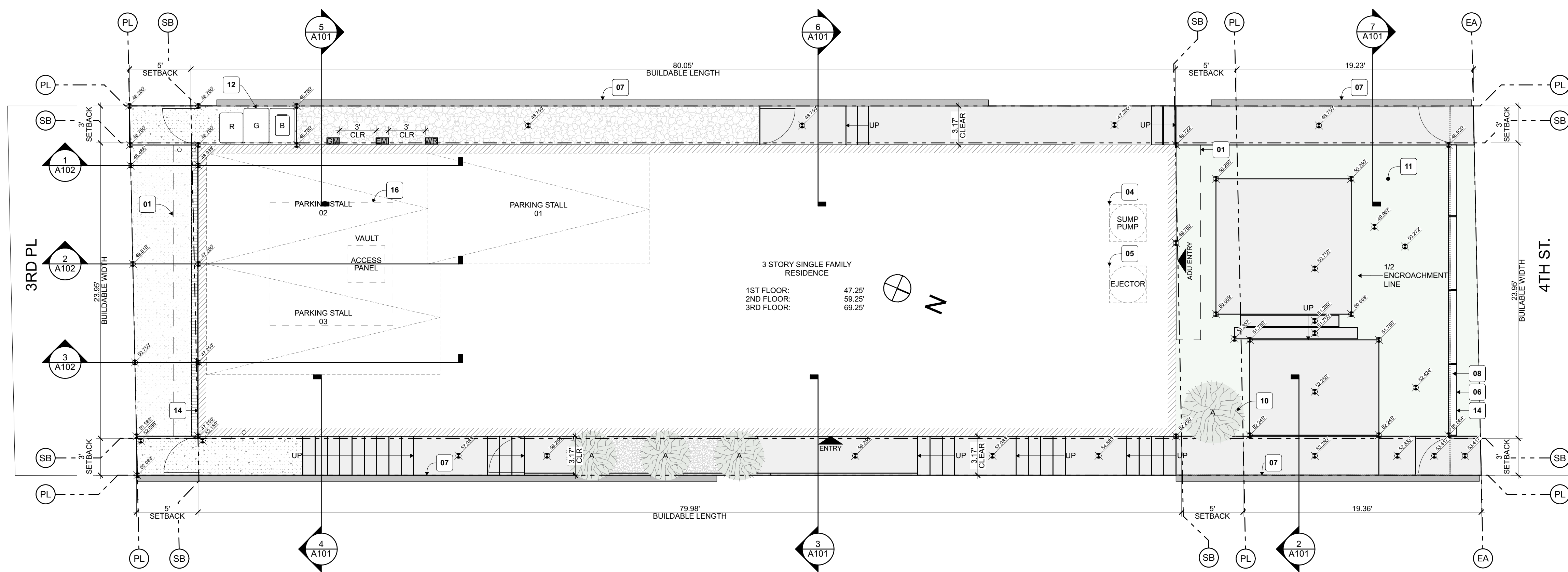
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**SHEET TITLE**

**SITE PLAN**

**A101**



**SITE PLAN**  
 SCALE: 3/16" = 1'-0" 4

**SITE PLAN NOTES**

- 1) **EXCAVATIONS, BACKFILL, AND COMPACTION REQUIREMENTS:**  
 COMPLY WITH ALL REQUIREMENTS OF THE GEOTECHNICAL ENGINEERING REPORT, SOIL REPORT, AND/OR SHORING ENGINEERING. FOR ALL EXCAVATIONS, BACKFILL, AND COMPACTION.
- 2) **CONDITIONS DEVIATING FROM DRAWINGS OR GEOTECHNICAL/SOIL REPORTS:**  
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- 3) **SETBACKS:**  
 VERIFY THAT ALL CODE-REQUIRED SETBACKS AND HEIGHT LIMITATIONS ARE OBSERVED.
- 4) **PROTECTION OF PERSONS AND PROPERTY:**  
 BARRICADE OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THIS WORK. PROTECT ALL ADJACENT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY OPERATIONS UNDER THIS SECTION.
- 5) **CONSTRUCTION FENCE:**  
 PROVIDE A CONSTRUCTION FENCE TO PREVENT UNAUTHORIZED ENTRY ONTO THE CONSTRUCTION SITE AND THE PROTECTION OF STRUCTURES AND MATERIALS.
- 6) **UTILITIES:**  
 COORDINATE THE LOCATION OF ALL NEW UTILITY CONNECTION POINTS AND METERS. PROTECT ALL EXISTING UTILITY SUPPLIES, CONNECTION POINTS AND METERS. ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEMS AND SIMILAR SERVICE WIRES AND CABLES SHALL BE INSTALLED UNDERGROUND IN COMPLIANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES. SAFETY REGULATIONS AND ORDERS, RULES OF THE PUBLIC UTILITIES COMMISSION OF THE STATE OF CALIFORNIA AND SPECIFICATIONS OR STANDARDS OF THE PUBLIC WORKS DEPARTMENTS. TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENT OF HEALTH SERVICES' CRITERIA FOR SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES."
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- 9) **STORM DRAINAGE/SUSMP REQUIREMENT:**  
 VERIFY WITH GOVERNING AGENCIES IF A STORM WATER URBAN MITIGATION PLAN (SUSMP) OR OTHER POLLUTION PREVENTION FILTERING SYSTEMS REQUIRED. ALL DOWNSPOUTS AND AREA DRAINS SHALL CONNECT INTO PVC DRAINAGE PIPES THAT TERMINATE AT THE SUSMP OR TO THE STREET AS REQUIRED.
- 10) **PATIOS AND PORCHES AT OUT-SWINGING DOORS:**  
 VERIFY THAT THE HEIGHT OF THE FINISH SURFACE WILL COMPLY WITH THE CODE-REQUIRED MAXIMUM ALLOWABLE HEIGHT DIFFERENCE OF 1" BETWEEN THE TOP OF THE THRESHOLD AND THE TOP OF THE EXTERIOR FINISH SURFACE. COORDINATE WITH THRESHOLD DETAIL AND FINISH SURFACE MATERIAL INSTALLATION PROCEDURE. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK IF THE CONDITION DOES NOT COMPLY WITH THE CODE.
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- 12) **FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS:**  
 AS FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, THERE MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK AND 72" AT ALL OTHER LOCATIONS ON SITE (36" IN THE DRIVEWAY VISIBILITY TRIANGLE (SEE ITEM 17) AND IN TRAFFIC VISION CLEARANCE TRIANGLE).
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- 14) **LANDSCAPE COORDINATION:**  
 PROVIDE AND COORDINATE ALL REQUIRED WATER SUPPLY AND POWER OUTLETS REQUIRED FOR THE LANDSCAPE IRRIGATION SYSTEM.
- 15) **ELECTRICAL AND GAS METER:**  
 PROVIDE 200 AMPS. ELECTRICAL PANEL UNDER SEPARATE PERMIT. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE ELECTRICAL COMPANY FOR DETAILS. PROVIDE GAS METER WITH APPROVED SEMIC GAS SHUTOFF VALVE. PROVIDE 36" OFFSET FROM ELECTRICAL METER. CONSULT THE GAS COMPANY FOR DETAILS.
- 17) **DRIVEWAY VISIBILITY:**  
 VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTION THE STREET PROPERTY LINE, WHICHEVER IS LESS (MIMC 10.64.150).
- 18) **SHORING:**  
 IF REQUIRED, TO BE UNDER SEPARATE PERMIT PREPARED BY CIVIL ENGINEERING PRIOR TO CONSTRUCTION.
- 19) **SEPARATE PERMITS:**  
 SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAPS OF EXISTING BUILDS, SHORING, AND RETAINING WALLS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- 20) **DRIVEWAY PROFILE NOTE:**  
 DRIVEWAY PROFILES EXCEEDING 9% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 12.5% ARE NOT PERMITTED.
- 21) **TREE PROTECTION:**  
 ROOTS 2 INCHES OR MORE IN DIAMETER CANNOT BE CUT IN ORDER TO PRESERVE THE TREE.
- 22) **EROSION PROTECTION NOTE:**  
 APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE PLACED AT THE END OF EACH DAY'S WORK.
- 23) **PROTECTION OF EXISTING PLANTING AND TREES:**  
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- 24) **PROTECTION OF EXISTING STRUCTURES:**  
 ALL EXISTING STRUCTURES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. ANY FINISHES THAT ARE REMOVED OR OTHERWISE DAMAGED SHALL BE REPLACED AT NO COST TO THE OWNER.



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**SHEET TITLE**

**DRIVEWAY PROFILES**

**A102**





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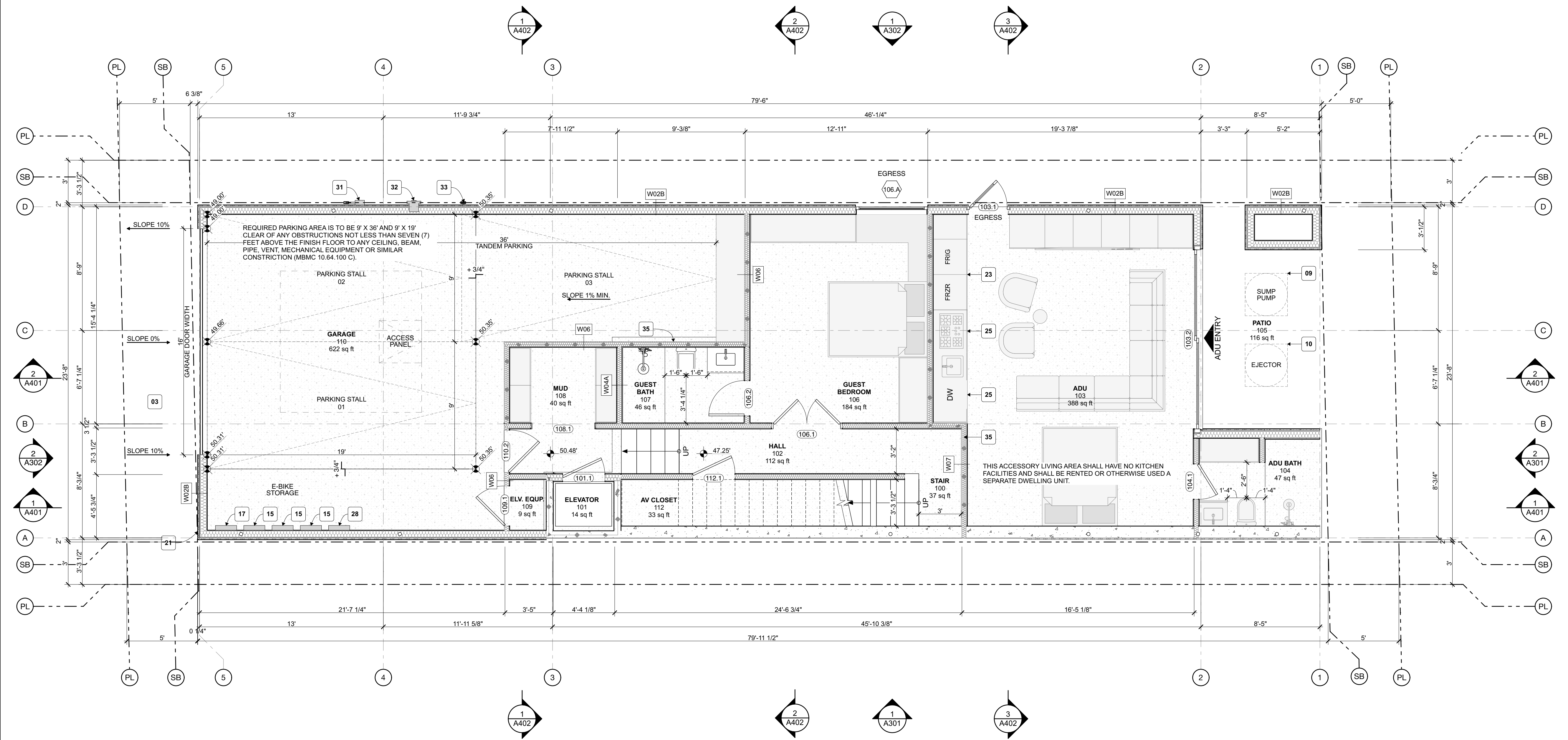
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FLOOR/ROOF PLAN NOTES

- 1) EXTERIOR WOOD STUD SIZE:  
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2x6 @ 16" O.C. - CBC SECTION 2302.1.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- 2) TYPE-X FIRE RESISTANT GYP BOARD:  
ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- 3) EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:  
ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- 4) PARKING STALL CLEARANCE:  
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- 5) CHIMNEY HEIGHT:  
CHIMNEYS NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3" IN WIDTH AND 5' IN LENGTH.
- 6) HEIGHT LIMIT:  
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 7) MEANS OF EGRESS:  
DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7' SQ FT CLEAR MINIMUM.
- 8) EGRESS GATE:  
THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 9) SHOWER WALL SURFACE:  
SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET (R307.2 CRC).
- 10) DOORBELL:  
THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- 11) DRAINAGE:  
ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.
- 12) MOISTURE BARRIERS:  
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.



1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0" ①

LEGEND

- 29 FIRE PIT.
- 30 GUTTER.
- 31 WATER METER.
- 32 ELECTRIC METER.
- 33 GAS METER.
- 34 WATER HEATER.
- 35 1-HR FIRE RATED WALL & SLAB.
- 36 10' x 10' MECHANICAL VAULT.
- 37 ONE BATHROOM SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT. REINFORCEMENT SHALL BE NOMINAL 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32 INCHES AND 39.5 INCHES ABOVE THE FINISHED FLOOR. PROVIDE DETAILS PER CRC R327.1.1.

FLOOR/ROOF PLAN KEYNOTES

- 15 ELECTRICAL SUB PANEL.
- 16 NEW TREE - REFER TO PLANTING SCHEDULE.
- 17 SOLAR RACEWAY.
- 18 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT.
- 19 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.
- 20 DOORBELL LOCATION.
- 21 ADDRESS LOCATION.
- 22 RANGE.
- 23 REFRIGERATOR/FREEZER.
- 24 WASHER/DRYER.
- 25 DISHWASHER.
- 26 (E) GRADE.
- 27 NEIGHBORING GRADE.
- 28 TESLA BATTERY BACKUP.

- 01 DRAIN - REFER TO CIVIL.
- 02 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.
- 03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- 04 42" MINIMUM HIGH GUARDRAIL.
- 05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- 06 GEOTHERMAL HVAC CONDENSER
- 07 FAN COIL UNIT.
- 08 WATER HEATER.
- 09 SUMP PUMP.
- 10 EJECTOR PIT.
- 11 SCUPPER LOCATION.
- 12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 13 ELECTRICAL VEHICLE CHARGER.
- 14 SOLAR PANELS.

PROJECT NO: 23007

MODEL FILE:  
23007 - 124 4th Street - Greenhill.pln

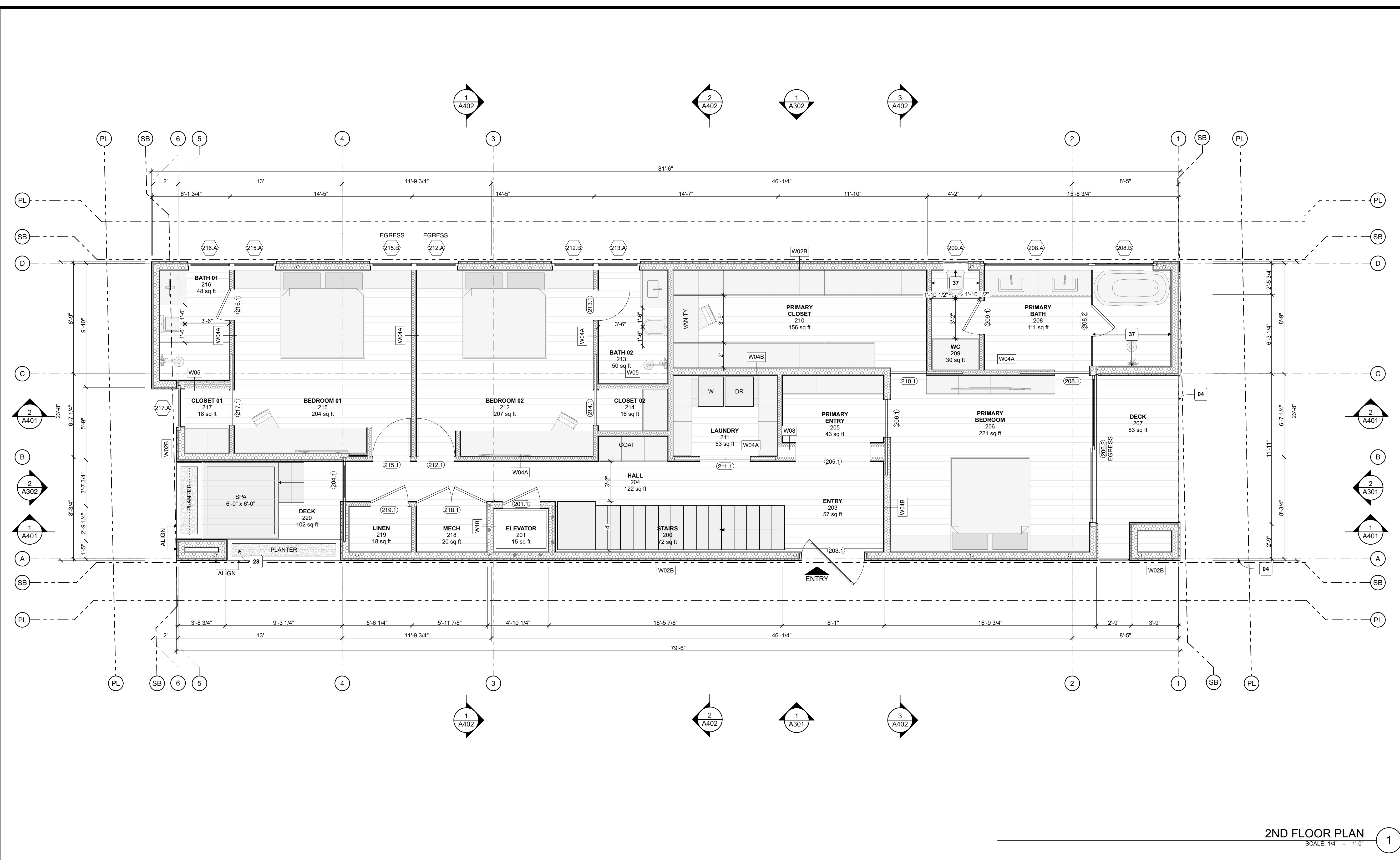
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SHEET TITLE

1ST FLOOR PLAN

A201



2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR/ROOF PLAN NOTES

- 1) EXTERIOR WOOD STUD SIZE: ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2302.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- 2) TYPE-X FIRE RESISTANT GYP BOARD: ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- 3) EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE: ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- 4) PARKING STALL CLEARANCE: THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- 5) CHIMNEY HEIGHT: CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.
- 6) HEIGHT LIMIT: PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 7) MEANS OF EGRESS: DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- 8) EGRESS GATE: THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 9) SHOWER WALL SURFACE: SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET [R307.2 CRC].
- 10) DOORBELL: THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- 11) DRAINAGE: ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.
- 12) MOISTURE BARRIERS: IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.



Laney LA

PROJECT NAME  
GREENHILL RESIDENCE

PROJECT NUMBER  
23007

CLIENT  
LIZ & MARK GREENHILL

PROJECT ADDRESS  
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90266

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
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HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

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2ND FLOOR PLAN

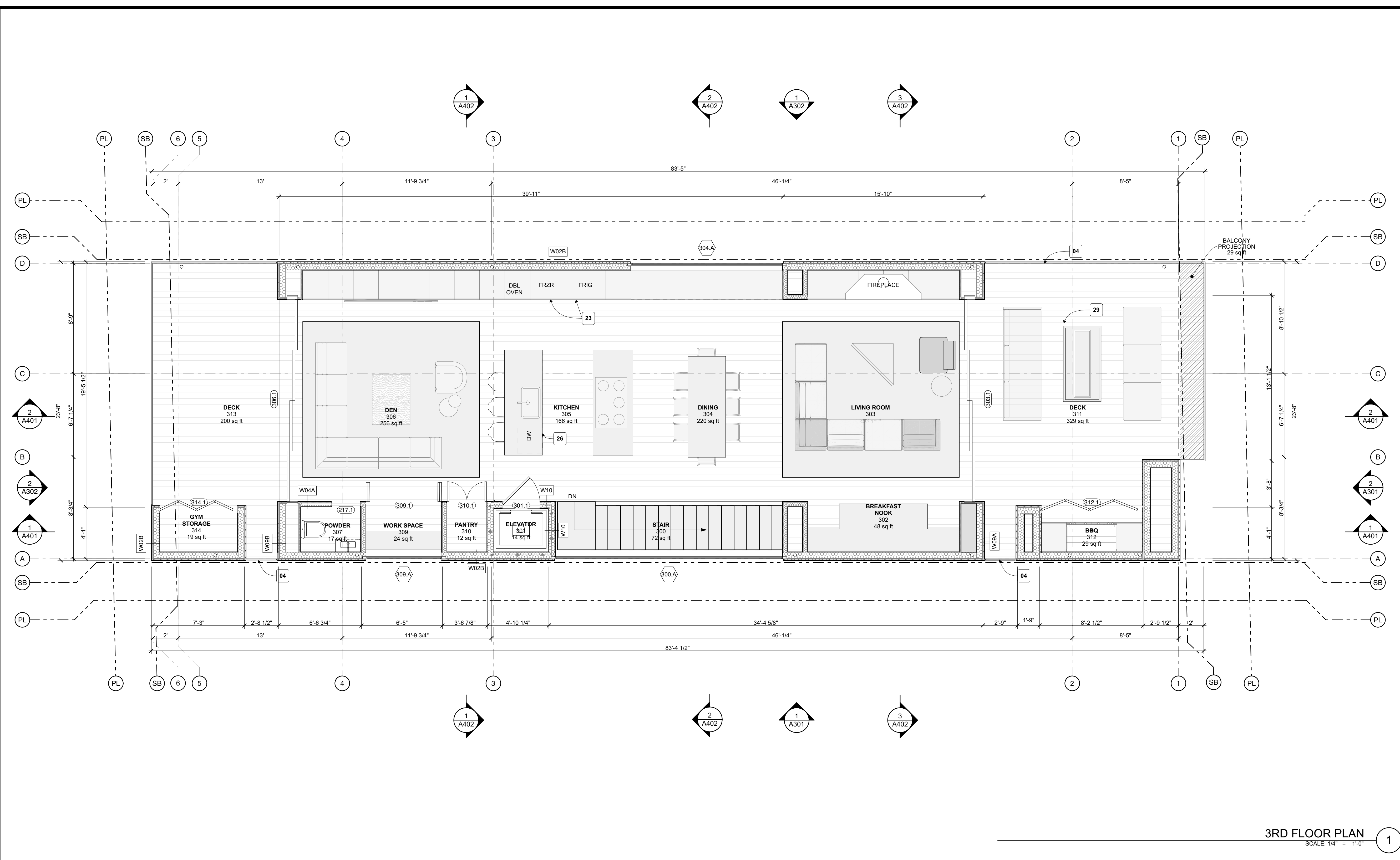
A202

LEGEND

- 29 FIREPIT.
- 30 GUTTER.
- 31 WATER METER.
- 32 ELECTRIC METER.
- 33 GAS METER.
- 34 WATER HEATER.
- 35 1-HR FIRE RATED WALL & SLAB.
- 36 10' x 10' MECHANICAL VAULT.
- 37 ONE BATHROOM SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT. REINFORCEMENT SHALL BE NOMINAL 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32 INCHES AND 38 5/8 INCHES ABOVE THE FINISHED FLOOR. PROVIDE DETAILS PER CRC R327.1.1

FLOOR/ROOF PLAN KEYNOTES

- 15 ELECTRICAL SUB PANEL.
- 16 NEW TREE - REFER TO PLANTING SCHEDULE.
- 17 SOLAR RACEWAY.
- 18 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT.
- 19 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.
- 20 DOORBELL LOCATION.
- 21 ADDRESS LOCATION.
- 22 RANGE.
- 23 REFRIGERATOR/FREEZER.
- 24 WASHER/DRYER.
- 25 DISHWASHER.
- 26 (E) GRADE.
- 27 NEIGHBORING GRADE.
- 28 TESLA BATTERY BACKUP.
- 01 DRAIN - REFER TO CIVIL.
- 02 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.
- 03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- 04 42" MINIMUM HIGH GUARDRAIL.
- 05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- 06 GEOTHERMAL HVAC CONDENSER
- 07 FAN COIL UNIT.
- 08 WATER HEATER.
- 09 SUMP PUMP.
- 10 EJECTOR PIT.
- 11 SCUPPER LOCATION.
- 12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 13 ELECTRICAL VEHICLE CHARGER.
- 14 SOLAR PANELS.



3RD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR/ROOF PLAN NOTES

- 1) EXTERIOR WOOD STUD SIZE:  
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2302.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- 2) TYPE-X FIRE RESISTANT GYP BOARD:  
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- 3) EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:  
ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- 4) PARKING STALL CLEARANCE:  
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- 5) CHIMNEY HEIGHT:  
CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.
- 6) HEIGHT LIMIT:  
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 7) MEANS OF EGRESS:  
DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- 8) EGRESS GATE:  
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- 12) MOISTURE BARRIERS:  
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.



Laney LA

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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

MODEL FILE:  
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3RD FLOOR PLAN

A203

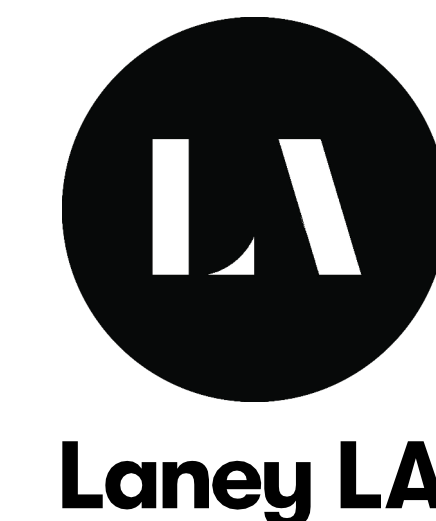
LEGEND

FLOOR/ROOF PLAN KEYNOTES

- |  |  |   |
|--|--|---|
| <ul style="list-style-type: none"> <li>29 FIREPIT.</li> <li>30 GUTTER.</li> <li>31 WATER METER.</li> <li>32 ELECTRIC METER.</li> <li>33 GAS METER.</li> <li>34 WATER HEATER.</li> <li>35 1-HR FIRE RATED WALL &amp; SLAB.</li> <li>36 10' x 10' MECHANICAL VAULT.</li> <li>37 ONE BATHROOM SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT. REINFORCEMENT SHALL BE NOMINAL 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32 INCHES AND 39.5 INCHES ABOVE THE FINISHED FLOOR. PROVIDE DETAILS PER CRC R327.1.1</li> </ul> | <ul style="list-style-type: none"> <li>15 ELECTRICAL SUB PANEL.</li> <li>16 NEW TREE - REFER TO PLANTING SCHEDULE.</li> <li>17 SOLAR RACEWAY.</li> <li>18 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT.</li> <li>19 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.</li> <li>20 DOORBELL LOCATION.</li> <li>21 ADDRESS LOCATION.</li> <li>22 RANGE.</li> <li>23 REFRIGERATOR/FREEZER.</li> <li>24 WASHER/DRYER.</li> <li>25 DISHWASHER.</li> <li>26 (E) GRADE.</li> <li>27 NEIGHBORING GRADE.</li> <li>28 TESLA BATTERY BACKUP.</li> </ul> | <ul style="list-style-type: none"> <li>01 DRAIN - REFER TO CIVIL.</li> <li>02 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.</li> <li>03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.</li> <li>04 42" MINIMUM HIGH GUARDRAIL.</li> <li>05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.</li> <li>06 GEOTHERMAL HVAC CONDENSER</li> <li>07 FAN COIL UNIT.</li> <li>08 WATER HEATER.</li> <li>09 SUMP PUMP.</li> <li>10 EJECTOR PIT.</li> <li>11 SCUPPER LOCATION.</li> <li>12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.</li> <li>13 ELECTRICAL VEHICLE CHARGER.</li> <li>14 SOLAR PANELS.</li> </ul> |
|--|--|---|

FLOOR/ROOF PLAN NOTES

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- 12) MOISTURE BARRIERS: IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR. - CRC SEC R109.1.5.3.



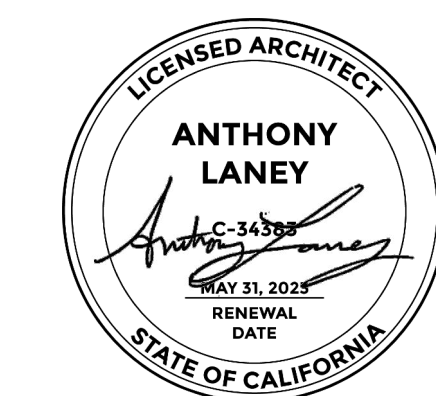
PROJECT NAME  
GREENHILL RESIDENCE

PROJECT NUMBER  
23007

CLIENT  
LIZ & MARK GREENHILL

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ARCHITECT  
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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

MODEL FILE:  
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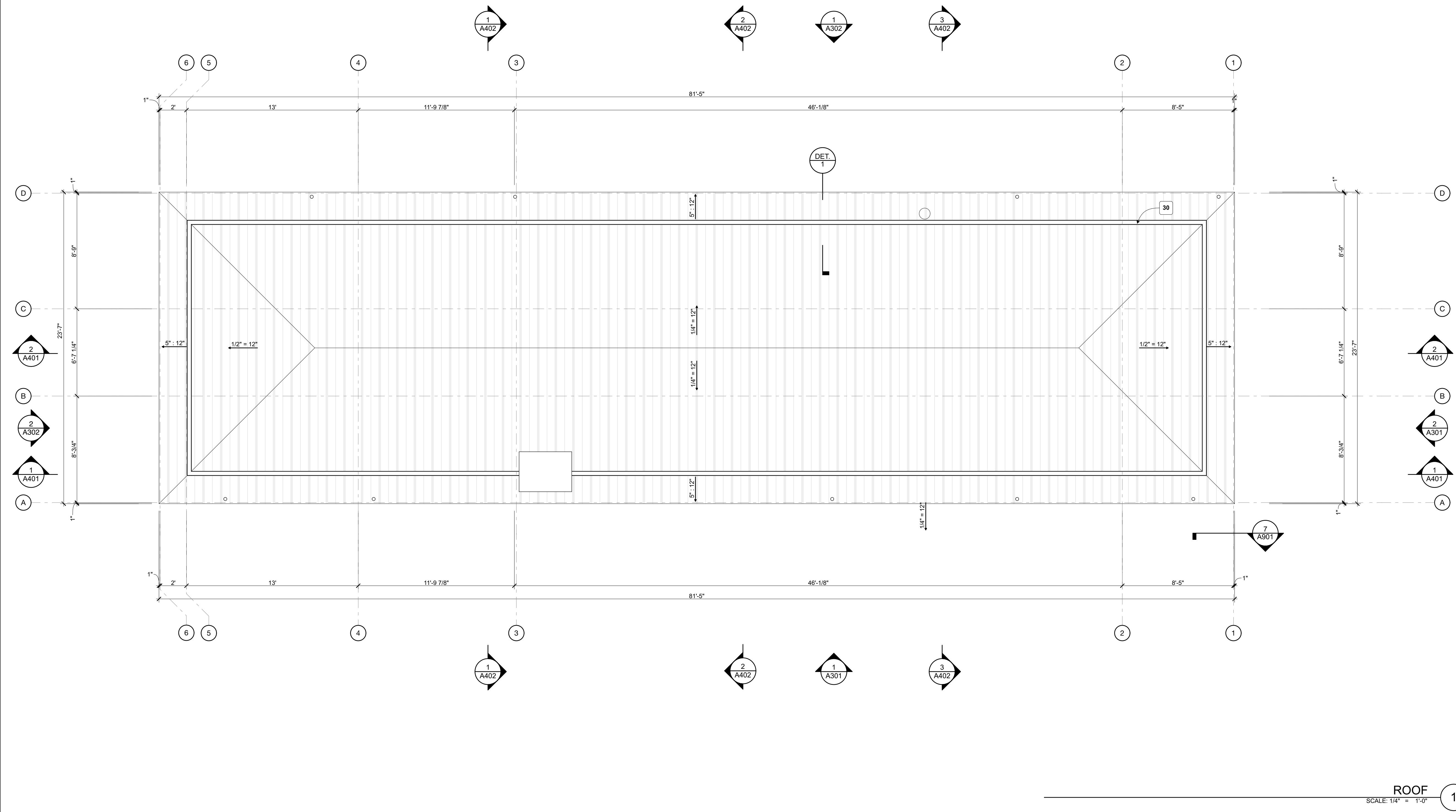
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ROOF PLAN PLAN

**A204**

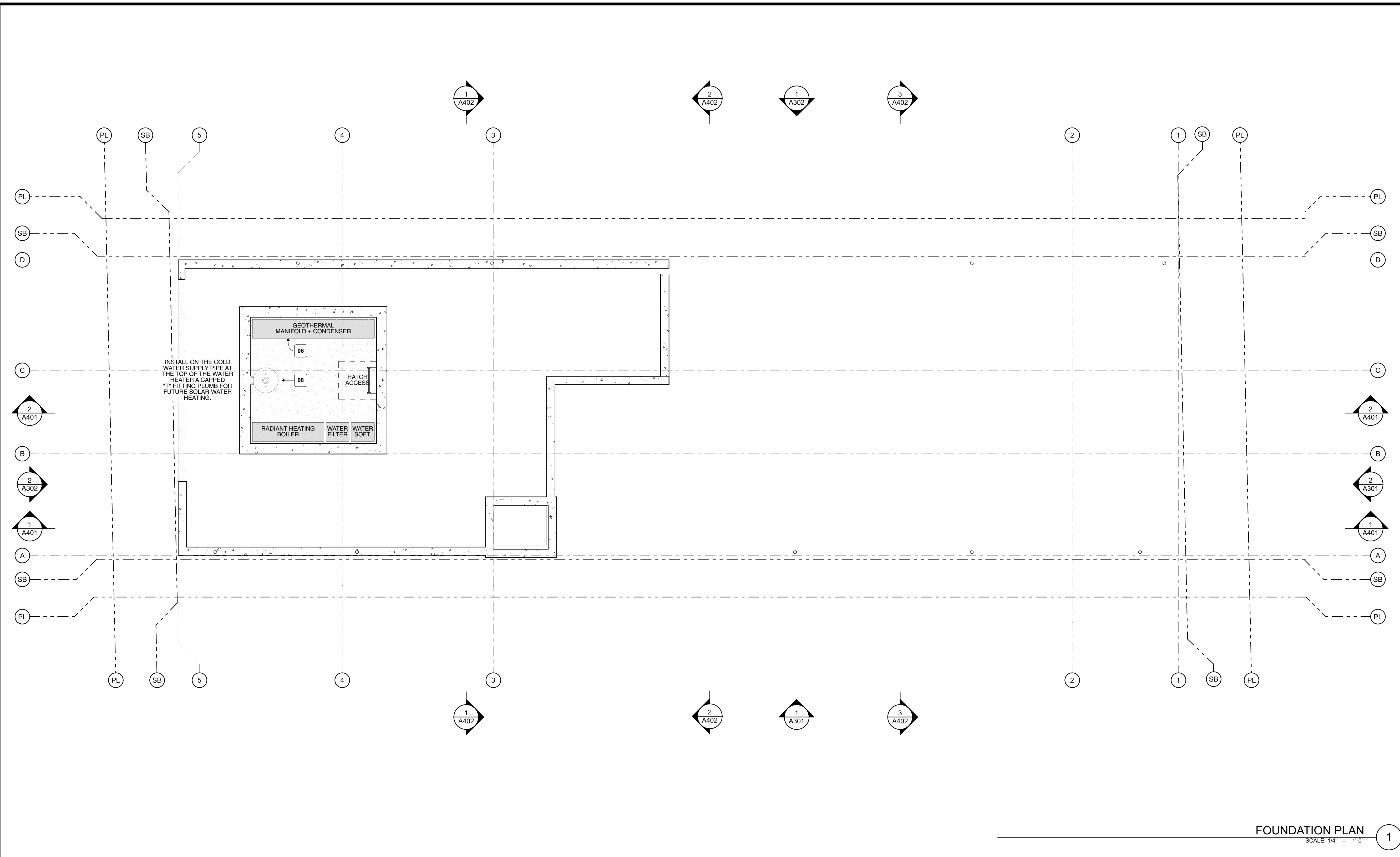


ROOF  
SCALE: 1/4" = 1'-0" 1

LEGEND

FLOOR/ROOF PLAN KEYNOTES

- |   |   |  |
|---|---|--|
| <p>29 FIREPIT.</p> <p>30 GUTTER.</p> <p>31 WATER METER.</p> <p>32 ELECTRIC METER.</p> <p>33 GAS METER.</p> <p>34 WATER HEATER.</p> <p>35 1-HR FIRE RATED WALL &amp; SLAB.</p> <p>36 10' x 10' MECHANICAL VAULT.</p> <p>37 ONE BATHROOM SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT. REINFORCEMENT SHALL BE NOMINAL 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32 INCHES AND 39 5/8 INCHES ABOVE THE FINISHED FLOOR. PROVIDE DETAILS PER CRC R327.1.1</p> | <p>15 ELECTRICAL SUB PANEL.</p> <p>16 NEW TREE - REFER TO PLANTING SCHEDULE.</p> <p>17 SOLAR RACEWAY.</p> <p>18 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT.</p> <p>19 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.</p> <p>20 DOORBELL LOCATION.</p> <p>21 ADDRESS LOCATION.</p> <p>22 RANGE.</p> <p>23 REFRIGERATOR/FREEZER.</p> <p>24 WASHER/DRYER.</p> <p>25 DISHWASHER.</p> <p>26 (E) GRADE.</p> <p>27 NEIGHBORING GRADE.</p> <p>28 TESLA BATTERY BACKUP.</p> | <p>01 DRAIN - REFER TO CIVIL.</p> <p>02 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.</p> <p>03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.</p> <p>04 42" MINIMUM HIGH GUARDRAIL.</p> <p>05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.</p> <p>06 GEOTHERMAL HVAC CONDENSER</p> <p>07 FAN COIL UNIT.</p> <p>08 WATER HEATER.</p> <p>09 SUMP PUMP.</p> <p>10 EJECTOR PIT.</p> <p>11 SCUPPER LOCATION.</p> <p>12 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.</p> <p>13 ELECTRICAL VEHICLE CHARGER.</p> <p>14 SOLAR PANELS.</p> |
|---|---|--|



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0" ①

FLOOR/ROOF PLAN NOTES

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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

MODEL FILE:  
23007 - 124 4th Street - Greenhill.pln

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SHEET TITLE

FOUNDATION PLAN

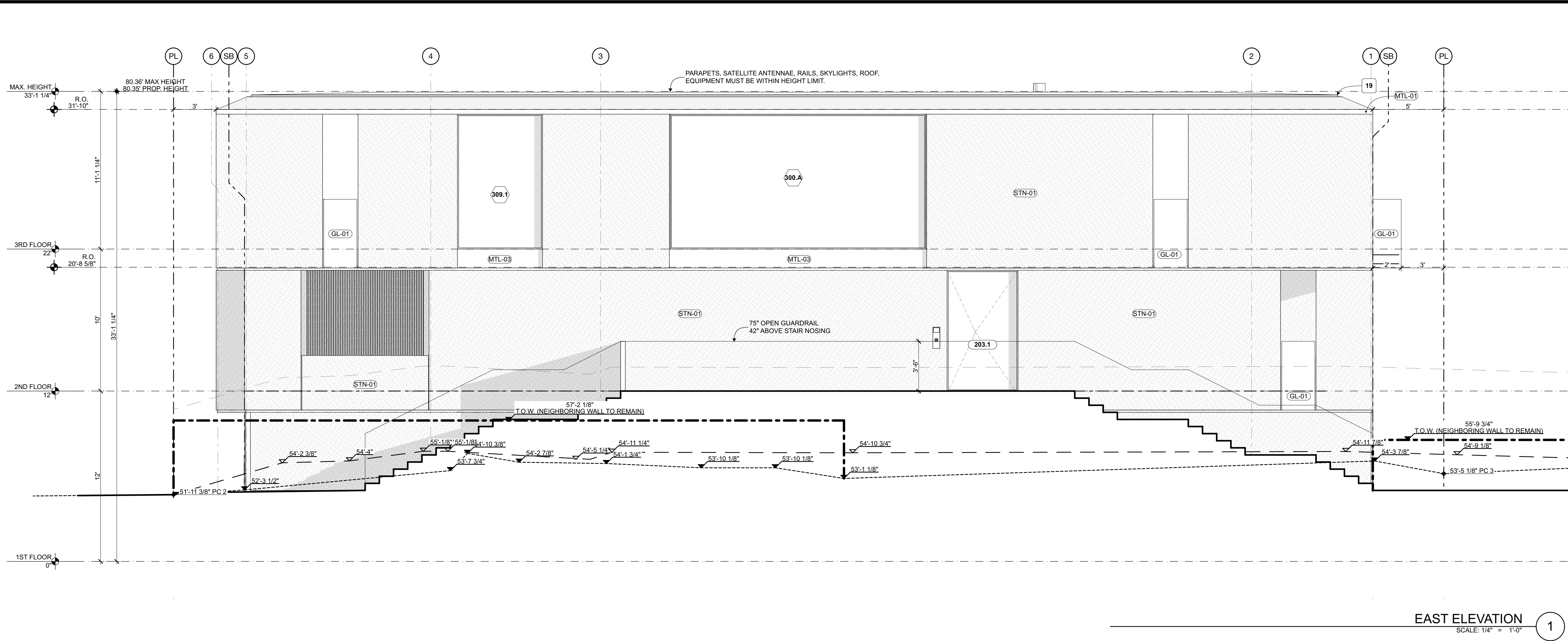
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LEGEND

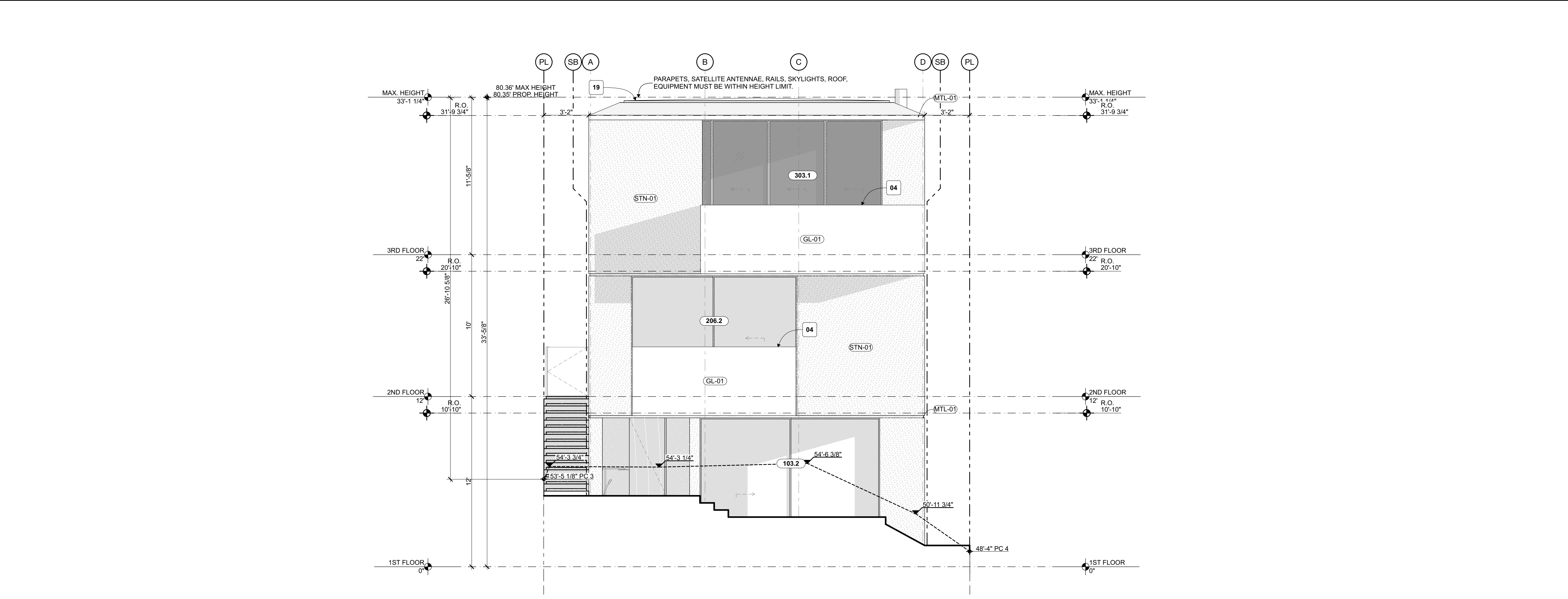
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FLOOR/ROOF PLAN KEYNOTES

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- 01 DRAIN - REFER TO CIVIL.
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- 07 FAN COIL UNIT.
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**EAST ELEVATION**  
SCALE: 1/4" = 1'-0" 1



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0" 2

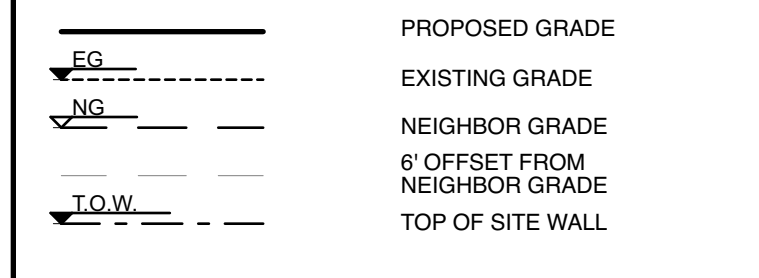
**ELEVATION NOTES**

- 1) EXTERIOR WOOD STUD SIZE: ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2x6 @ 16" O.C. - CBC SECTION 2301.1.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- 2) TYPE-X FIRE RESISTANT GYP BOARD: ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- 3) EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE: ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- 4) PARKING STALL CLEARANCE: THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- 5) CHIMNEY HEIGHT: CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3" IN WIDTH AND 5" IN LENGTH.
- 6) HEIGHT LIMIT: PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 7) MEANS OF EGRESS: DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- 8) EGRESS GATE: THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 9) SHOWER WALL SURFACE: SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET [R307.2 CRC].
- 10) DOORBELL: THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- 11) DRAINAGE: ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2' ABOVE THE DRAIN SURFACE.
- 12) MOISTURE BARRIERS: IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.

**ELEVATION KEYNOTES**

- 01 DRAIN - REFER TO CIVIL.
- 02 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.
- 03 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- 04 42" MINIMUM HIGH GUARDRAIL.
- 05 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- 06 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL.
- 07 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 08 ELECTRICAL VEHICLE CHARGER.
- 09 SOLAR PANELS.
- 10 EXISTING TREE TO REMAIN.
- 11 NEW TREE - REFER TO PLANTING SCHEDULE.
- 12 EMERGENCY EXIT LADDER TO GRADE.
- 13 DOORBELL LOCATION.
- 14 ADDRESS LOCATION.
- 15 (E) GRADE
- 16 NEIGHBOR GRADE
- 17 12" HEIGHT GUARDRAIL ABOVE 30" HEIGHT PLANTER
- 18 FIREPIT
- 19 GUTTER

**ELEVATION LEGENDS**



**FINISH SCHEDULE**

FINISH TAG	DESCRIPTION
GL-01	TEMPERED GLASS
MTL-01	BRASS
MTL-02	STANDING SEAM METAL ROOF
MTL-03	INTERIOR METAL CEILING TBD



**PROJECT NAME**  
GREENHILL RESIDENCE

**PROJECT NUMBER**  
23007

**CLIENT**  
LIZ & MARK GREENHILL

**PROJECT ADDRESS**  
124 4th STREET  
MANHATTAN BEACH, CA  
90266

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

**PROJECT NO:** 23007

**MODEL FILE:**  
23007 - 124 4th Street - Greenhill.pln

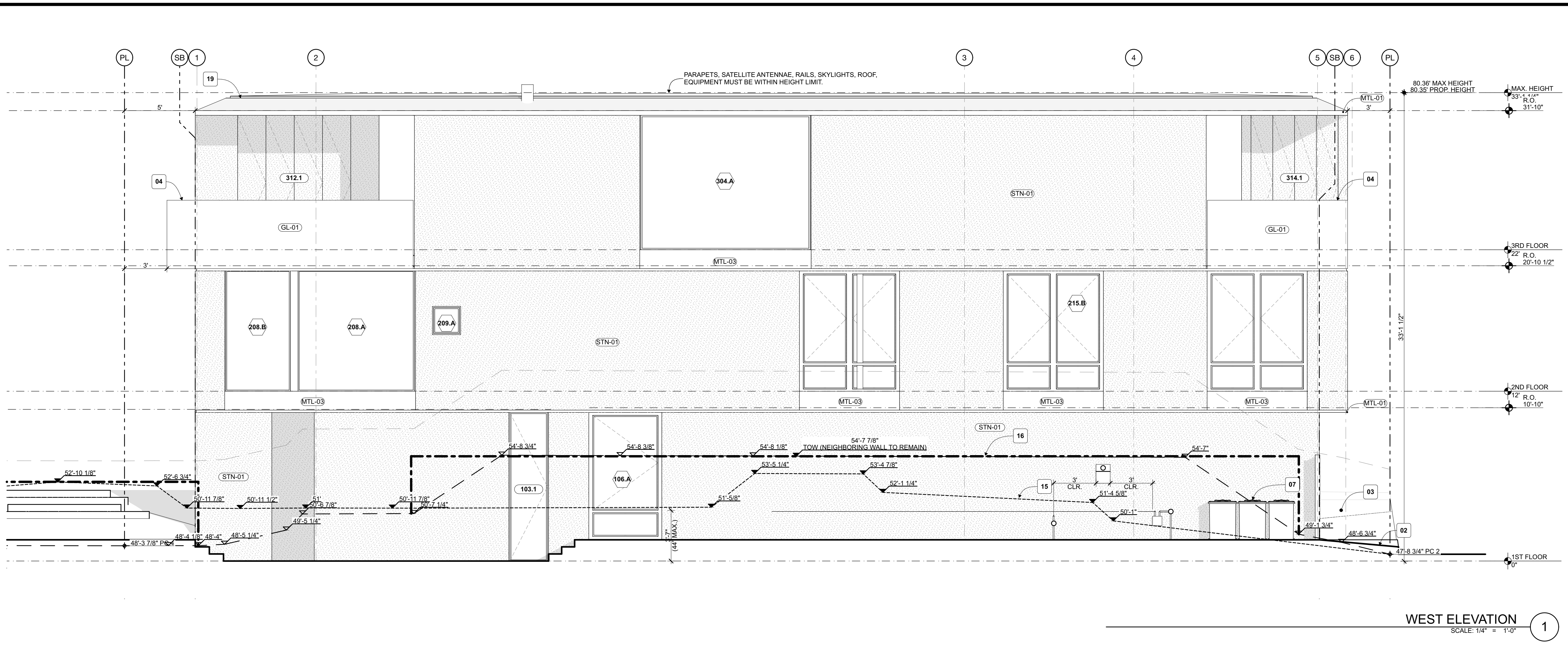
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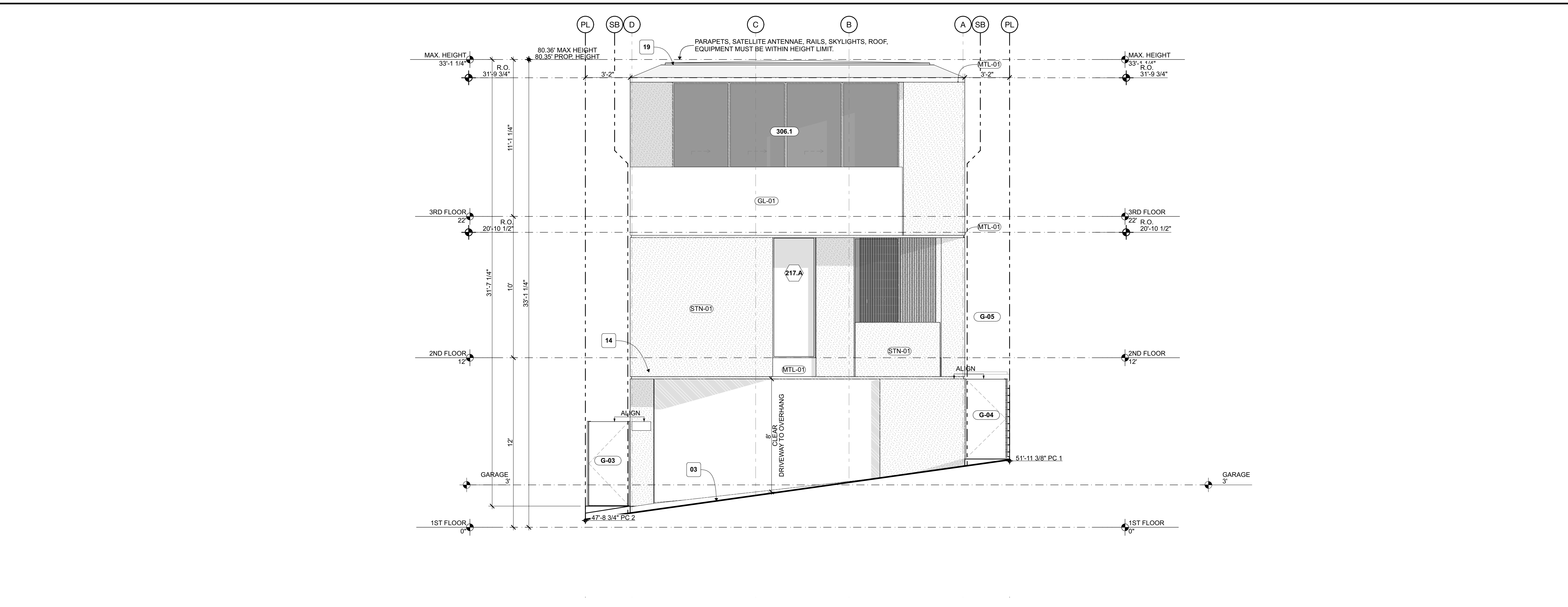
**SHEET TITLE**

**ELEVATIONS**

**A301**



WEST ELEVATION  
SCALE: 1/4" = 1'-0" 1



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0" 2

ELEVATION NOTES

- 1) EXTERIOR WOOD STUD SIZE: ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2x6 @ 16" O.C. - CBC SECTION 2302.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
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- 4) PARKING STALL CLEARANCE: THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
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- 12) MOISTURE BARRIERS: IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.

ELEVATION KEYNOTES

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- 18 FIREPIT
- 19 GUTTER

ELEVATION LEGENDS

- |       |                               |
|-------|-------------------------------|
| EG    | PROPOSED GRADE                |
| EG    | EXISTING GRADE                |
| NG    | NEIGHBOR GRADE                |
| ---   | 6' OFFSET FROM NEIGHBOR GRADE |
| T.O.W | TOP OF SITE WALL              |

FINISH SCHEDULE

FINISH TAG	DESCRIPTION
GL-01	TEMPERED GLASS
MTL-01	BRASS
MTL-02	STANDING SEAM METAL ROOF
MTL-03	INTERIOR METAL CEILING TBD



Laney LA

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MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

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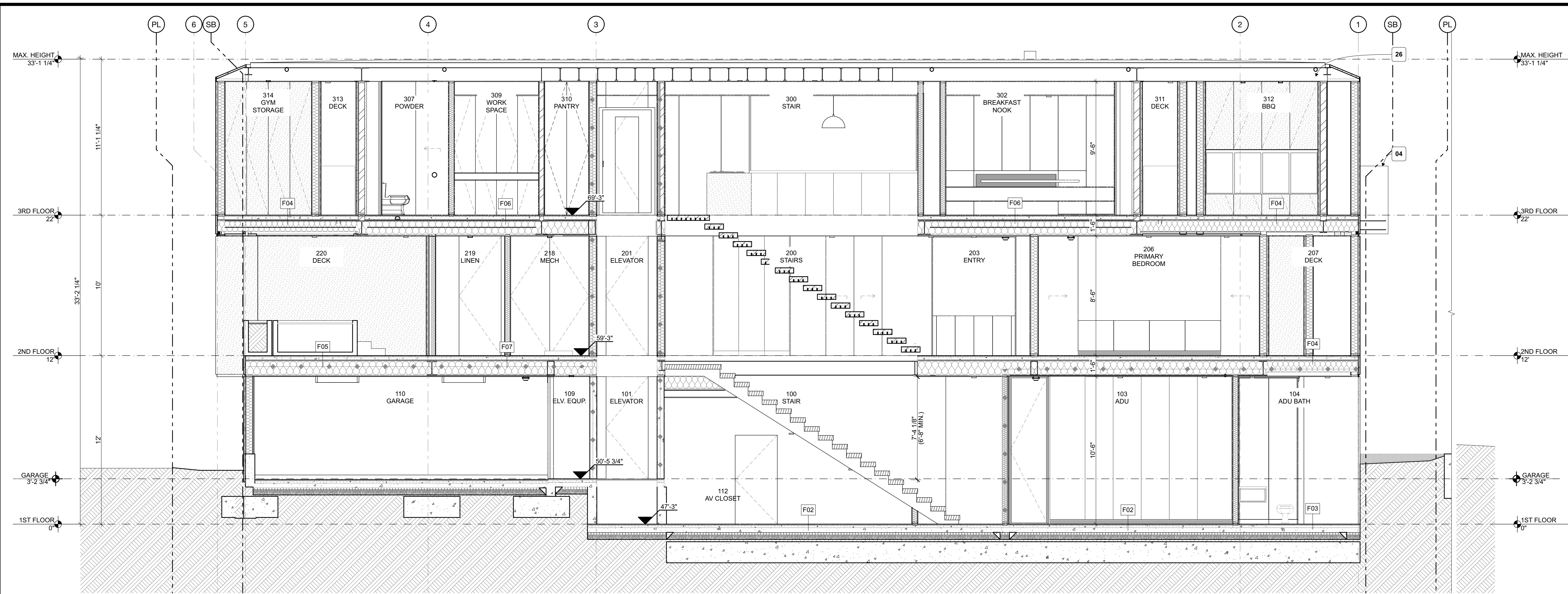
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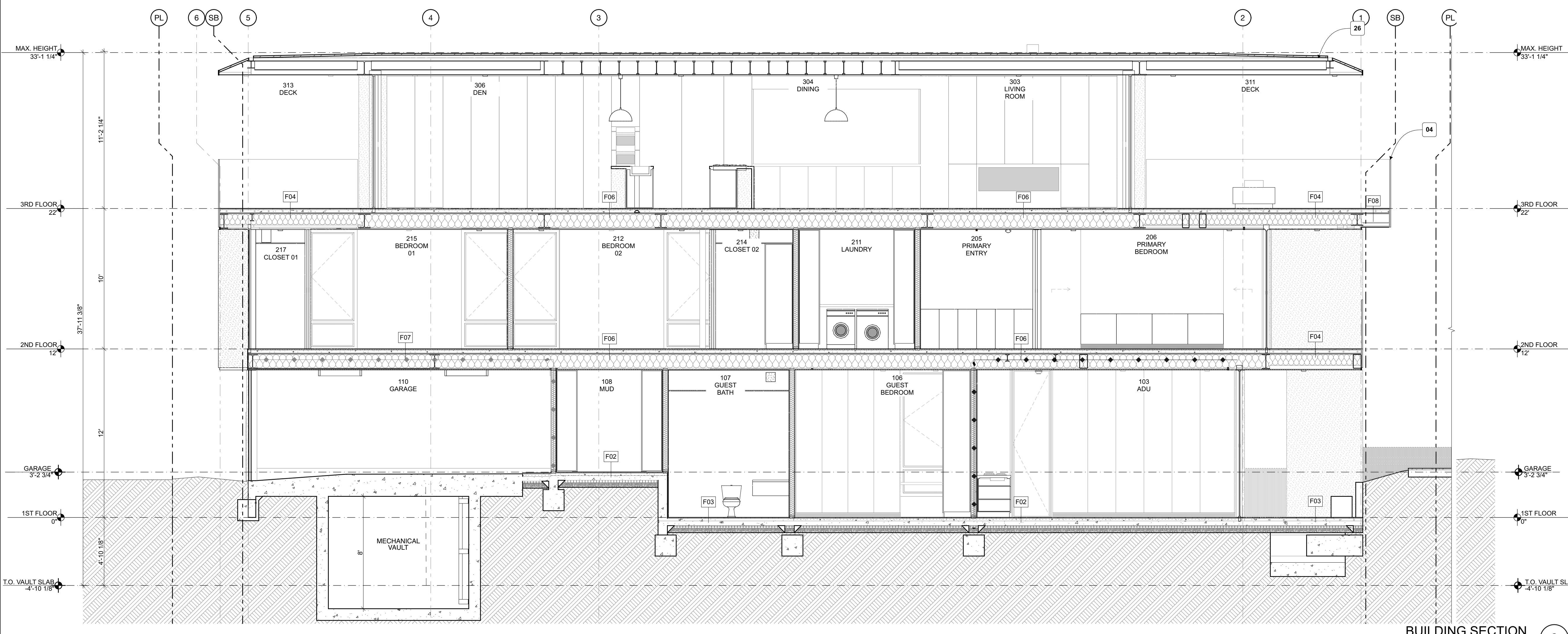
SHEET TITLE

ELEVATIONS

A302



BUILDING SECTION 1  
SCALE: 1/4" = 1'-0"



BUILDING SECTION 2  
SCALE: 1/4" = 1'-0"

SECTION NOTES

- 1) EXTERIOR WOOD STUD SIZE: ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2302.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
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SECTION KEYNOTES

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- 07 FAN COIL UNIT - REFERENCE MECHANICAL.
- 08 WATER HEATER - REFERENCE T24 REPORT.
- 09 SUMP PUMP.
- 10 EJECTOR PIT.
- 11 SCUPPER LOCATION.
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- 20 RANGE.
- 21 REFRIGERATOR/FREEZER.
- 22 WASHER/DRYER.
- 23 DISHWASHER.
- 24 12" HEIGHT GUARDRAIL ABOVE 30" HEIGHT PLANTER.
- 25 FIREPIT.
- 26 GUTTER.



Laney LA

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ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

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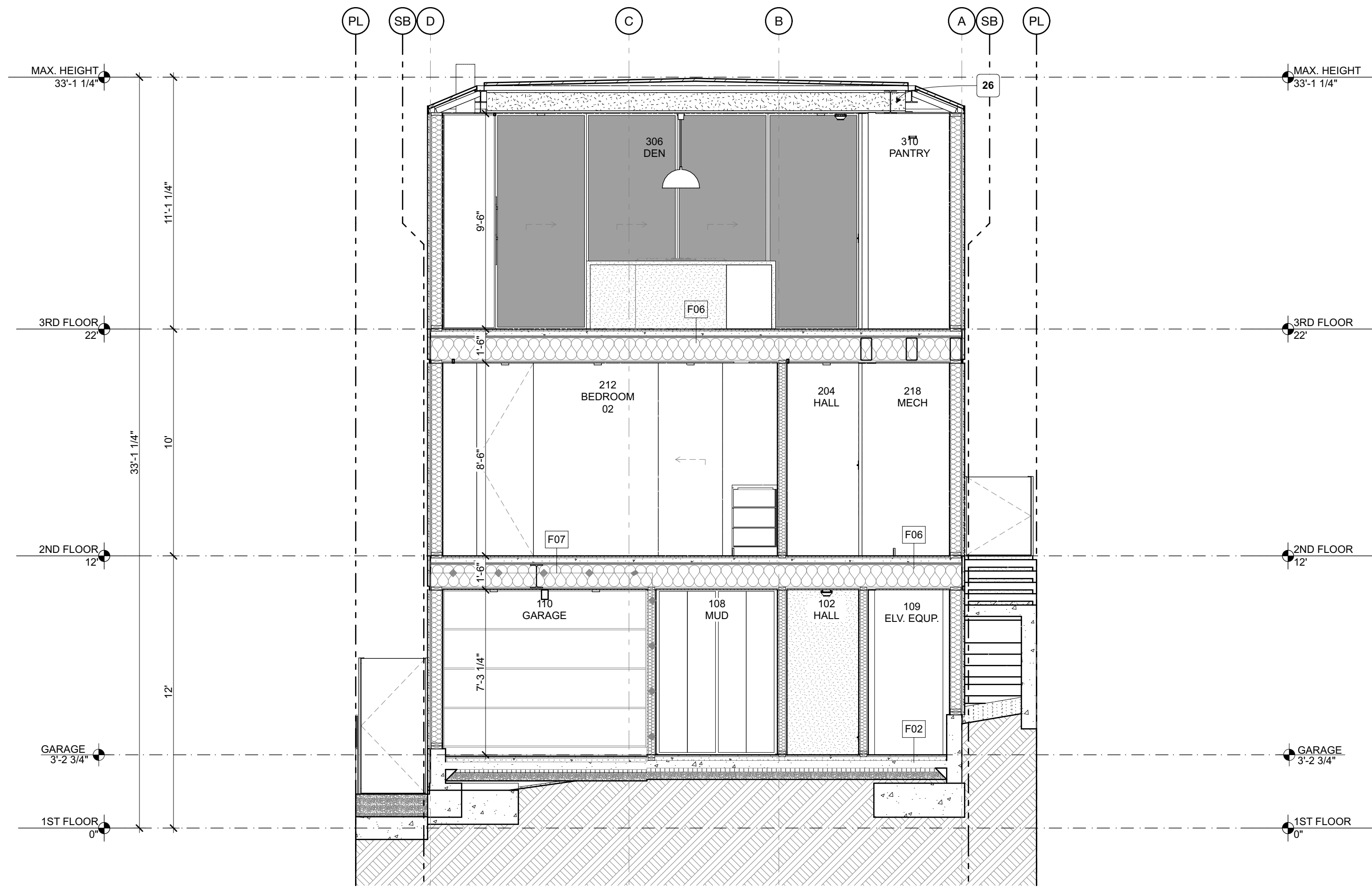
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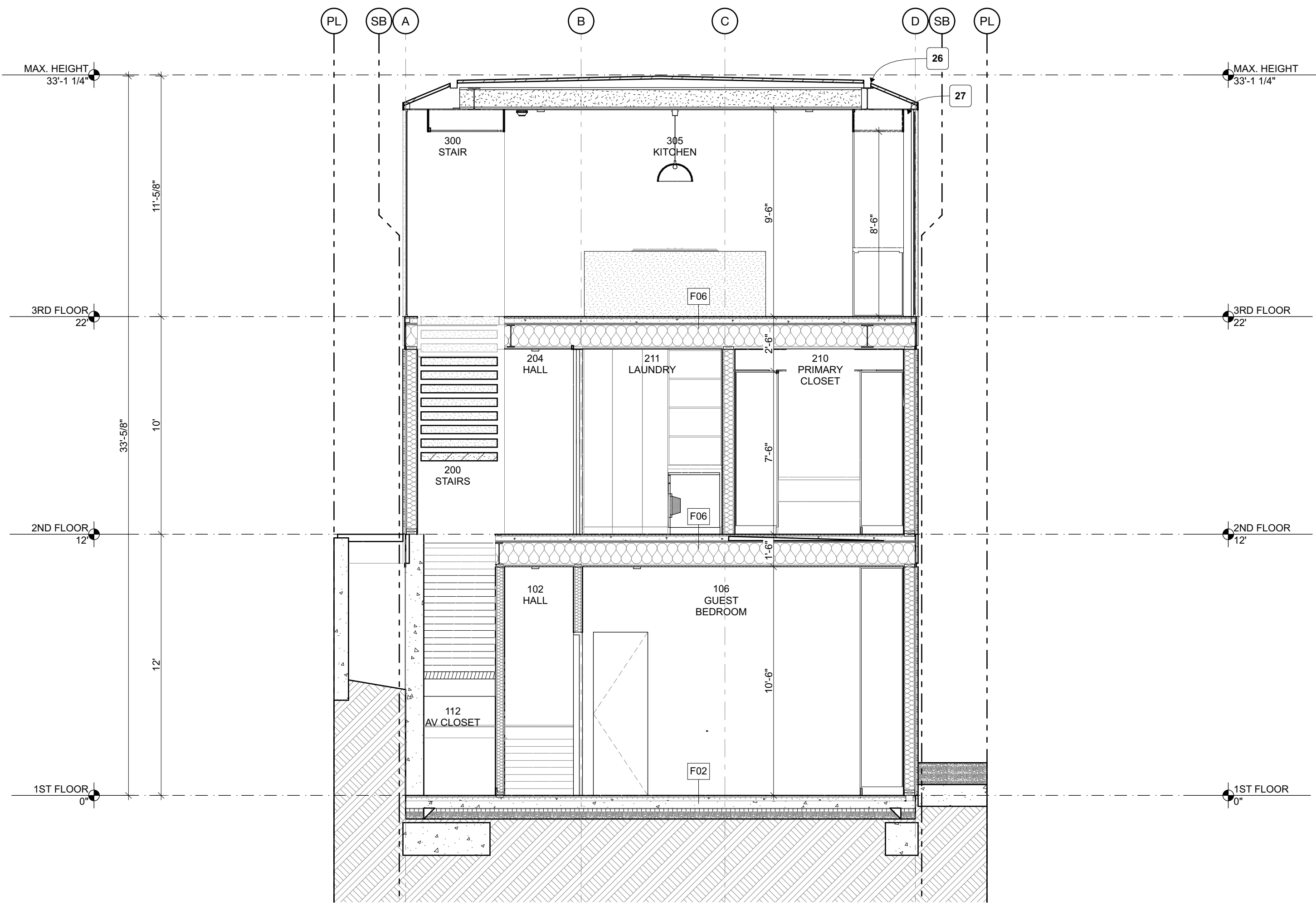
BUILDING SECTIONS

A401





BUILDING SECTION 1  
SCALE: 1/4" = 1'-0"



BUILDING SECTION 2  
SCALE: 1/4" = 1'-0"

SECTION NOTES

- 1) EXTERIOR WOOD STUD SIZE:  
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2303.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
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- 10) DOORBELL:  
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- 12) MOISTURE BARRIERS:  
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.

SECTION KEYNOTES

- |    |   |
|----|---|
| 01 | DRAIN - REFER TO CIVIL.                                 |
| 02 | SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.                |
| 03 | DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.                    |
| 04 | 42" MINIMUM HIGH GUARDRAIL.                             |
| 05 | 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.           |
| 06 | AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL. |
| 07 | FAN COIL UNIT - REFERENCE MECHANICAL.                   |
| 08 | WATER HEATER - REFERENCE T24 REPORT.                    |
| 09 | SUMP PUMP.  |
| 10 | EJECTOR PIT.  |
| 11 | SCUPPER LOCATION.                                       |
| 12 | TRASH/RECYCLE BINS PER CITY REQUIREMENTS.               |
| 13 | ELECTRICAL VEHICLE CHARGER.                             |
| 14 | SOLAR PANELS.   |
| 15 | EXISTING TREE TO REMAIN.                                |
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| 17 | EMERGENCY EXIT LADDER TO GRADE.                         |
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| 21 | REFRIGERATOR/FREEZER.                                   |
| 22 | WASHER/DRYER  |
| 23 | DISHWASHER.   |
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| 27 |   |
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| 30 |   |



Laney LA

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MARK	DATE	DESCRIPTION
CDP 01	03/20/24	CDP SUBMITTAL 01
CDP 02	05/29/24	CDP SUBMITTAL 02

PROJECT NO: 23007

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SHEET TITLE

BUILDING  
SECTIONS

A402